



**TOWN OF SUMMERVILLE
DESIGN REVIEW BOARD – AGENDA
Summerville Municipal Complex
Annex Building 3rd Floor Council Chambers
May 21, 2020 4:00 p.m.**

Approval of April 16, 2020 meeting Minutes

APPLICANTS –

For additional information regarding this public meeting please contact the Planning Department at 843.851.5200. All applications and related documents for this public meeting are available for review at the Planning Department during regular business hours, Monday–Friday, 8:30–5:00 excluding Town of Summerville holidays.

OLD BUSINESS:

1. **710 N Main Street – Exterior Renovations of the existing building for a new Salon (UC-MX)**
The applicant is requesting Final Approval
2. **N. Cedar St. Offices – Development of a new 10,000 sf office building at 204 N Cedar St (B-3)**
The applicant is requesting Preliminary Approval

NEW BUSINESS:

1. **440 Old Trolley Road – Front Façade renovation (N-MX)**
The applicant is requesting Final Approval
2. **428 Old Trolley Road – Front Façade renovation (N-MX)**
The applicant is requesting Final Approval
3. **Signs:**
 - a. **Avid Hotel – Internally illuminated Sign Request**
 - b. **Reagin Orthodontics – Internally Illuminated Sign Request**
 - c. **Parkers Kitchen – Internally Illuminated Sign Request and 2nd sign for corner lot**

Old Business Continued:

1. **101 N Main Street – Redevelopment of existing restaurant (D-MX)**
The applicant is requesting Final Approval - Applicant requests to be heard last for health reasons

Miscellaneous:

NONE

ADJOURN:

Posted March 11, 2020

Design Review Board Minutes
Thursday, April 16, 2020
Summerville Municipal Complex –Annex Building Training Room

Members Present:

Bill Beauchene
Chris Karpus
Chris Campeau
Carolyn Rogerson
Michael Gregor
Hart Weatherford

Staff Present:

Tim Macholl, Zoning Administrator
Jessi Shuler, Director of Planning
Bonnie Miley, Assistant Town Engineer
Rich Palmer, Building Official

Items on the agenda:

OLD BUSINESS:

1. Trolley Road Apartments – Review of proposed façade changes (UC-MX)
2. Parker’s Kitchen – Development of a new gas station at Ladson Road and Limehouse Drive (UC-MX)
3. N. Cedar St. Offices – Development of a new 10,000 sf office building at 204 N Cedar St (D-MX)

NEW BUSINESS:

1. 106 Boone Street – Emanuel Baptist Church new sanctuary (N-R)
2. 201 W. 9th North Street – Village at Summerville Community 24 Bed Memory Care Facility (PUD)
3. 710 N Main Street – Exterior Renovations of the existing building for a new Salon (UC-MX)
4. Gahagan and Garbon – Proposed townhome development on 2.15 acres (N-R)

MISCELLANEOUS:

1. None
-

The meeting was called to order at 4:04 pm by the Chairman.

Mr. Campeau asked for consideration of the February 20, 2020 meeting minutes. Ms. Rogerson made a motion for approval of the minutes as presented and Mr. Karpus seconded. The motion carried 6-0.

OLD BUSINESS

1. **Trolley Road Apartments** – The first item under Old Business was a request for Final Approval for proposed elevation changes to the previously approved apartment development on Old Trolley Road. Mr. Macholl detailed the staff comments. Mr. Sheldon Lovelace explained the situation to the board, and that the developer was looking to change the aesthetic and colors of the previously approved buildings. They are wanting to go in a much more low country design. The buildings will still have fiber cement siding, with a mix of lap siding and board and baton styles. Awnings have been added to the buildings. The colors are proposed to change from the tan and red brick to more grays and lighter trim with black railings. The amenity structures did not change architecturally. Mr. Lovelace showed the new colors on the materials sheet. Mr. Campeau asked about any changes to the scale and massing of the residential buildings. Mr. Lovelace explained that the base building would stay the same with mostly accents being added to make them look more “low country”. Ms. Rogerson asked about the color of the brick. Mr. Lovelace explained it was a red brick with lighter highlights. Mr. Will Rogan of Cypress Engineering explained that the aesthetic changes stem from wanting to reproduce a successful location in Savannah. Mr. Karpus pointed out that the clubhouse has two different roofing materials. Mr. Macholl explained that it had been previously approved. Mr. Karpus stated that they should choose one roof material or the other, the mix distracts from the aesthetics. Mr. Campeau suggested a metal roof for the entire amenity center building. He also asked if the board would want to see a test panel on site. The board indicated that they would.

Mr. Karpus made a motion for Final Approval with the condition that a test panel be approved on site and the amenity center have a full metal roof. The motion was seconded by Ms. Rogerson. The motion passed unanimously 6-0.

2. Parker's Kitchen – The second item under Old Business was a request for Preliminary Approval of a proposed Parkers Kitchen to be located at the corner of Ladson Road and Limehouse Drive. Mr. Macholl introduced the project. Mr. Thomas Mathews of Parker's explained that this new plan reflects the changes implemented by the UDO. He also explained that the TIA forced the plan to remove the full access and the Right-in/Right-out changed to a double stack. Because of this change in layout they were able to change the plan and produce an outparcel fronting on Ladson Road. He continued to explain that the proposed building is not the same that was previously approved at Central and Orangeburg, but a new hybrid design incorporating the best elements of that building and others. Building materials would be the same with the brick and metal roof and brackets. They would also include a pergola at the front of the building. Mr. Campeau asked about the landscape plan. Mr. Mathews explained they had not made the revisions to that plan to meet the submittal deadline. Ms. Miley addressed a question concerning the access to the site from Ladson, explaining that the previous plan had the full access drive lined up with the street on the other side. With the change to the Right-in/Right-out the access shifted over to reduce the amount of road work on Ladson. Mr. Simmons of Freeland and Kaufman informed the board that it met the Arms Manual and that the shift helps prevent the use of the Right-in/Right-out as a full access, making it safer. Mr. Campeau asked about the stormwater facility. Mr. Simmons explained that it is designed for lots 1 and 2. Lot 3 will have its own detention. Mr. Weatherford asked about cross access and shared detention. Mr. Macholl explained that the UDO requires cross access be granted. Parkers was directed to make sure that sidewalk be added to the frontages being developed. Specifically along Limehouse Drive. Mr. Campeau addressed the landscaping and that he felt it was barely meeting the code minimum. He suggested looking at the design of the building and trying to coordinate the landscaping materials and locations with the layout of the building to get a cohesive plan.

Moving on to the architecture of the building. Mr. Mathews said that this is a new design for the area and that they looked at southern vernacular architecture and tried to make the building more historic. He pointed out the cotton wood brick, niches, and central hipped roof. Mr. Beauchene suggested adding brackets to the gas canopy, each column on all four sides. Mr. Campeau agreed, he felt that the gas canopy was not integrated into the design of the campus. Mr. Karpus asked about the detail above the windows. Mr. Mathews explained that it is actually like a pierced brick wall, there is a void and painted CMU behind to provide shadow and depth to the façade. Mr. Campeau requested that all roof top mechanicals be fully screened.

Mr. Beauchene made a motion for Preliminary Approval with comments noted. The motion was seconded by Ms. Rogerson. The motion passed unanimously 6-0.

3. N. Cedar St. Offices – The Third item under Old Business is a request for Final Approval of a proposed two story office building to be located at 204 N Cedar Street. Mr. Tom Wingard of Pendium group presented the plans to the board, showing the previous plan and how it had changed trying to incorporate the UDO requirements to bring the building closer to the street. He stated that the design intent was to try to fit into the area, the Crescom Bank next door and Five Loaves a couple lots over both have a residential look and he wanted the building to fit into the street scape. Mr. Wingard explained he had leased a tenant space on the first floor and that the tenant would have 9 staff and approximately 12 patients at a time resulting in the need for the parking shown on the plan. Mr. Campeau suggested that the design was too residential in nature based on the mass and scale of the building, and that the UDO was actually trying to bring a more commercial urban style to this corridor. Mr. Karpus expressed a concern that the plan for the building was not executing well at being residential or commercial. Ms. Rogerson stated that she felt that the building should be in-line with the bank next door. Ms. Shuler explained that the intent is for a conversion going forward to a more urban "downtown" style. She continued to explain that there is some leeway on the setback for infill development which this development would be. Mr. Campeau told the applicant that he felt that the CPW building really set the tone for the corridor and that he felt that this building should be in-line with the tone set across the street. The board discussed whether the design should be more commercial in style. The Board concluded that the building should be closer to the street and because of that it needs to look more commercial than residential. The mass and scale of the building really demands that the design be more commercial and downtown oriented. The layout of the parking lot was discussed, they suggested that the island needs more width to give planting area. Mr. Macholl addressed the staff concerns with the parking lot layout.

Mr. Beauchene made a motion to Deny Preliminary Approval. The motion was seconded by Mr. Gregor. The motion passed unanimously 6-0.

The Board decided to take a 10 minute break at this time.

NEW BUSINESS

1. **106 Boone Street** – The first item under New Business was a request for Preliminary Approval for a new Church Sanctuary located at 106 Boone Street by Emmanuel Baptist Church. Mr. Macholl explained staff comments regarding the proposed plan. Mr. Robert Davis and Pastor JT Miller discussed the project with the Board. Mr. Davis explained that they have started moving forward with the project. There is an existing drainage easement and power lines running through the middle of the property that had to be relocated. The 36” tree had already been reviewed and a tree permit issued for that removal. Mr. Campeau pointed out that the last Handicap parking space needs more maneuvering space to allow vehicles to get in and out.

Comments on the building were requested. Mr. Davis addressed some of the design elements. He explained that there would be a metal roof, brick veneer, and storefront style windows. He explained that this is a pre-engineered metal building which is wrapped in brick. The board discussed the brick and style of the building. The general consensus was that the building design was generally good, but that some detail was missing on the building. The board suggested adding some masonry details, a water table, and soldier course. It was also suggested that the roof is lacking an overhang. Pastor JT expressed a concern about the proposed design upgrades. He shared that while the congregation is growing the budget is limited and he is concerned that these details may drive the project outside of the budget. Concerns about schedule are problematic at this point. Mr. Gregor and Mr. Campeau both felt that the design overall is pretty good but they are at a preliminary stage versus final. The size of the proposed steeple also was a concern from the board. The Board discussed the concern about the size of the steeple in relation to the size of the building. Mr. Beauchene suggested that the church can plan for the steeple to be done later, but focus on getting the building done. Suggestions for the building included a couple of course wide soldier course to break up the façade and make the windows appear better sized for the façade. Ms. Shuler suggested that it is possible to separate the site and architecture approvals if the Board wanted to proceed in that manner. Mr. Campeau and Mr. Beauchene discussed the proposed roof overhang and it was agreed that a 24” overhang would result in the look based on the scale of the building.

Mr. Gregor made a motion for Preliminary Approval with comments noted. There was no second, so Mr. Gregor amended his motion. The amended motion is for Final Site Approval with the condition that the architecture be brought back to the Board for Approval. The motion was seconded by Ms. Rogerson. The motion passed unanimously 6-0.

2. **201 W. 9th North Street** – The second item under New Business was a request for Preliminary Approval for a proposed 24 bed memory care facility to be located on the Village at Summerville. Mr. Will Rogan and Mr. Scott Hendrix explained the project. Mr. Rogan explained that the proposed location is where an older building had recently been demolished. The site is approximately 1.5 acres, the building is a single story 24 bed facility with a courtyard. It is located on the loop road through the campus and they are proposing a dozen parking spaces for potential visitors. Mr. Hendrix pointed out that it would be a fully enclosed courtyard, and that the facility would be located and connected to the existing internal sidewalks. The board asked how big the facility would be. It was explained to be about 16,000 square feet, with 24 beds and accessory living spaces. Mr. Hendrix explained that the design was taken from other buildings on the campus. The design includes a red brick water table, gray siding above, architectural shingles, and metal roof accents on the canopies. There is a mechanical well on the rear facing side of the roof which will screen the roof top mechanicals. The design includes a heavy timber element at the front door. The building will be served by the large main kitchen within the campus. Windows are intended to be black framed store front fixed windows. Ms. Rogerson asked how the design fits into the campus. Mr. Hendrix explained that the majority of the campus was built in the 1960’s except for the Skilled Nursing center, the intent was to draw some from the majority of the campus and some from the new facility across the street and bring them together. Mr. Karpus asked about the different roofing materials. Discussion concerning the front door location and whether the timber framing was a heavy enough accent to draw the away from the brick on the façade. Mr. Hendrix explained that the vertical brick detail is actually being pulled from the Columbia Campus and that they were hoping to implement a connecting design element between the campuses. Mr. Campeau suggested that because the tall brick element lines up with the road intersection, that it becomes the focal point more than the timber framing. Mr. Rogan explained that moving the building was not possible because of the location of existing walkways and utilities throughout the campus. It was suggested that this particular façade may want to be restudied to see if the focus can be put on the main door. Mr. Beauchene pointed out that all of the parking is actually located right in front of the door which would relieve any confusion.

Mr. Beauchene made a motion for Final Approval with comments noted. The motion was seconded by Mr. Gregor. The motion passed 5-1, with Ms. Rogerson voting against.

3. 710 N Main Street – The third item under New Business was a request for Final Approval for the proposed exterior renovations to the existing building located at 710 N. Main Street. Mr. Trinh Vu was in attendance to address the project. Mr. Macholl addressed staff comments. Mr. Vu explained that he had received the comments and that he had addressed the comments received from staff at TRC. He indicated that he was still working with Wendy's about a possible connection to the rear, the front had been revised with those parking spaces removed, and he had shown the connection to the existing sidewalk on Main Street. He explained that the design of the building was informed by the neighboring buildings which are Taco Bell and Wendy's, both have a very square façade and a parapet wall. The color scheme would be similar to the Taco Bell. Mr. Campeau expressed a concern that the applicant had requested Final Approval but the documents submitted were more conceptual in nature. Mr. Vu pointed out that there are no major structural changes and that the only new elements are the parapet wall and the front porch. Mr. Campeau asked how cars can pull through the carport with the existing stairs in the drive aisle. Mr. Vu explained that they will be removed giving the necessary space to maneuver. The board felt that the changes specifically the parapet wall were out of place for the style of building. Mr. Vu explained that he was going for a more commercial look, and that he wanted to fit in better with the neighbors on either side. Ms. Rogerson suggested a gable end roof over the porch. Mr. Beauchene suggested that professionally done architectural drawings would be best. The board felt that the plans were not adequate for Final Approval. Mr. Karpus told the applicant that while he appreciated the documents submitted, and the attempt to blend with the neighbors, he felt that the applicant should embrace the existing cottage style. He felt that a low slung flat roof coming off the slope of the existing building covering the proposed porch, embracing the residential style of the building, would be best for this style building. He also suggested that the windows shown in the drawing don't match the style of building and that more technical drawings would be required. Mr. Vu addressed the comment saying that he was waiting for more technical drawings until after receiving approval on the design. The Board suggested removing the parapet wall, reshingling the roof, painting, and building a more "low country" porch. Mr. Gregor suggested looking at the other two cottage style buildings that had been repurposed for commercial uses across the street.

Mr. Gregor made a motion to Deny Final Approval. The motion was seconded by Ms. Rogerson. The motion passed unanimously 6-0.

4. Gahagan and Garbon – The fourth item under New Business was a request for Preliminary Approval of a proposed Townhouse development to be located at the corner of Gahagan Road and Garbon Street. Mr. Elliott Locklair was in attendance to discuss the project. Mr. Macholl introduced the project. Mr. Locklair explained the project and that due to the shape constraints, the new zoning requirements, and the size of the property it was a very difficult plan. He explained that to meet the lot coverage requirements about 9-10 of the proposed parking spaces will be pervious pavers. The addition of the ribbon curb, requested by staff, will not change the impervious surface. Wheel stops are shown due to the flush sidewalks. The plan is for the townhomes to be individually owned. At this time the amenities for the development have not yet been fully discussed. Benches and bike racks are possible. Six foot deep porches will be added to the design. He felt that they could easily provide the requested 15 foot easement spacing between the buildings as requested by Public Works Staff. Mr. Locklair explained that all of the units front a public street, either Gahagan or Garbon, with the required parking behind the buildings. Mr. Fabrizio explained that all proposed landscaping and mechanicals would be on the front of the building and the mechanicals to the rear not encroaching into the requested easement.

The Board discussed the architecture of the buildings. Mr. Fabrizio explained that the porch expansion would be easy to complete. The proposed shutters would be removed, because at this price point operable shutters are not an option. This is intended to be a more affordable community, but with all exterior maintenance done by the HOA. Mr. Campeau asked about the siding material. Mr. Fabrizio explained that it was intended to be a vinyl material. Ms. Shuler pointed out that siding material can be approved by staff. Mr. Karpus liked the style of the individual townhomes, but felt that they looked "slapped together" and lacked a cohesive design. Mr. Fabrizio shared an image of previous townhomes done by his company. Mr. Campeau asked if the design met the UDO requirements. Mr. Macholl confirmed that the design met the requirement for a mix of materials. Architectural shingles were requested. The proposed colors for the buildings was described as similar to the pictures of the prior development.

Ms. Rogerson made a motion for Final Approval with comments noted, specifically the upgraded siding and architectural shingles. The motion was seconded by Mr. Gregor. The motion passed unanimously 5-0.

MISCELLANEOUS:

There were no items under miscellaneous.

ADJOURN:

There being no further business, the meeting was adjourned at 8:04 PM on a motion by Mr. Karpus and a second by Ms. Rogerson. The motion passed unanimously.

Respectfully Submitted,

Date: _____

Tim Macholl
Zoning Administrator

Approved: Chris Campeau, Chairman _____; or,
Michael Gregor, Vice Chairman _____

DRAFT

**STAFF REPORT
CDRB Meeting
May 21, 2020 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: May 15, 2020

GENERAL INFORMATION

Applicant: Thanh Vu
Property Owner: Thanh Vu
Requested Action: The applicant is requesting Final Approval for proposed renovations to the exterior of the existing building
Requested Approval: Final Approval
Existing Zoning: UC-MX Urban Corridor Mixed Use
Adjacent Zoning: **North:** UC-MX Urban Corridor Mixed Use
South: UC-MX Urban Corridor Mixed Use
East: UC-MX Urban Corridor Mixed Use
West: UC-MX Urban Corridor Mixed Use
Location: 710 N Main Street
Existing Land Use: Vacant Office
Prior Reviews: March 19, 2020 – Final Approval DENIED

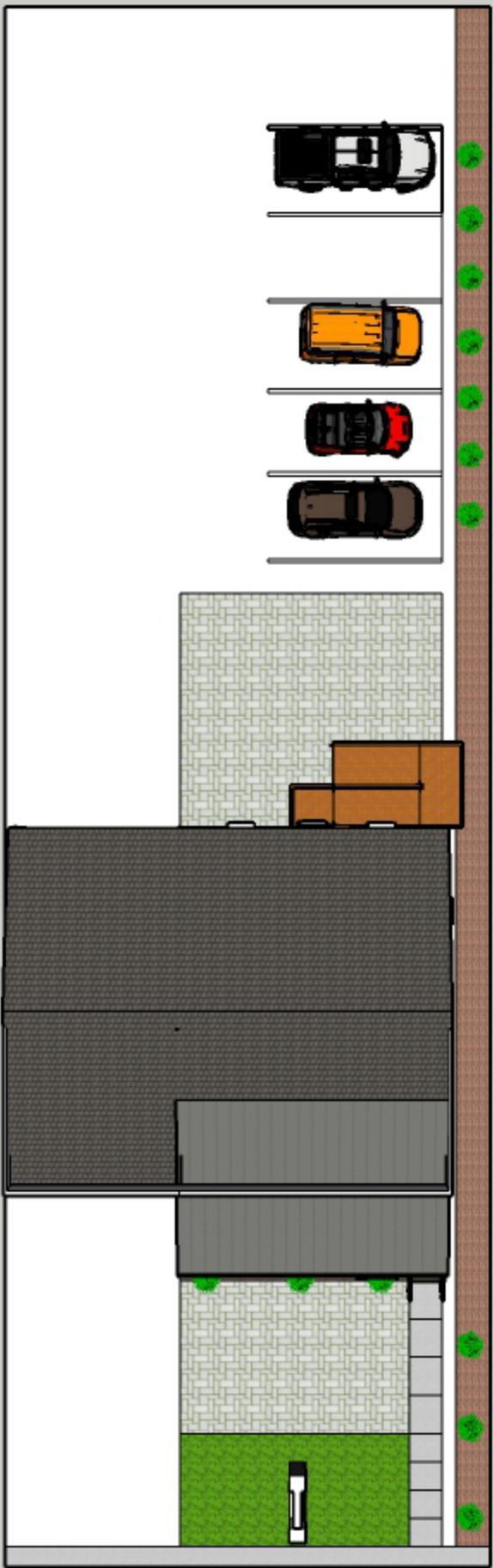
Ordinance Reference:
Sec. 13.3.5. Design Review Board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based upon Staff review, the following are staff's comments: The applicant has moved forward with construction and started work prior to approval of Final plans by the Design Review Board. The submitted plan has addressed the previous landscaping comments. The previous comments concerning the monument sign have been addressed. There has been no confirmation concerning the requested cross access. Staff has no comments regarding the proposed architectural design of the building.

Prior Meeting Comments: Based on preliminary review staff had the following comments. The preferred option to address the one-way entrance is to discuss an agreement with Wendy's to provide a vehicular exit through their back parking area. If Wendy's is not willing to grant access, the driveway in the front could be widened to create a pull-off, but would need to stay the same width at the right-of-way of N. Main St. The allowed square footage for the monument sign face is 36 sf. A tree removal permit will be required if trees need to be removed to accommodate cross access. The following landscaping is required along the rear sides of the property as feasible: Canopy tree every 40 feet; A continuous row of evergreen shrubs with an expected height of 3 ft at maturity, installed at not more than 6 ft on center















**STAFF REPORT
CDRB Meeting
May 21, 2020 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: May 15, 2020

GENERAL INFORMATION

Applicant: Pendium Group, LLC
Property Owner: JWS Aspirations, LLC
Requested Action: The applicant is requesting Preliminary Approval of a proposed 8,460 sf office building
Requested Approval: Preliminary Approval
Existing Zoning: D-MX Downtown Mixed Use
Adjacent Zoning: **North:** PL Public Land
South: D-MX Downtown Mixed Use
East: PL Public Land
West: D-MX Downtown Mixed Use
Location: 204 N. Cedar Street
Existing Land Use: Vacant property
Prior Approvals: Conceptual Review 03/21/2019
Preliminary Approval 04/16/2020 - DENIED

Ordinance Reference:

Sec. 13.3.5. Design Review Board.

- A. *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Staff still has concerns with the proposed circulation on the property. The tire sweep shown on the plan still goes over a curb and encroaches on three other parking spaces. The parking count is still being driven by the leased space in the office building. Based on Section 7.4, 24 parking spaces would be the minimum parking requirement for a medical office, and 16 spaces would be required for all other Office uses. The proposed 32 spaces do not exceed the 200% limit for "other office" uses requiring pervious parking. Dimensions are required on the landscape plan to verify that the 8 foot landscape border is being met surrounding the new parking. Section 8.5.2.A requires an 8 foot landscaped border "adjacent to all parking spaces and **travel areas.**" This required border is missing on the rear property line. Staff would request that the applicant provide a stub out to the adjacent property to the north to meet the connectivity requirements of the UDO. This will allow the future redevelopment of the corridor in the "urban downtown" style reducing the need for curb cuts. Section 8.6.3 requires screening of the mechanicals and the solid waste containers. Details will need to be provided of the proposed screening for both, their design is dependent upon the architectural style chosen for the building.

Architecture: The applicant has provided four different possible elevations for the proposed building. He is seeking confirmation of one style from the board to move forward with Final Plans for the development of the building.

PRIOR MEETING COMMENTS: Based upon preliminary staff review, staff has the following comments: The first handicap parking space and designated path are blocking traffic flow, it is recommended that this space be removed and an alternative location for the handicap parking be identified, staff suggests the “southern” property line. This would also reduce the travel distance from vehicle to door for handicapped patrons. D-MX does not have a minimum parking requirement. Because the parking is behind the building, staff recommends no more parking than is required based on the use. For Office Use the parking requirement is 2/1,000 sf. The minimum parking for this location would be 17 parking spaces. Staff would also recommend removing the last space and the first space along the “southern” property line both impede traffic flow or are difficult to maneuver into and out of. Sugar Maples are not a recommended parking lot tree. Provide a dumpster enclosure detail. Provide a detail of the HVAC screening. The enclosure must be constructed of materials to match the building. Staff would still recommend seeking the possibility for a shared drive or parking with the adjacent bank. Please provide documentation of effort to establish connection.

Building: The first floor does not meet the 65% façade transparency requirement. It is currently at 21%. The second floor does not meet the 30% façade transparency requirement. It is currently at 21%.

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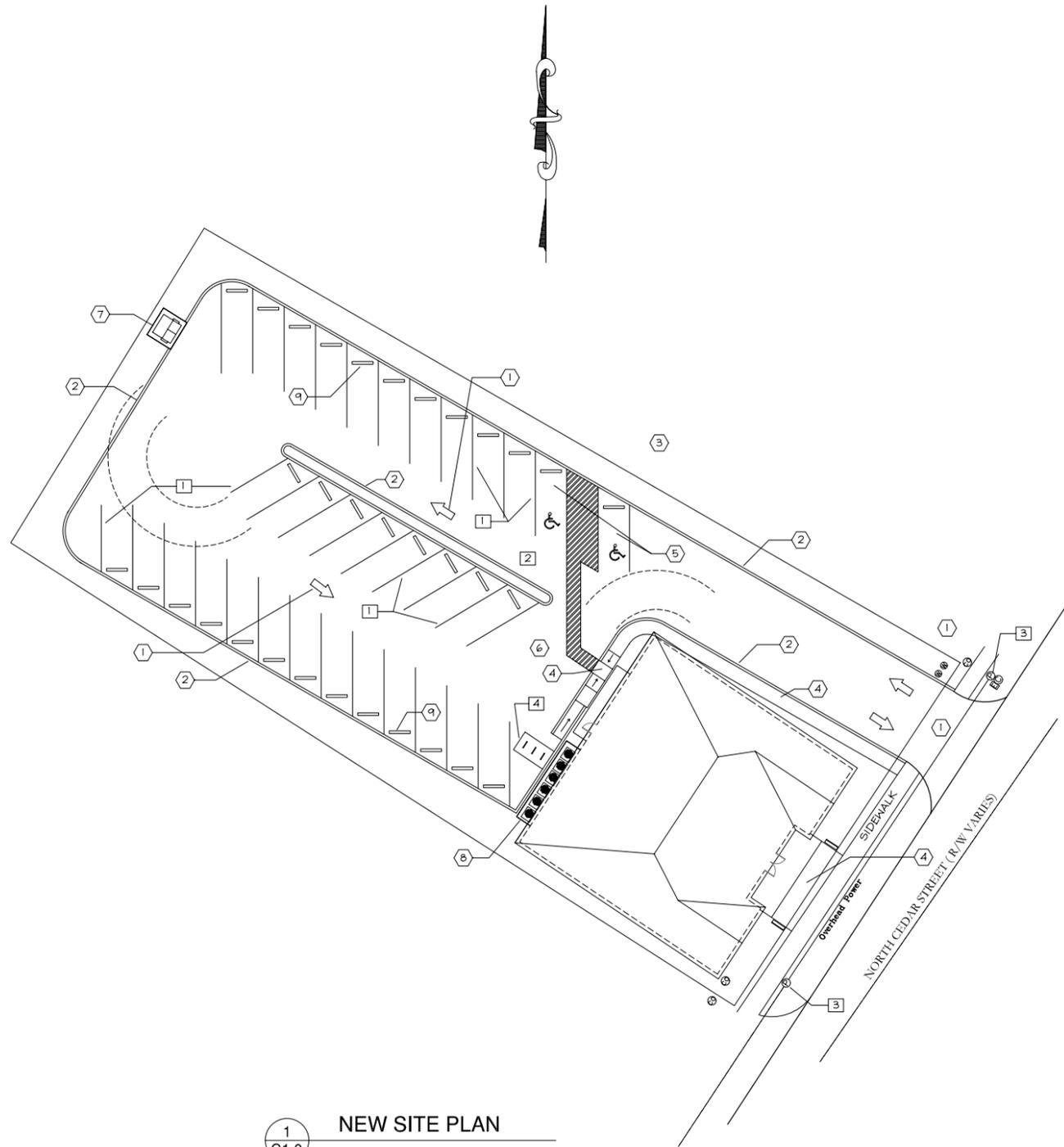
PARKING

D-MX ZONING HAS NO MINIMUM PARKING REQUIREMENT.
 33 SPACES PROVIDED BASE ON OCCUPANT NEEDS
 USE 2 SPACES AS HANDICAP PARKING SPACE - VAN ACCESSIBLE



KNOW WHAT'S BELOW,
 CALL BEFORE YOU DIG

THE SOUTH CAROLINA STATE LAW REQUIRES THAT EXCAVATORS GIVE A 72--HOUR NOTICE, (3 WORKING DAYS EXCLUDING WEEKENDS AND HOLIDAYS), FOR THE LOCATORS TO GET OUT TO MARK THE AREA. AFTER A TICKET HAS BEEN PROCESSED, YOU WILL KNOW WHEN YOU ARE LEGALLY FREE TO PROCEED WITH THE DIGGING WORK AND WHICH UTILITIES IN THE AREA P.U.P.S. WILL BE NOTIFYING FOR YOU. ANY UTILITIES THAT P.U.P.S. DOES NOT NOTIFY, YOU WILL BE RESPONSIBLE FOR NOTIFYING DIRECTLY. THE UTILITY COMPANIES ASK THAT YOU LEAVE A 2 1/2 FEET MARGIN ON EACH SIDE OF A MARKED UTILITY LINE. ALSO NOTE THAT YOUR REQUEST IS GOOD FOR 15 WORKING DAYS AFTER IT HAS BEEN PROCESSED BY OUR SYSTEM.



1
 C1.0
NEW SITE PLAN
 SCALE: 1"=20'



SITE NOTES

- SEE C2.0 AND C2.1 FOR ALL DETAILS SHOWN ON THIS PLAN
- 1 4" TRAFFIC YELLOW LANE STRIPES - TYPICAL
 - 2 4" BABY BLUE LANE STRIPES FOR ALL HANDICAP SPACES
 - 3 EXISTING WOOD POWER POLE
 - 4 BICYCLE PARKING AREA

DETAIL NOTES

- SEE C2.0 AND C2.1 FOR ALL DETAILS SHOWN ON THIS PLAN
- ALL PARKING SPACES TO BE 9' x 19' UNLESS NOTED OTHERWISE
- 1 TRAFFIC FLOW ARROW
 - 2 EXTRUDED CURB
 - 3 EXTERIOR LIGHTING POLE WITH FOUNDATION
 - 4 CONCRETE SIDE WALK
 - 5 HANDICAP PARKING SPACE
 - 6 HANDICAP RAMP IN CONCRETE SIDE WALK
 - 7 TRASH DUMPSTER SCREENING
 - 8 HVAC UNIT SCREENING
 - 9 WHEEL STOP - TYPICAL

PROFESSIONAL OFFICE
 605 OLD TROLLEY ROAD
 SUMMERVILLE, SC

No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE

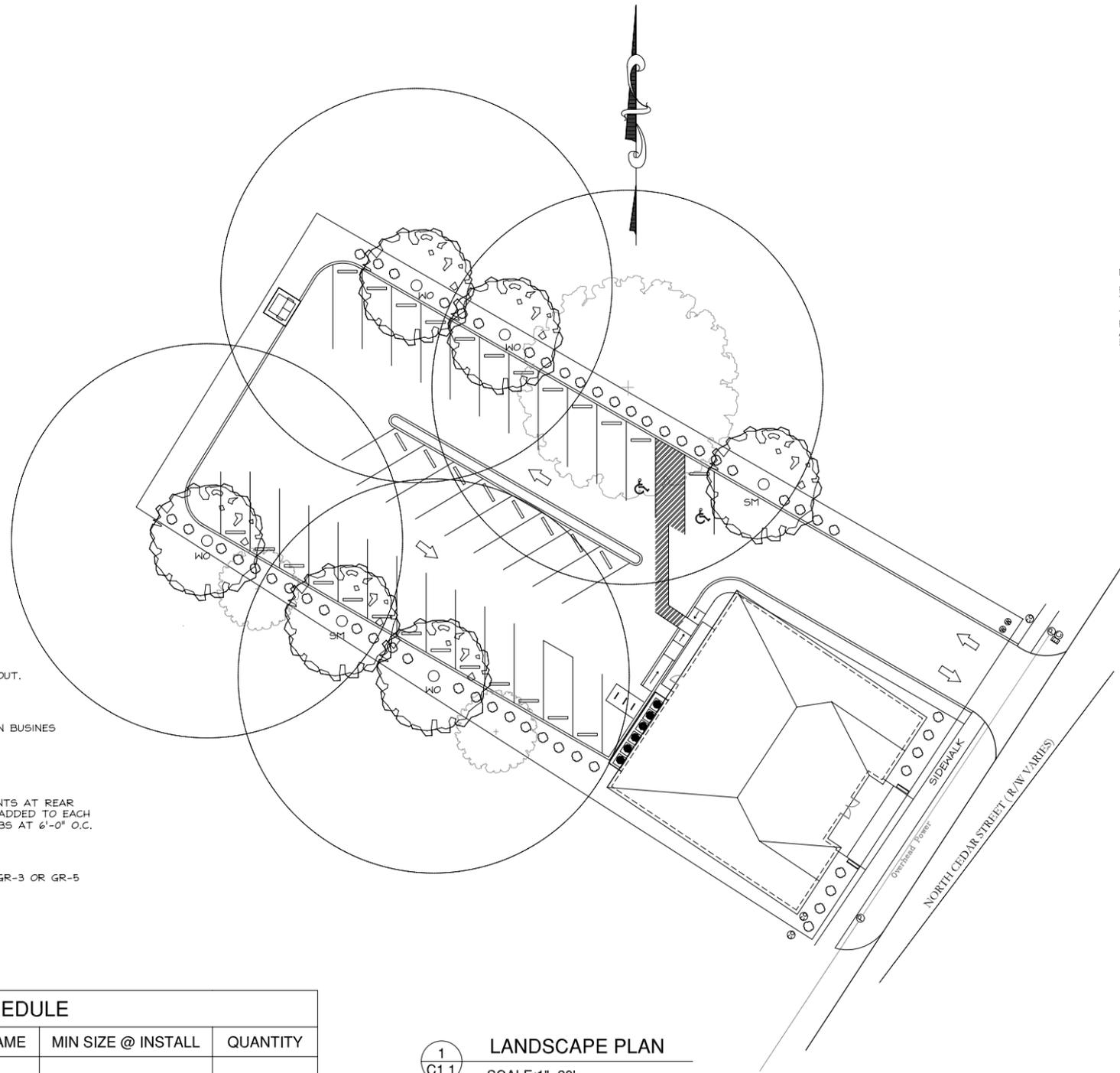
606 Old Trolley Road
 Suite 202
 Summerville, SC 29485
 843-821-1678

Sheet Title
NEW SITE PLAN

Date 3 FEB 20	Sheet C1.0
Scale 1"=20'-0"	

CDRB - APPROVAL

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TREE PRESERVATION
 NO EXISTING TREES ARE EFFECTED BY PARKING LAYOUT.

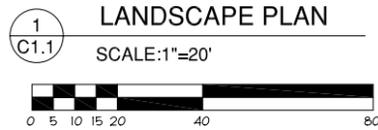
SITE LANDSCAPE REQUIREMENTS
 NONE REQUIRED. SITE IS NOT LOCATED IN SUBURBAN BUSINESS DISTRICT (N-g, G-B) OR IN A INDUSTRIAL DISTRICT (L-l, H-l).

PARKING LANDSCAPE REQUIREMENTS
 EXISTING TREES ARE USED FOR PARKING REQUIREMENTS AT REAR OF THE PROPERTY. ADDITIONAL TREES HAVE BEEN ADDED TO EACH SIDE OF THE PARKING LOT AT 40'-0" O.C. AND SHRUBS AT 6'-0" O.C.

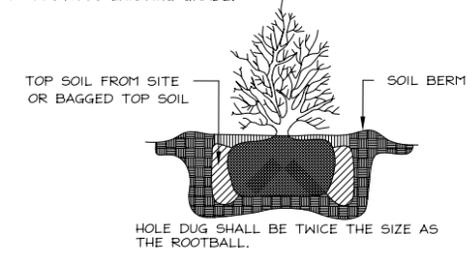
BUFFER REQUIREMENTS
 NONE REQUIRED. SITE IS NOT ADJACENT TO GR-2, GR-3 OR GR-5 DISTRICTS.

PLANT SCHEDULE				
TAG	COMMON NAME	BOTANICAL NAME	MIN SIZE @ INSTALL	QUANTITY
WO	CANOPY TREE			
	WILLOW OAK	QUERCUS PHELLOS	2 1/2" CALIPER	4
SM	CANOPY TREE			
	SUGAR MAPLE	QUERCUS PHELLOS	2 1/2" CALIPER	2
BH	SHRUBS			
	DWARF BUFORD HOLLY	ILEX COMMUTA	36" HEIGHT	45

NOTE - EXISTING TREES AND SHRUBS ARE SHOW AS SUBDUED COLOR

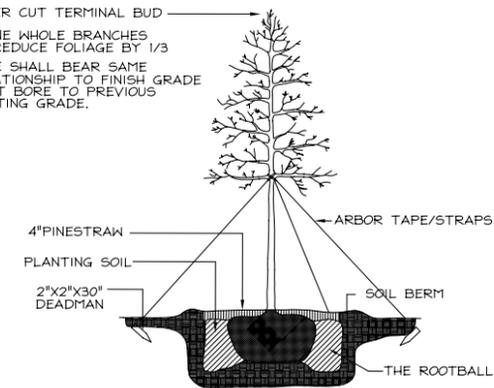


PLANT SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



DETAIL - SHRUB PLANTING
 NO SCALE

NEVER CUT TERMINAL BUD
 PRUNE WHOLE BRANCHES TO REDUCE FOLIAGE BY 1/3
 TREE SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



DETAIL - TREE PLANTING
 NO SCALE



**KNOW WHAT'S BELOW,
 CALL BEFORE YOU DIG**

THE SOUTH CAROLINA STATE LAW REQUIRES THAT EXCAVATORS GIVE A 72--HOUR NOTICE, (3 WORKING DAYS EXCLUDING WEEKENDS AND HOLIDAYS), FOR THE LOCATORS TO GET OUT TO MARK THE AREA. AFTER A TICKET HAS BEEN PROCESSED, YOU WILL KNOW WHEN YOU ARE LEGALLY FREE TO PROCEED WITH THE DIGGING WORK AND WHICH UTILITIES IN THE AREA P.U.P.S. WILL BE NOTIFYING FOR YOU. ANY UTILITIES THAT P.U.P.S. DOES NOT NOTIFY, YOU WILL BE RESPONSIBLE FOR NOTIFYING DIRECTLY. THE UTILITY COMPANIES ASK THAT YOU LEAVE A 2 1/2 FEET MARGIN ON EACH SIDE OF A MARKED UTILITY LINE. ALSO NOTE THAT YOUR REQUEST IS GOOD FOR 15 WORKING DAYS AFTER IT HAS BEEN PROCESSED BY OUR SYSTEM.

PROFESSIONAL OFFICE
 605 OLD TROLLEY ROAD
 SUMMERVILLE, SC

No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE
 606 Old Trolley Road
 Suite 202
 Summerville, SC 29485
 843-821-1678

Sheet Title
LANDSCAPE PLAN

Date
3 FEB 20

Scale
1"=20'-0"

Sheet
C1.1

CDRB - APPROVAL

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CRG6410MB
Carrage Outdoor Lantern
Mottled Black



QUOIZEL LIGHTING

DETAILS
Material: Aluminum
Glass/Shade Description: Clear Seeded Glass

LAMPING
Light Source: Incandescent
Bulb Included: No
Bulb Type: Medium Base
Bulb Quantity: 1
Watts per Bulb: 150

ELECTRICAL
Dimmable: Yes
Voltage: 120v
Wire Length: 0.5'

INSTALLATION
Location Rating: Wet
Install Position: Down
Sloped Ceiling Compatible: No

DIMENSIONS
Dimensions: 10.00" W x 19.00" H x 11.25" D
Backplate Dimensions: 9.00" H x 5.00" W
HCVO: 5.5"
Weight: 7.20 lbs
Dimensional Weight: 23.00 lbs

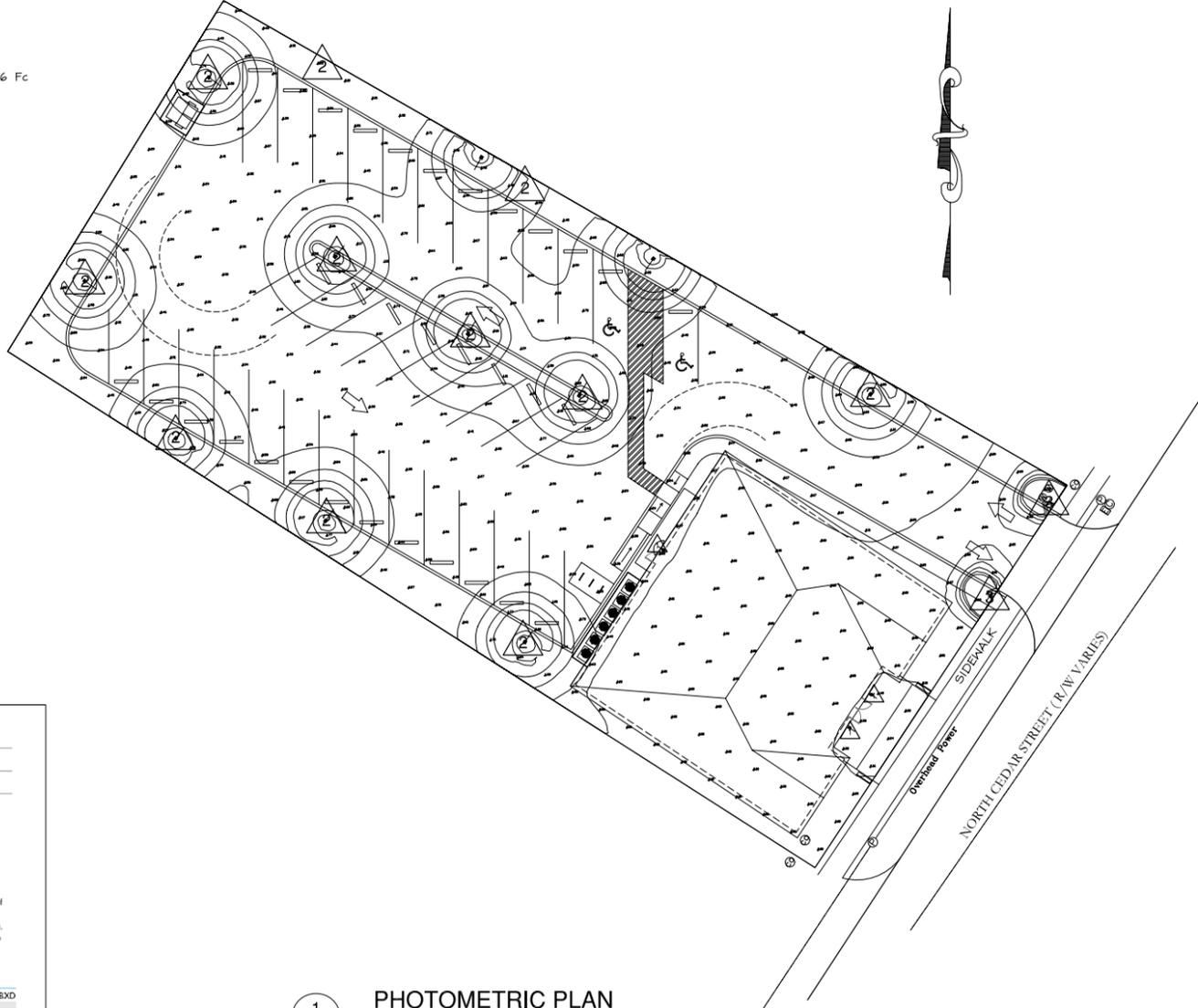
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1

EXTERIOR LIGHTING NOTES

MAX INTENSITY 8 Fc
MIN INTENSITY 0 Fc
AVERAGE MAINTAINED FOOTCANDLES OVER SITE 0.6 Fc



CRG9010MB
Carrage Outdoor Lantern
Mottled Black



QUOIZEL LIGHTING

DETAILS
Material: Aluminum
Glass/Shade Description: Clear Seeded Glass

LAMPING
Light Source: Incandescent
Bulb Included: No
Bulb Type: Medium Base
Bulb Quantity: 1
Watts per Bulb: 150

ELECTRICAL
Dimmable: Yes
Voltage: 120v
Wire Length: 0.5'

INSTALLATION
Location Rating: Wet
Sloped Ceiling Compatible: No

DIMENSIONS
Dimensions: 10.00" W x 21.75" H x 10.00" D
Weight: 6.75 lbs
Dimensional Weight: 25.00 lbs

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2

KBA8 LED
LED Specification Bollard



Specifications
Height: 42" (1071mm)
Weight: 27 lbs (12.2kg)

Ordering Information

Color	Finish	Type
Black	Black	Standard

Introduction
The KBA8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

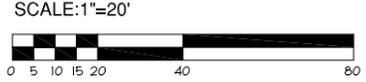
With an expected service life of over 20 years of nighttime use and up to 70% in average savings over comparable 100W metal halide luminaires, the KBA8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Accessories
1. Cut-off shield for 12, 437 lumens.
2. Cut-off shield for 12, 437 lumens.
3. Cut-off shield for 12, 437 lumens.
4. 100' (30.48m) length of 1/2" (12.7mm) diameter stainless steel cable.
5. 100' (30.48m) length of 1/2" (12.7mm) diameter stainless steel cable.
6. 100' (30.48m) length of 1/2" (12.7mm) diameter stainless steel cable.
7. 100' (30.48m) length of 1/2" (12.7mm) diameter stainless steel cable.
8. 100' (30.48m) length of 1/2" (12.7mm) diameter stainless steel cable.

LITHONIA LIGHTING - 2000 Peachtree Way - Conley, Georgia 30121 - Phone: 800.379.9011 - www.lithonia.com
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3

PHOTOMETRIC PLAN



PROFESSIONAL OFFICE
605 OLD TROLLEY ROAD
SUMMERVILLE, SC

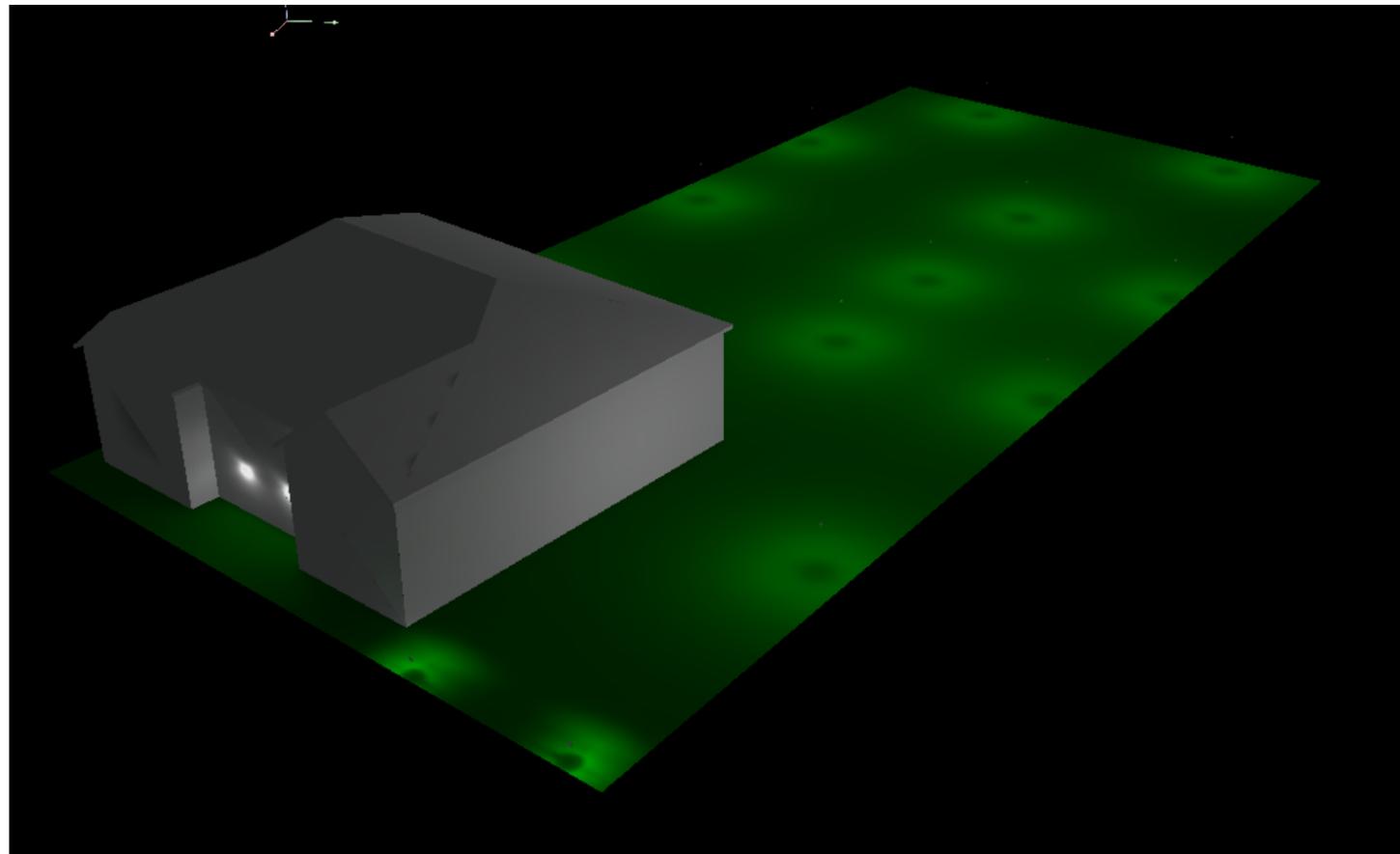
No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE
606 Old Trolley Road
Suite 202
Summerville, SC 29485
843-821-1678

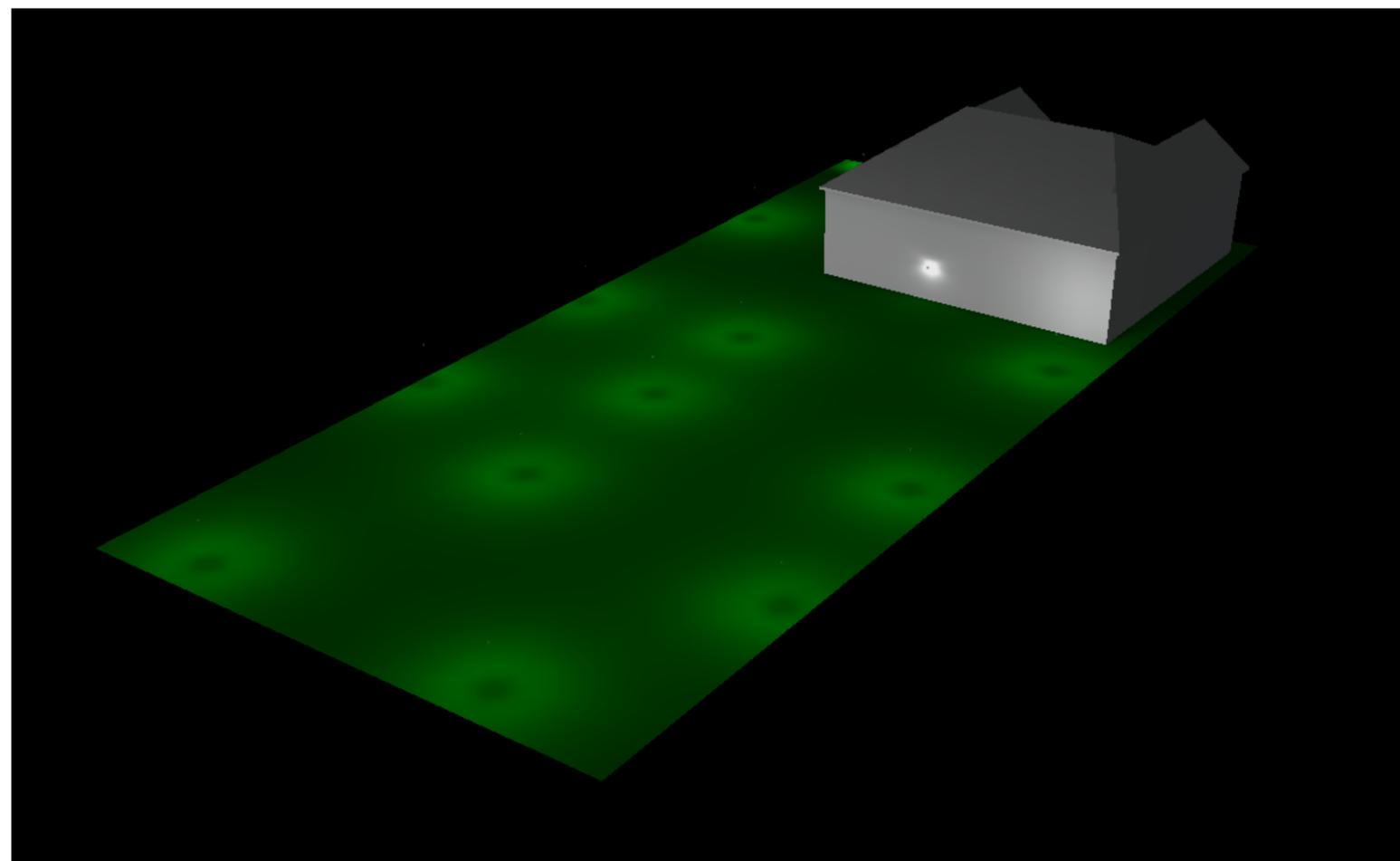
Sheet Title
PHOTOMETRIC PLAN

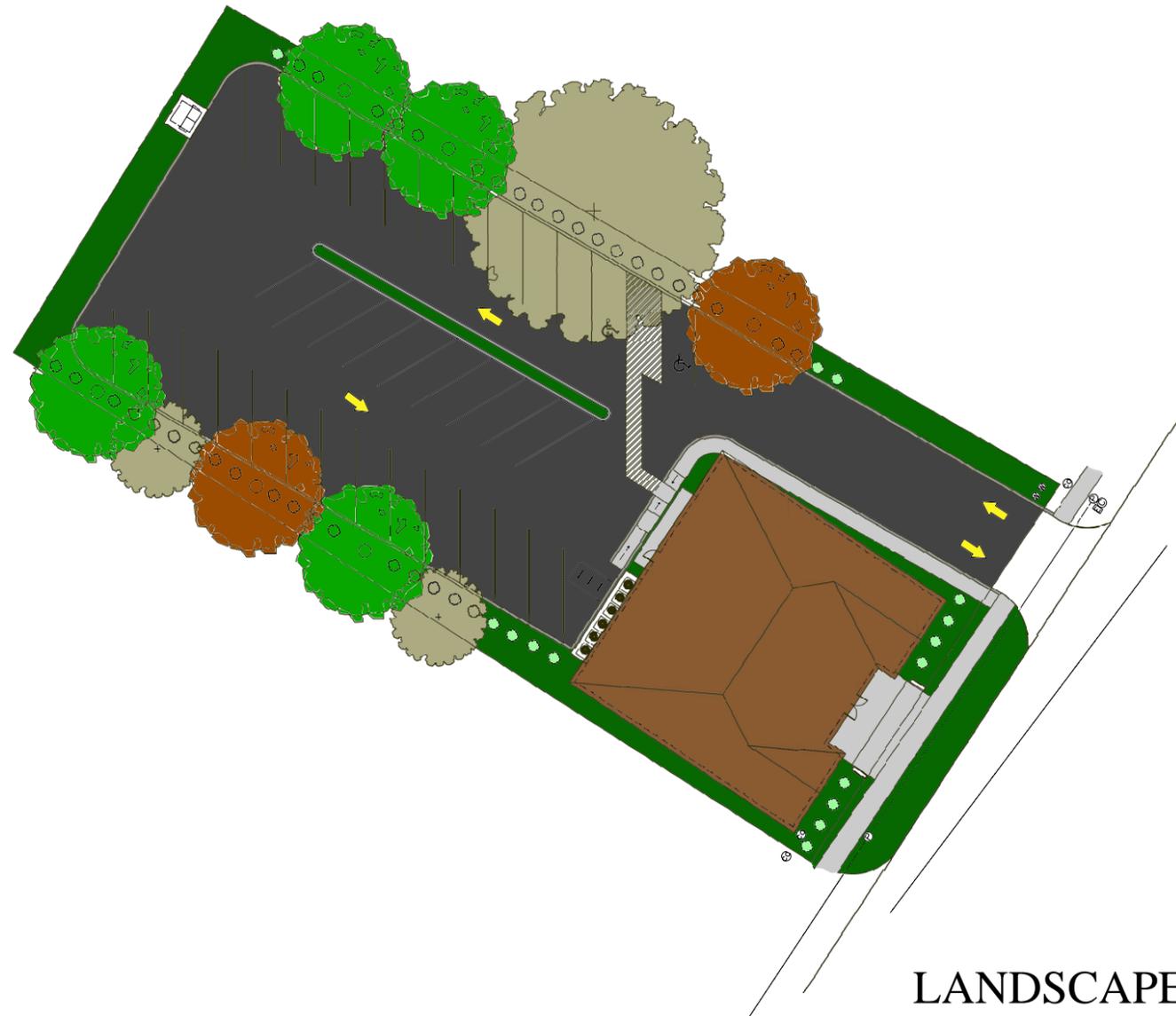
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Scale: 1"=20'-0"
Sheet: **C1.2**

CDRB - APPROVAL



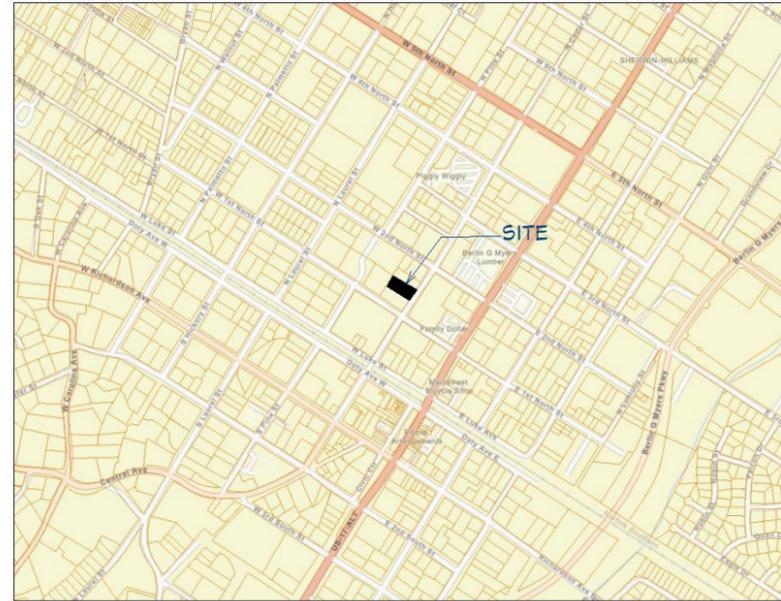
Lighting 3d views





LANDSCAPE PLAN

DRB PLANS for Executive Offices 204 North Cedar, Summerville, SC 29483



VICINITY MAP
FOR ILLUSTRATION ONLY
No Scale

Project Planning Statistics	
TMS: 137-03-09-013.000	
Developer: Pendium Group LLC	
Zoning: D-MX	
Property Total Area:	27,490.00 Sq. Ft. (.631 AC.)
Parking and Curb Areas:	16,500.00 Sq. Ft.
Office Footprint Area:	4,634.58 Sq. Ft.
Covered Porches:	265.42 Sq. Ft.
Sidewalks and Stoops Areas:	630.00 Sq. Ft.
Green Space & Landscaping Area:	5,460.00 Sq. Ft. (19.9%)
Gross Floor Area:	8,460.00 Sq. Ft.
Usable Floor Area (USF):	7,867.00 Sq. Ft.
(USF excludes balconies, stairways, elevators, corridors and public areas)	
Parking Spaces (Total):	32
Accessible Parking Spaces:	2 /with 1 Van Accessible

Project Contacts	
Owner:	
Pendium Group, LLC. Tom Wingard (Project Coordination Main Contact): Ph: 843 458-4601 tom@pendium.com 4265 Duck Club Rd Ravenel SC 29470	
Architectural Firm & Construction Management:	
Pendium Group, LLC Architecture Firm #101636 Tom Wingard (Main Contact) GC #G121762, CCM #1046 Ph: 843 458-4601 tom@pendium.com 4265 Duck Club Rd Ravenel SC 29470 Ahmad M Al-Shemmeri, NCARB (Architect) SC-AR #10394 Ph: 843 405-7055 ahmad@pendium.com 4265 Duck Club Rd Ravenel SC 29470	
Engineering and Landscape Design:	
Eugene H Brislin Jr., PE Ph: 843 821-1678 gene_pe@bellsouth.net 606 Old Trolley Rd Ste 202 Summerville SC 29485	
Sources:	
Palmetto Land Surveying, Inc Jason Penington Ph: 843-571-5191 plsoffice@palmettols.com 2065 Savannah Highway Ste 2 Charleston, S.C. 29407	

INDEX TO DRAWINGS	
TITLE SHEET	A1
ELEVATIONS (A,B,C,D)	A2
FIRST FLOOR PLAN	A3
SECOND FLOOR PLAN	A4
FOUNDATION & ROOF PLAN	A5
EXTERIOR ELEVATIONS	A6-A9
SECTIONS/DETAILS/SIGNAGE	A10
SITE PHOTOS	A11
Drawings below completed by other entities and were not under the supervision of Pendium Group or the design professional in responsible charge:	
SITE PLAN AND PARKING	C1.0
LANDSCAPING PLAN	C1.1
GRADING AND DRAINAGE	--
PHOTOMETRIC	C1.2
DETAIL/SECTIONS	--



DRAWINGS PROVIDED BY:
Pendium Group, LLC
4265 Duck Club Rd, Ravenel, SC 29470
o. 843.405.7055 | f. 888.887.5076 | Pendium.com

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Executive Offices
204 North Cedar
Summerville, SC 29483

COVER PAGE

DATE:
5/4/2020

SHEET:

A1

GENERAL NOTES AND SPECIFICATIONS

DESIGN CRITERIA: 2015 IBC
 THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH ALL STATE AND LOCAL CODE REQUIREMENTS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

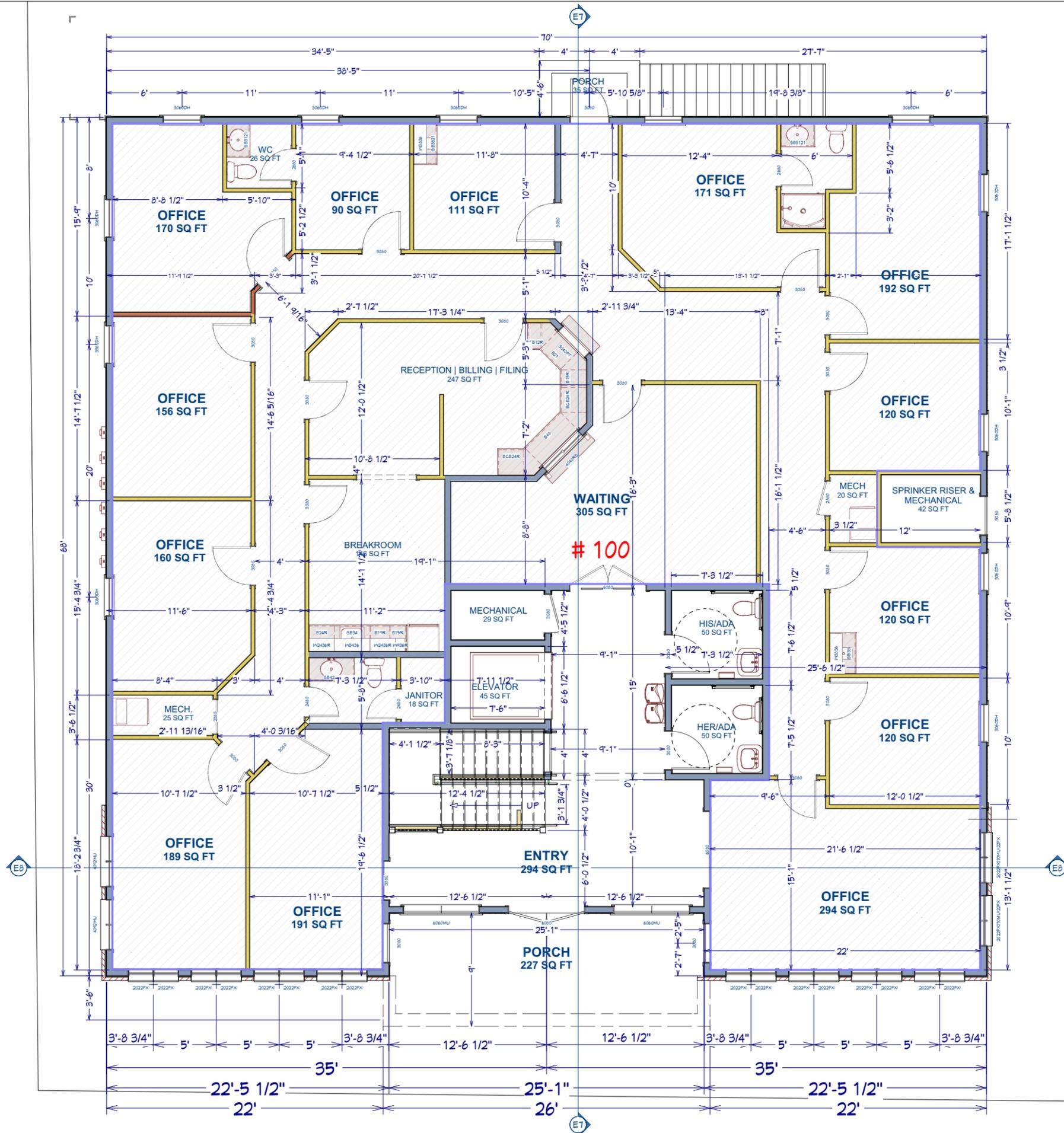
THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

FRAMING NOTES:

ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE FRAMING, ROUGH OPENING.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.



First Floor Plan
 Scale: 1/4" = 1'



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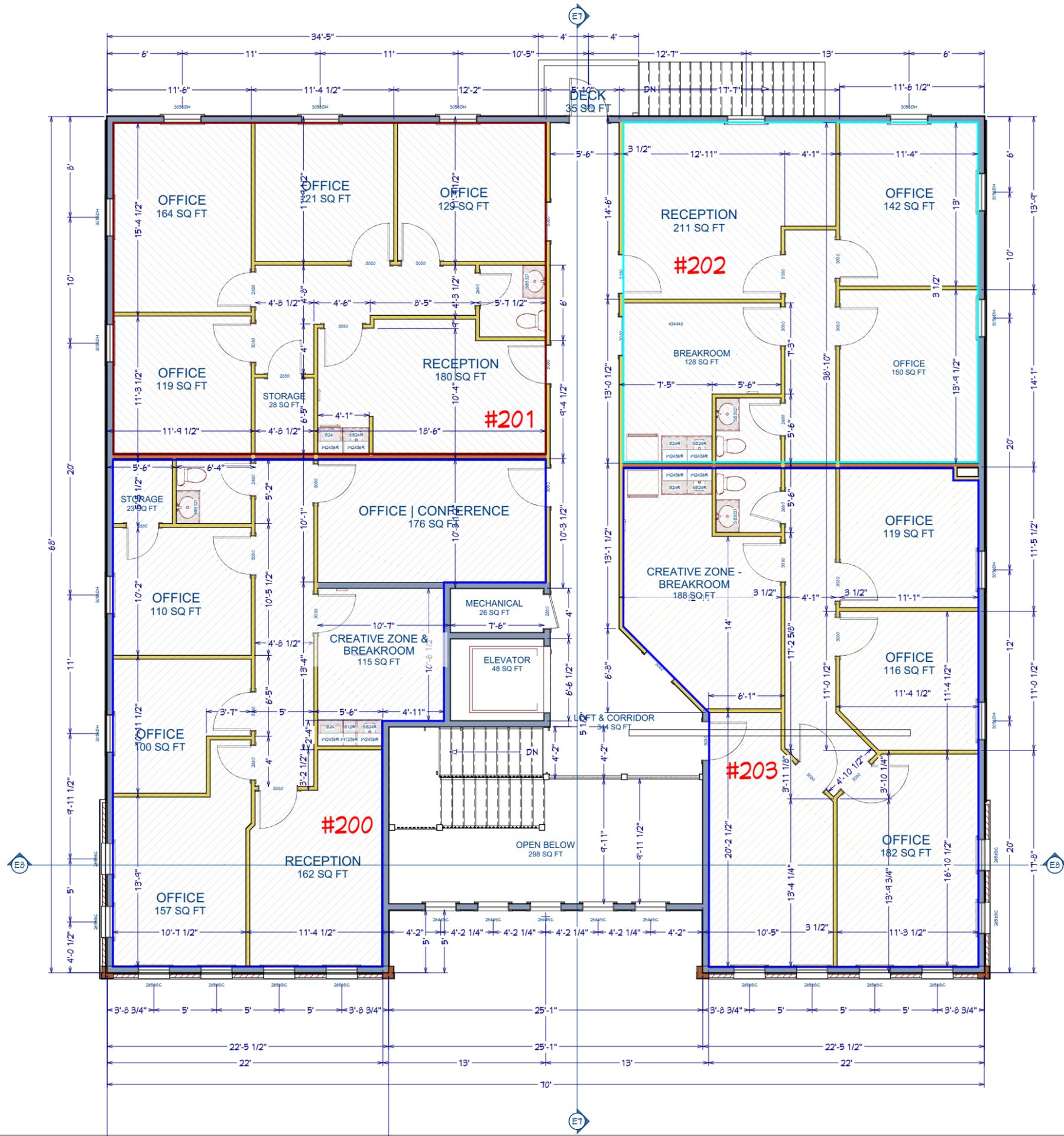
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FIRST FLOOR PLAN

DATE:
 5/4/2020

SHEET:

A3



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SECOND FLOOR PLAN

DATE:
 5/4/2020

SHEET:

A4

Second Floor Plan
 Scale: 1/4" = 1'



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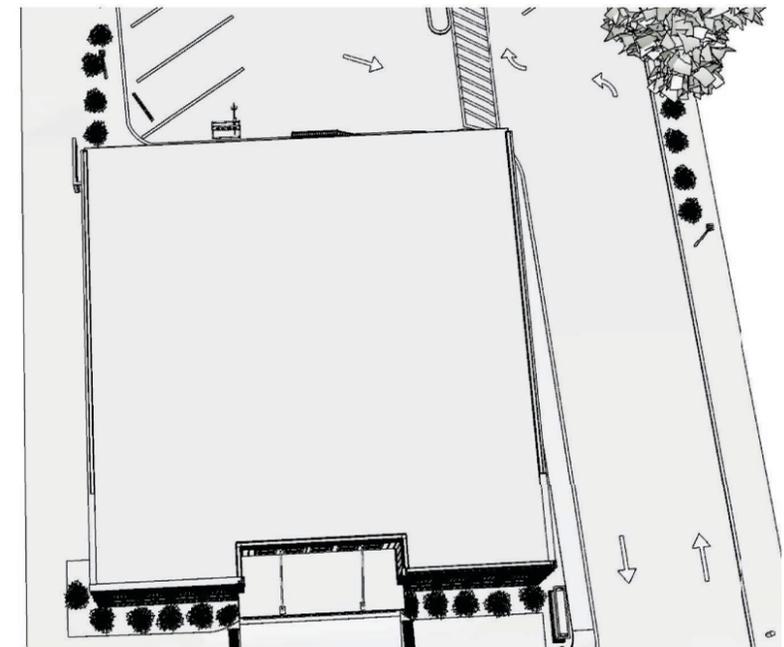
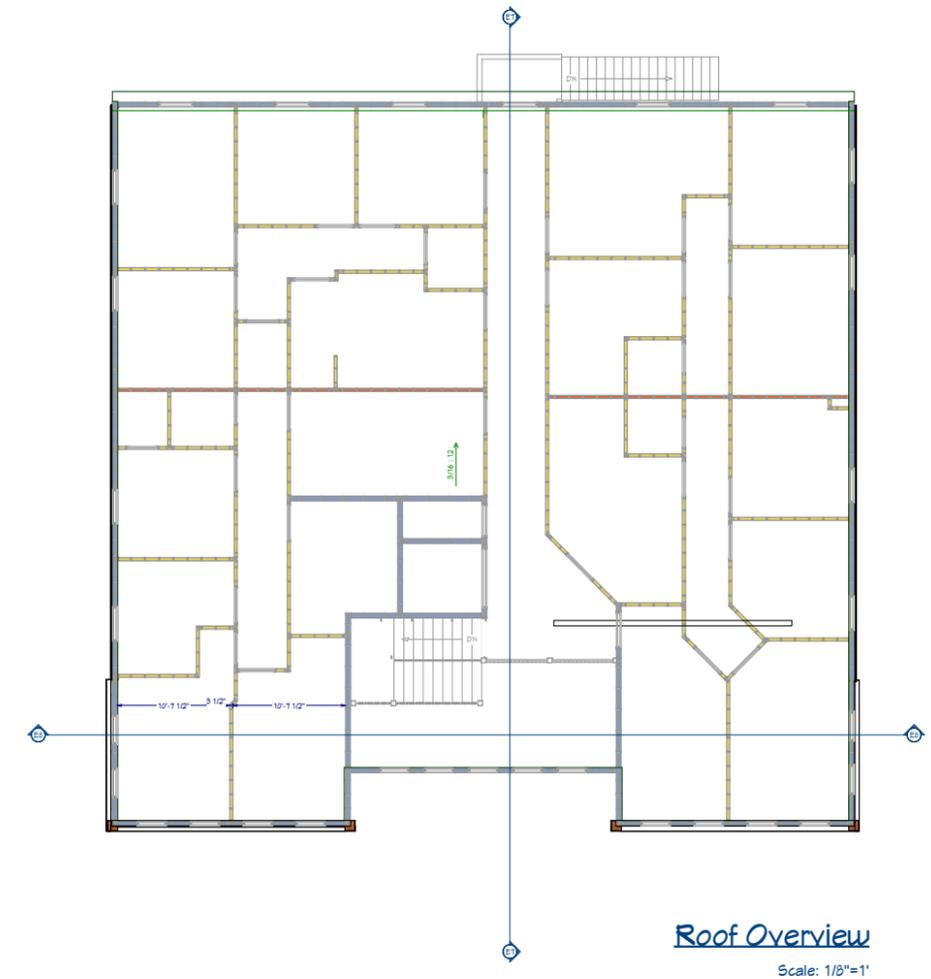
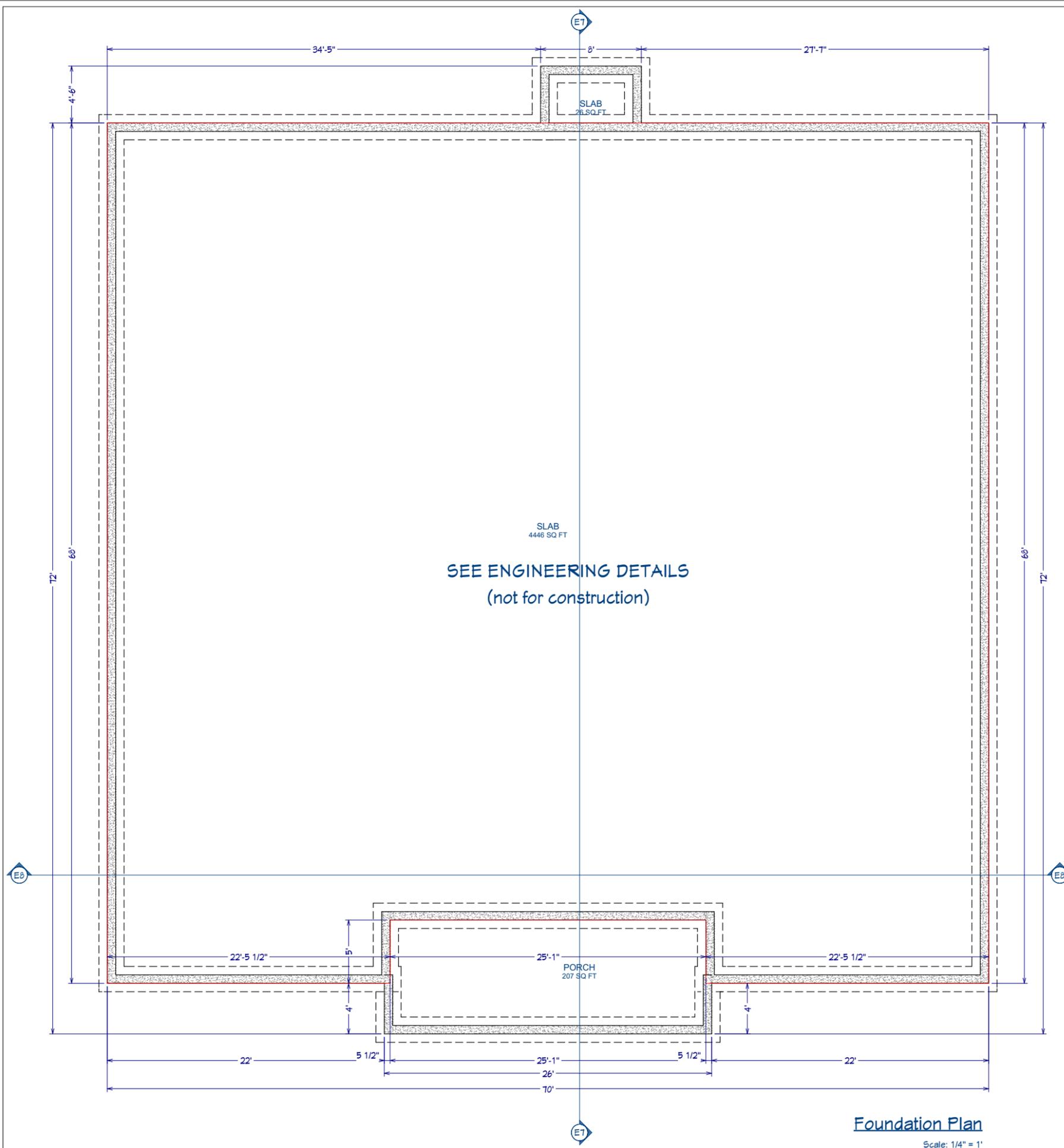
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FOUNDATION
 & ROOF
 PLAN

DATE:
 5/4/2020

SHEET:

A5







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EXTERIOR ELEVATIONS (Alternate)

DATE:
5/4/2020

SHEET:

A7

Ridge Height Above Floor
24' 5 3/4"

Bottom of Ceiling Framing 2nd Floor
20' 7 3/4"

Top of Sub Floor - 2nd Floor
11' 6 1/4"

Bottom of Ceiling Framing
10' 1 1/2"

Top of Subfloor (Slab) - 1st Floor
0' 0" | Elevation: 80' 0" (NVGD29)



Front Elevation (Version B)

Scale: 1/4" = 1'



Left Elevation

Scale: 1/8" = 1'



Rear Elevation

Scale: 1/8" = 1'



Right Elevation

Scale: 1/8" = 1'



RENDERING FOR ILLUSTRATION ONLY
 No Scale



Front Elevation (Version C)

Scale: 1/4" = 1'



Left Elevation

Scale: 1/8" = 1'



Rear Elevation

Scale: 1/8" = 1'



Right Elevation

Scale: 1/8" = 1'



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EXTERIOR ELEVATIONS (Alternate)

DATE:
5/4/2020

SHEET:

A9



Front Elevation (Version D)

Scale: 1/4" = 1'



Left Elevation

Scale: 1/8" = 1'



Rear Elevation

Scale: 1/8" = 1'

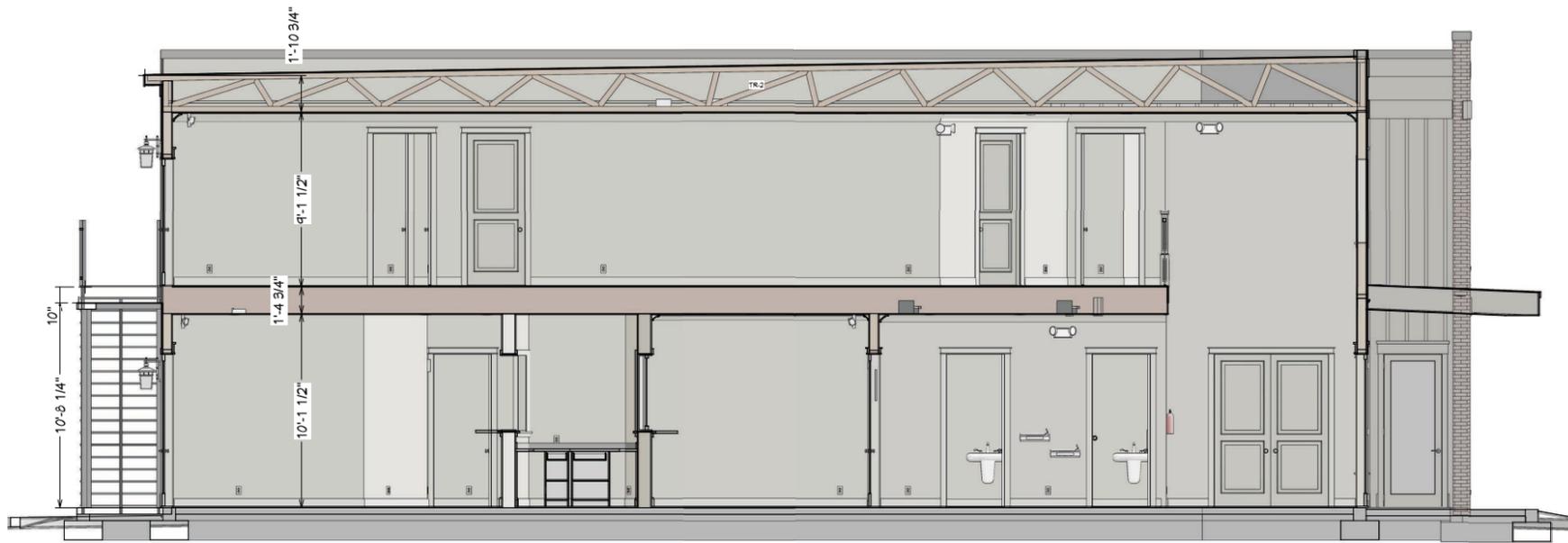


Right Elevation

Scale: 1/8" = 1'



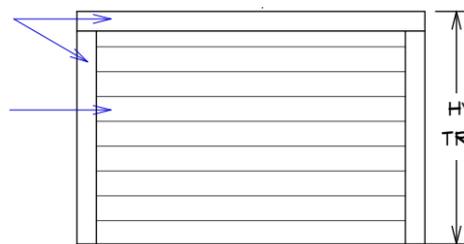
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 No Scale



Elevation 7 | Section View
1/4 in = 1 ft

Fiber Cement Trim Band
(Painted, 5/4" x 6")

Fiber Cement Siding
(Design and Paint to
Match Building Side
Elevation)



HVAC & TRASH SCREENING DETAIL
(Match Building Exterior)
Scale 1/2" = 1'

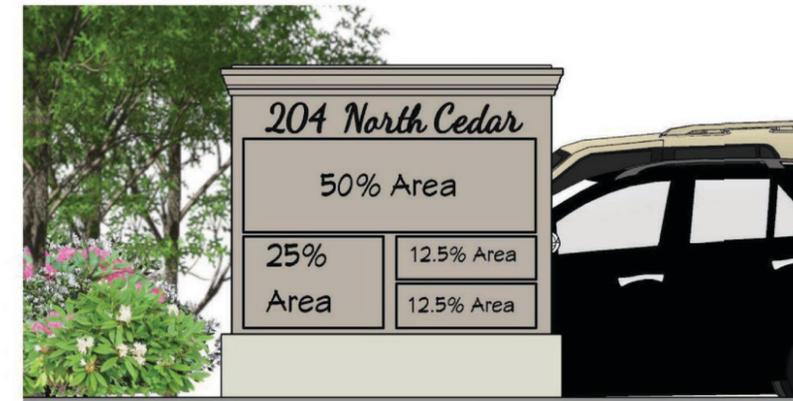
HVAC - 5' Above Grade
TRASH - 6' Above Grade

Fiber Cement Trim Band
(Painted S1/6 111 Gloss,
5/4" x 6")
Fiber Cement Board & Batten
(Painted S1/6 111 Flat)



HVAC Screening
Elevation Section

Scale: 1/4" = 1'

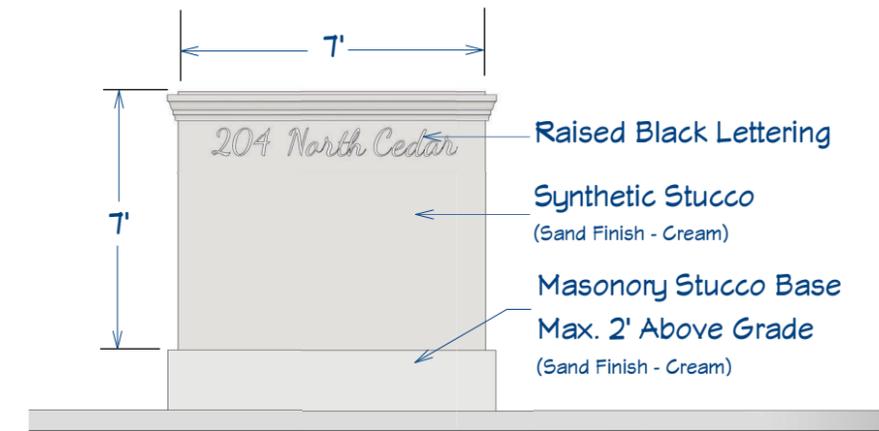


SIGNAGE (sample layout shown)

RENDERING

FOR ILLUSTRATION ONLY
No Scale

Monolith style with approximately 50 Sq ft of overall area per side
Suite #100 50% of the available sign face (both sides)
Suites #200 - #203 are deeded 12.5% of the available sign face
(both sides)



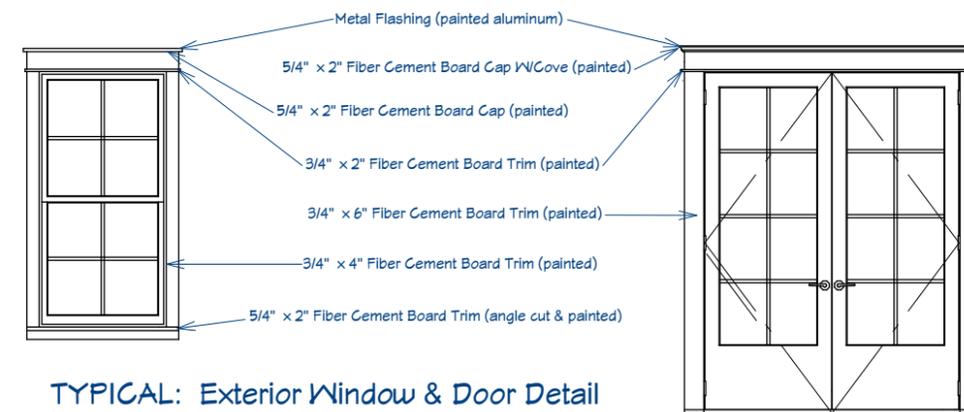
Raised Black Lettering

Synthetic Stucco
(Sand Finish - Cream)

Masonry Stucco Base
Max. 2' Above Grade
(Sand Finish - Cream)

Signage

Scale: 1/2" = 1'



TYPICAL: Exterior Window & Door Detail

Scale: 1/2" = 1'



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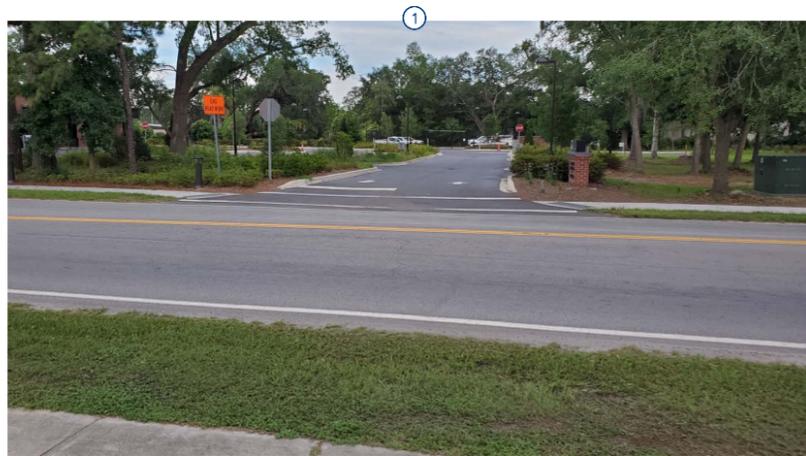
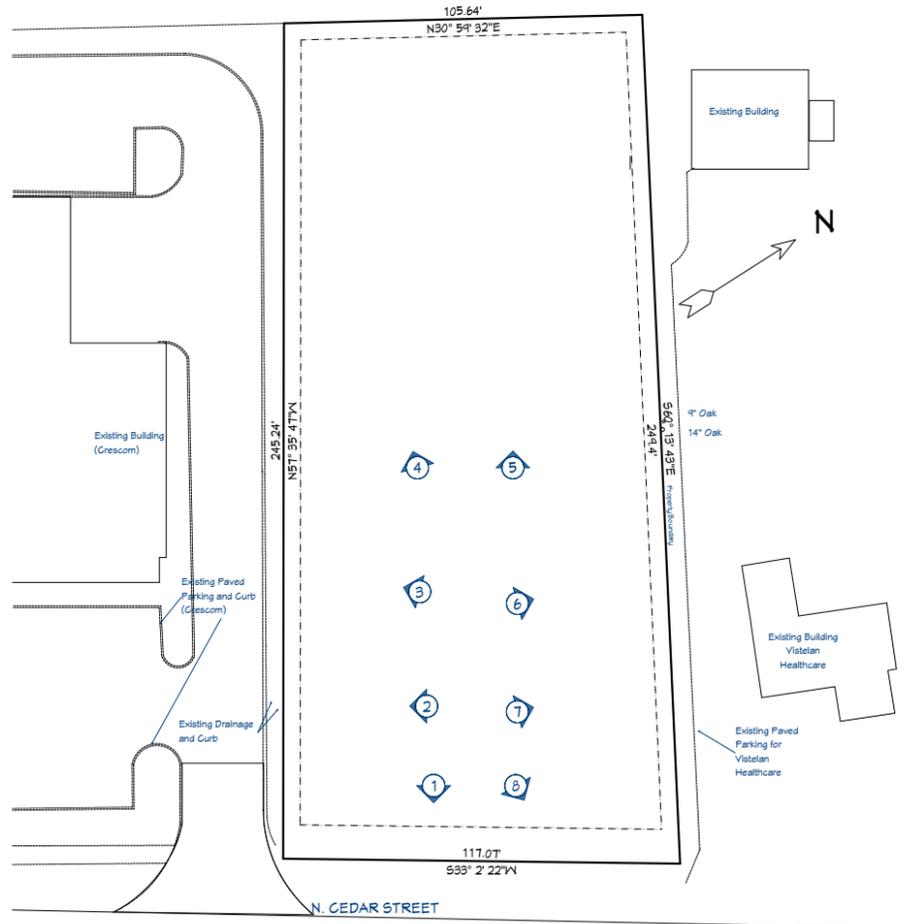
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Summerville, SC 29483

DETAILS/
SECTIONS

DATE:
5/4/2020

SHEET:

A10



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SITE PHOTOS

DATE:
 5/4/2020

SHEET:

A11



1.866.259.6263
meridianbrick.com



ORTEGA
Phenix City Collection



1.866.259.6263
meridianbrick.com



CITADEL
Bessemer Architectural Series

SW 6171

Chatroom

Interior / Exterior

Location Number: 211-C3

STAFF REPORT
DRB Meeting
May 21, 2020 at 4:00 p.m.

TO: Town of Summerville DRB
FROM: Planning Staff
DATE: May 15, 2020

GENERAL INFORMATION

Project/Applicant: Trolley Road Retail
Property Owner: Seth Newman
Requested Action: The applicant is requesting Final Approval of proposed exterior renovations to the existing retail development
Requested Approval: Final Approval
Existing Zoning: N-MX Neighborhood Mixed Use
Adjacent Zoning: **North:** N-MX Neighborhood Mixed Use
South: N-MX Neighborhood Mixed Use
East: UC-MX Urban Corridor Mixed Use and Out – Dorchester County
West: Out – Dorchester County
Location: 440 Old Trolley Road
Existing Land Use: Retail
Prior Reviews: First Meeting
Ordinance Reference:

Sec. 13.3.5 Design Review Board.

A. Authority: Pursuant to S.C. Code 1976, § 6-29-870, et seq., as amended, there is hereby created a Design Review Board (DRB) that protects and improves the visual and aesthetic character of mixed-use, commercial, industrial and multi-family development within the Town of Summerville, excluding any development allowed within the designated historic district which is regulated by the Historic District / Board of Architectural Review. The DRB seeks to enhance corridors, neighborhoods and districts in order to contribute to a sense of place and pride, while building on or enhancing economic value and further strengthening the integrity of Summerville’s historic and/ or best characteristics. The process aims to respect the character, integrity and quality of the built environment of the Town of Summerville without stifling carefully innovative architecture and/or development.

Recommendation:

The Applicant has acquired the adjacent existing retail centers. The intent is to renovate the exterior of the existing buildings to match the approved elevations of the new retail center approved by DRB in August 15, 2019. There are no proposed site changes.



LOCATOR MAP

NOT TO SCALE (LOCATION MAP PER GOOGLE MAPS)



440 TROLLEY FRONT FACADE UPDATE

440 Old Trolley Rd, Summerville, SC 29485

FINAL DRB

May 21, 2020

SUMMARY OF WORK:
EXTERIOR RENOVATION OF FRONT FACADE



LFK ARCHITECTS, LLC
802 COLEMAN BLVD, SUITE 100
MOUNT PLEASANT, SC 29464
LOSSE F. KNIGHT III, AIA
losse@lfkarchitect.com
phone: 843-330-8940

JOB NUMBER:	
DRAWN:	
CHECKED:	

OWNER:

SETH NEWMAN
751 JOHNNIE DODDS BLVD. SUITE 200
MT. PLEASANT, SC 29464
seth.newman@me.com

PROJECT TEAM:

ARCHITECTURE:
(PRIMARY CONTACT)

LFK ARCHITECTS, LLC
802 COLEMAN BLVD
SUITE 100
MOUNT PLEASANT, SC 29464

LOSSE F. KNIGHT III, AIA
losse@lfkarchitect.com
843.330.8940

CIVIL/LANDSCAPE:

EARTHSOURCE ENGINEERING
887 JOHNNIE DODDS BLVD, SUITE 220
MOUNT PLEASANT, SC 29464

GILES N. BRANCH, PE, LEED AP
branchgri@earthsourceng.com
843.881.0525

KEVIN M. BERRY, PE, LEED AP
berrym@earthsourceng.com
843.881.0525

PROJECT DATA:

PROJECT NAME: OLD TROLLEY ROAD RETAIL
ADDRESS: 440 OLD TROLLEY RD
SUMMERVILLE, SC
COUNTY: DORCHESTER
CITY: SUMMERVILLE
TMS: TMS 145-15-12-024
ZONING: B-3
BUFFERS: [SEE SITE PLAN]
SETBACKS: [SEE SITE PLAN]
FLOOD ZONE: ZONE X

PREVIOUS APPROVALS:

0 TROLLEY ON 08.15.19 (440 USES SAME MATERIAL PALETTE)



EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

DRAWING INDEX:

001	COVER SHEET, DRAWING INDEX, PROJECT NOTES
002	OLD TROLLEY RD CENTER OVERALL SITE PLAN
003	ENLARGED SITE PLAN
004-7	EXISTING STREETSCAPES & SITE CONDITIONS
008	OLD TROLLEY RD CENTER STREETSCAPE
009	OLD TROLLEY RD CENTER PERSPECTIVE
010	440 EXISTING AND PROPOSED MODEL VIEW
011	FRONT AND SIDE ELEVATIONS
012	ENLARGED PERSPECTIVES
013	PREVIOUSLY APPROVED MATERIALS
014	PARTIAL FLOOR PLANS
015	ENLARGED FLOOR PLANS
016	ENLARGED PLAN DETAIL
017	BLACK AND WHITE ELEVATIONS
018-020	SECTIONS
021-025	STRUCTURAL
026-029	ATTACHMENTS

REVISION NOTES:

428 Trolley Rd Retail
428 OLD TROLLEY RD
SUMMERVILLE, SC
COVER SHEET

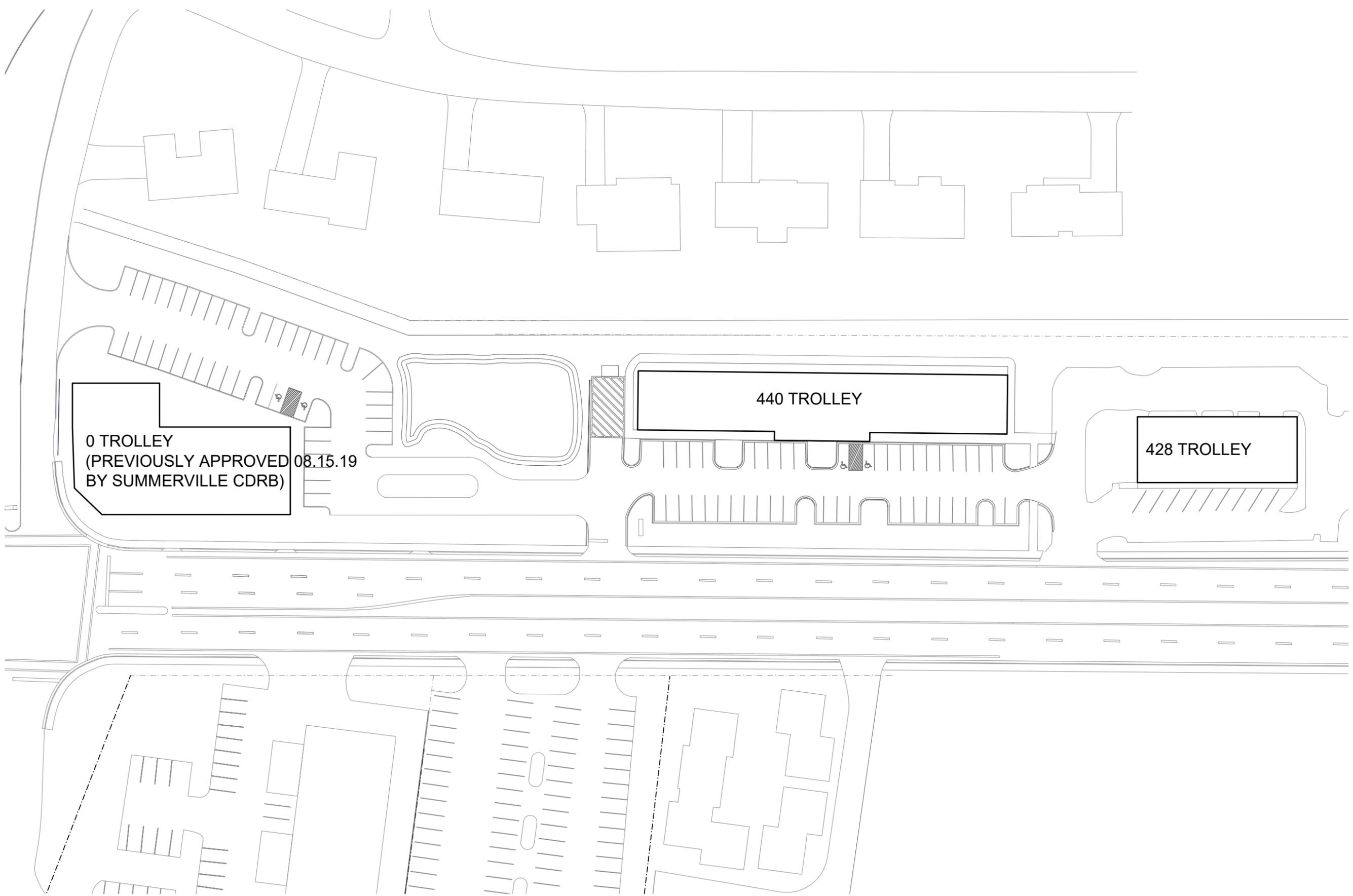
SHEET NUMBER & TITLE:

G001

DRB
04.02.2020

ORIGINAL LAYOUT SIZE: 24x36

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0 TROLLEY
 (PREVIOUSLY APPROVED 08.15.19
 BY SUMMERVILLE CDRB)

440 TROLLEY

428 TROLLEY

1 OVERALL SITE PLAN : 0 TROLLEY, 440 TROLLEY, 428 TROLLEY
 A001 NOT TO SCALE



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 phone: 843-330-8540

JOB NUMBER:	
DRAWN:	
CHECKED:	

REVISION NOTES:	
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428 Trolley Rd Retail
 428 OLD TROLLEY RD
 SUMMERVILLE, SC
 OVERALL SITE PLAN

SHEET NUMBER & TITLE:
A001

DRB
 04.02.2020

REFERENCES

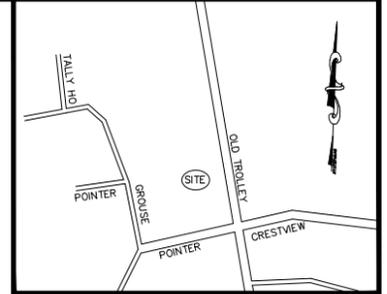
- 1.) PLAT BY DAVID BASS DATED FEB. 1, 2017 PLAT BOOK M PAGE 106
- 2.) PLAT BY PAUL LAWSON DATED OCT. 24, 1998 PLAT BOOK M PAGE 123
- 3.) PLAT BY THOMAS BAILEY DATED OCTOBER, 1974 PLAT BOOK M PAGE 179
- 4.) PLAT BY FOSTER DATED MARCH 11, 1968 PLAT BOOK M PAGE 6
- 5.) PLAT BY BAILEY DATED OCTOBER 1974 PLAT BOOK M PAGE 279
- 6.) DEED 1946 194
- 7.) DEED 2018 184
- 8.) PLAT BY SHULSE DATED JUNE 1, 2018 PLAT BOOK M PAGE 151-151

NOTES

- 1.) PROPERTY CORNERS SET ARE ALL 5/8" REBAR UNLESS NOTED OTHERWISE
- 2.) AREA CALCULATED BY THE COORDINATE METHOD.
- 3.) BEARINGS SHOWN HEREON ARE STATEPLANE GRID
- 4.) THIS PLAT IS INTENDED ONLY TO SHOW THE TOPOGRAPHY OF PARCELS AND IS BASED ON FOUND MONUMENTATION, LISTED REFERENCE DATA, AND LINES OF OCCUPATION. NO TITLE RESEARCH WAS DONE.
- 5.) SETBACKS ARE SUBJECT TO CHANGE AND MUST BE APPROVED BY TOWN OFFICIAL.
- 6.) THE SURVEY SHOWS EASEMENTS WHICH ARE OBVIOUS OR APPARENT TO THE SURVEYOR
- 7.) NO SUBSURFACE INVESTIGATION DONE
- 8.) ANY REPRESENTATION OUTSIDE BOUNDARY IS FOR REFERENCE
- 9.) THERE HAS BEEN NO ENVIRONMENTAL INVESTIGATION DONE FOR PARCEL. THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS OR DHEC-OCRM CRITICAL AREAS ARE UNDETERMINED AS OF THIS DATE.
- 10.) THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA, ZONE "X" AS PER F.I.R.M. PANEL #450068 0245C, DATED APRIL 15, 1994.

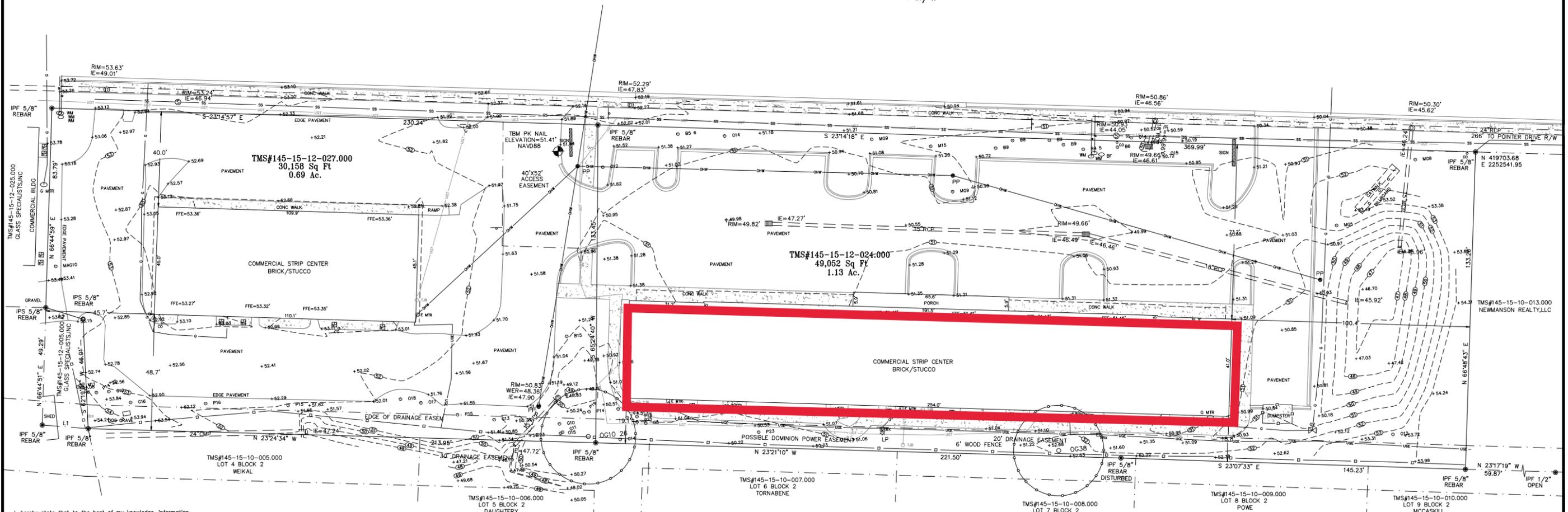
LEGEND

- IRON PIPE FOUND
- IRON PIPE SET
- STORM MANHOLE
- SEWER CLEANOUT
- SEWER MANHOLE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- WATERLINE
- UNDERGROUND ELEC
- GAS VALVE
- GAS
- POWER LINES
- PHONE TUB/CBX
- PHONE
- OAK TREE
- PINE TREE
- GUM TREE
- MAGNOLIA TREE
- GRAND OAK TREE
- BEECH TREE
- SPOT ELEVATION
- CONTOUR LINE
- TREE PROTECTION



440 OLD TROLLEY RD

OLD TROLLEY ROAD S-18-199 100'R/W



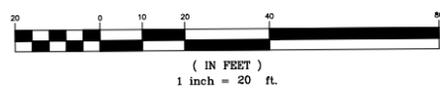
I, hereby state that to the best of my knowledge, information and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class "A" survey as specified therein; also there are no visible encroachments, projections, or setbacks affecting the property other than those shown.

1/20/20

MICHAEL S. SHULSE, S.C. P.L.S. No.18268
1210 RIVERS REACH DR
WANDO, S.C. 29492
PHONE: (843) 296-1607



GRAPHIC SCALE



LINE	LENGTH	BEARING
L1	19.44	S20°29'54" E
L2	16.45	S07°54'20" E

TOPOGRAPHIC SURVEY OF
TMS#145-15-12-024.000, & 145-15-12-027.000
OWNED BY NEWMANSON REALTY, LLC
LOCATED IN
TOWN OF SUMMERVILLE
DORCHESTER COUNTY SOUTH CAROLINA
DATE SURVEYED: JANUARY 11, 2020

MICHAEL SHULSE, LLC ©



Existing Context Trolley Road South Streetscape



XperTech

Old Trolley Animal Clinic

Warehouse Specialties

Shipley Office Park



Trolley Station

Crestview Dr.

Family Dollar (at intersection)



Deluxe Car Wash

Extra Space Storage

Enlarged Existing Context- Trolley Road South Streetscape





Pointer Dr.
Existing Context- Trolley Road North Streetscape



440 Trolley Retail Center



622 Trolley

Salon Trio

Ye Old Fashioned

Old Trolley Dental Associates



Pointer Dr.



440 Trolley Retail Center



428 Trolley

Glass Specialist

Enlarged Existing Context- Trolley Road North Streetscape





Trolley Station



Family Dollar



Old Trolley Dental Associates



Ye Ole Fashioned

Existing Context- Adjacent Buildings at Intersection





440 Trolley – Existing Condition



Warehouse Specialties



Shiplely Office Park

Existing Context- Buildings Adjacent to 440 Trolley Road



31'-6" AFS



0 Trolley

25' AFS



440 Trolley

19'-6" AFS



Storefront covered

428 Trolley

31'-6" AFS



Old Trolley Rd Center – Enlarged and Combined Elevations





Old Trolley Rd Center Perspective View All





1 EXISTING 3D VIEW
A001 NTS



2 PROPOSED 3D VIEW
A001 NTS



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DRAWN:
CHECKED:

REVISIONS:

440 TROLLEY RD FACADE IMPROVEMENTS
440 OLD TROLLEY RD
SUMMERVILLE, SC
EXISTING AND PROPOSED PERSPECTIVE

SHEET NUMBER & TITLE

A001

DRB SUBMITTAL
04.02.20

ORIGINAL LAYOUT SIZE: 24x36



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DRAWN:	
CHECKED:	

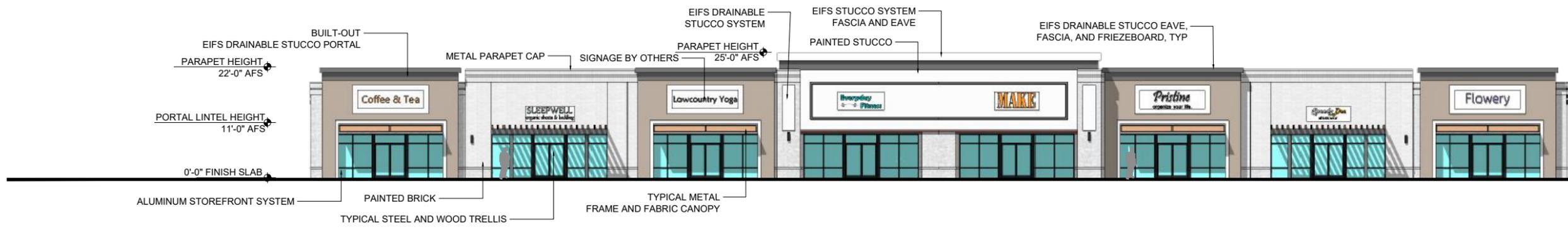
REVISION NOTES:

428 Trolley Rd Retail
428 OLD TROLLEY RD
SUMMERSVILLE, SC
PROPOSED ELEVATION 440 TROLLEY

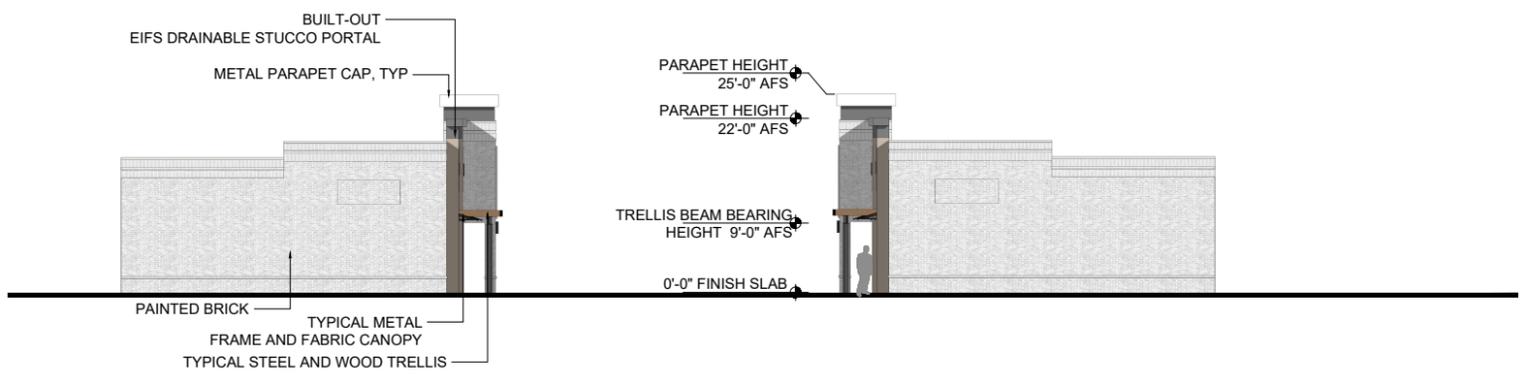
SHEET NUMBER & TITLE:

A201

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04.02.2020



1 PROPOSED FRONT ELEVATION
SCALE: 3/32"=1'-0"



2 PROPOSED SIDE ELEVATIONS
SCALE: 3/32"=1'-0"

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1
A002 PROPOSED STUCCO PORTAL
NTS (TENANTS 1,3,5,7)



2
A002 PROPOSED TRELLIS
NTS (TENANTS 2,6)



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DRAWN:	
CHECKED:	

REVISIONS:	
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440 OLD TROLLEY RD FACADE IMPROVEMENTS
440 OLD TROLLEY RD
SUMMERVILLE, SC
ENLARGED 3D VIEWS

SHEET NUMBER & TITLE:

A002

DRB SUBMITTAL
04.02.20



PREVIOUSLY APPROVED BRICK
(0 TROLLEY)

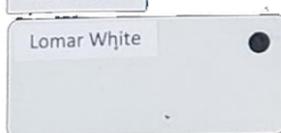


VIEW FROM OLD TROLLEY



VIEW FROM PARKING

Metal Fascia



Fabric Awning



Cornice and Trim Stucco

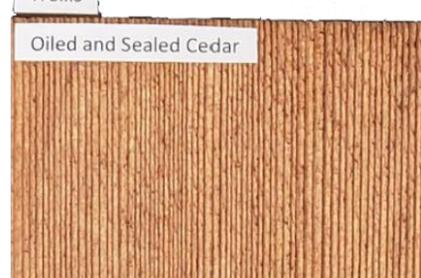


Accent Storefront Surround Stucco

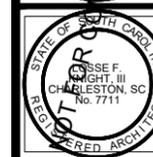
Roof / Cornice / Accent Columns / Storefront



Trellis



440 & 428 MATERIALS TO MATCH 0 TROLLEY
SEE ELEVATIONS FOR MATERIAL LOCATIONS



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REVISION NOTES:

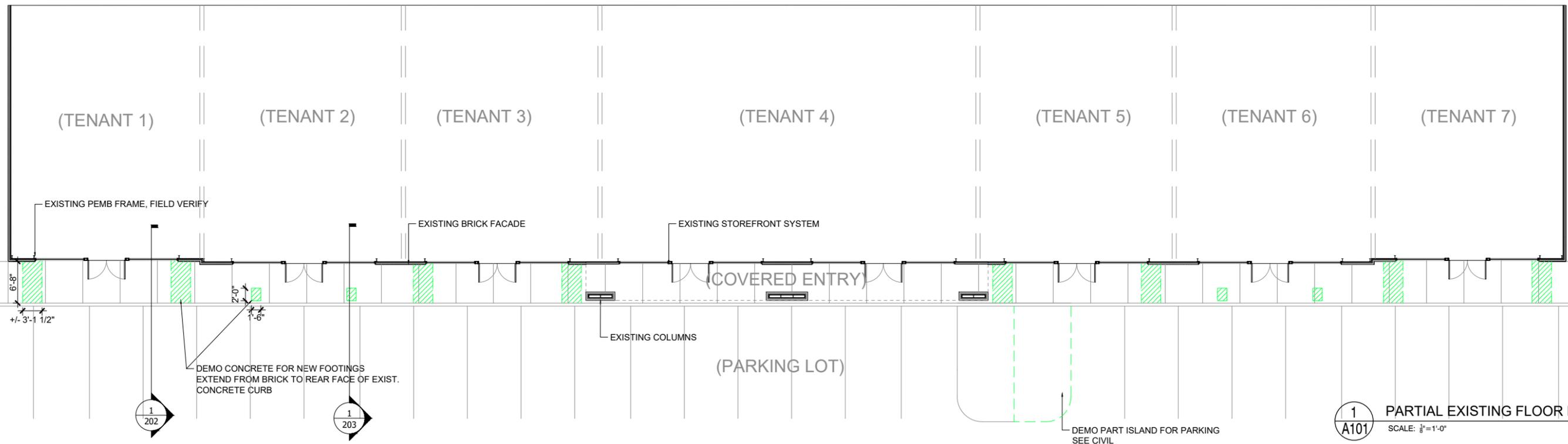
428 Trolley Rd Retail
428 OLD TROLLEY RD
SUMMERSVILLE, SC
PREVIOUSLY APPROVED MATERIALS

SHEET NUMBER & TITLE:

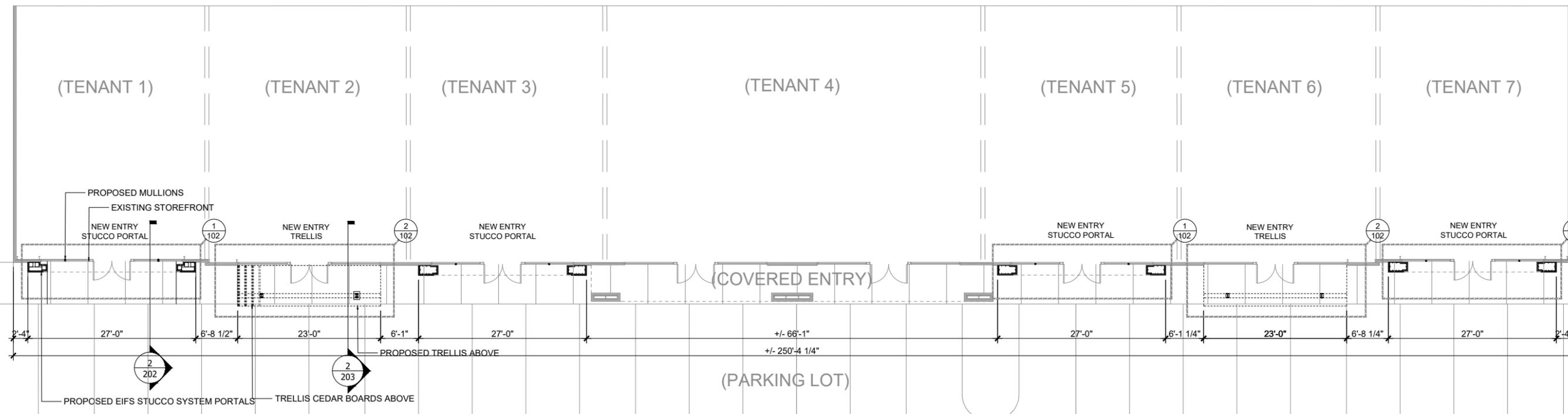
A601

DRB
04.02.2020

ORIGINAL LAYOUT SIZE: 24X36



1 PARTIAL EXISTING FLOOR PLAN
 A101 SCALE: 3/8" = 1'-0"



2 PARTIAL PROPOSED FLOOR PLAN
 A101 SCALE: 3/8" = 1'-0"



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JOB NUMBER:
 DRAWN:
 CHECKED:

REVISIONS:

440 OLD TROLLEY RD FACADE IMPROVEMENTS
 440 OLD TROLLEY RD
 SUMMERVILLE, SC
 PARTIAL FLOOR PLANS

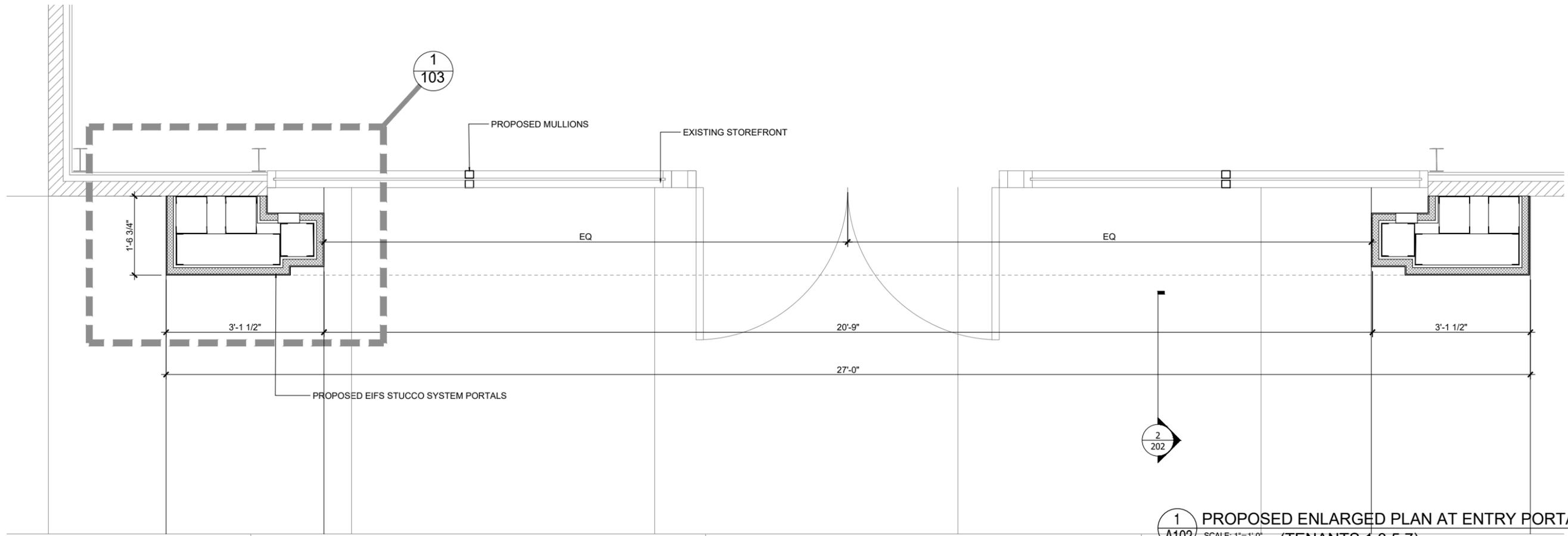
SHEET NUMBER & TITLE

A101

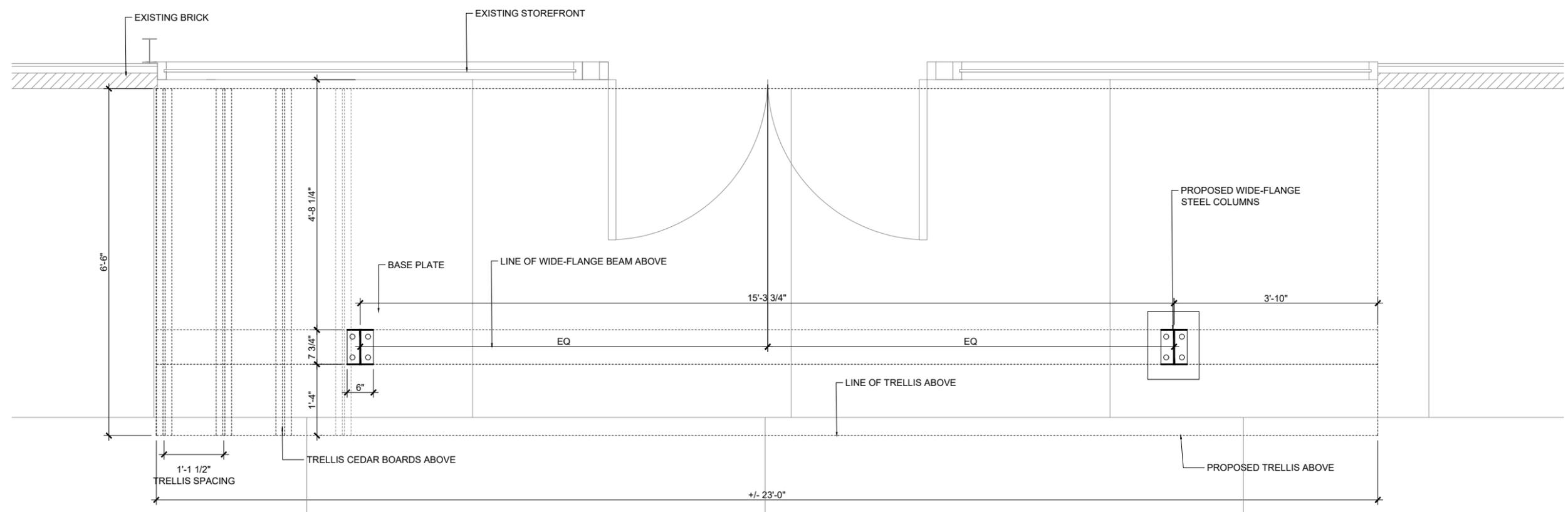
DRB SUBMITTAL
 04.02.20

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ORIGINAL LAYOUT SIZE: 24X36



1 PROPOSED ENLARGED PLAN AT ENTRY PORTAL
 A102 SCALE: 1"=1'-0" (TENANTS 1,3,5,7)



2 PROPOSED ENLARGED PLAN AT ENTRY PORTAL
 A102 SCALE: 1"=1'-0" (TENANTS 2,6)



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CHECKED:	

REVISIONS:

440 OLD TROLLEY RD FACADE IMPROVEMENTS
 440 OLD TROLLEY RD
 SUMMERVILLE, SC

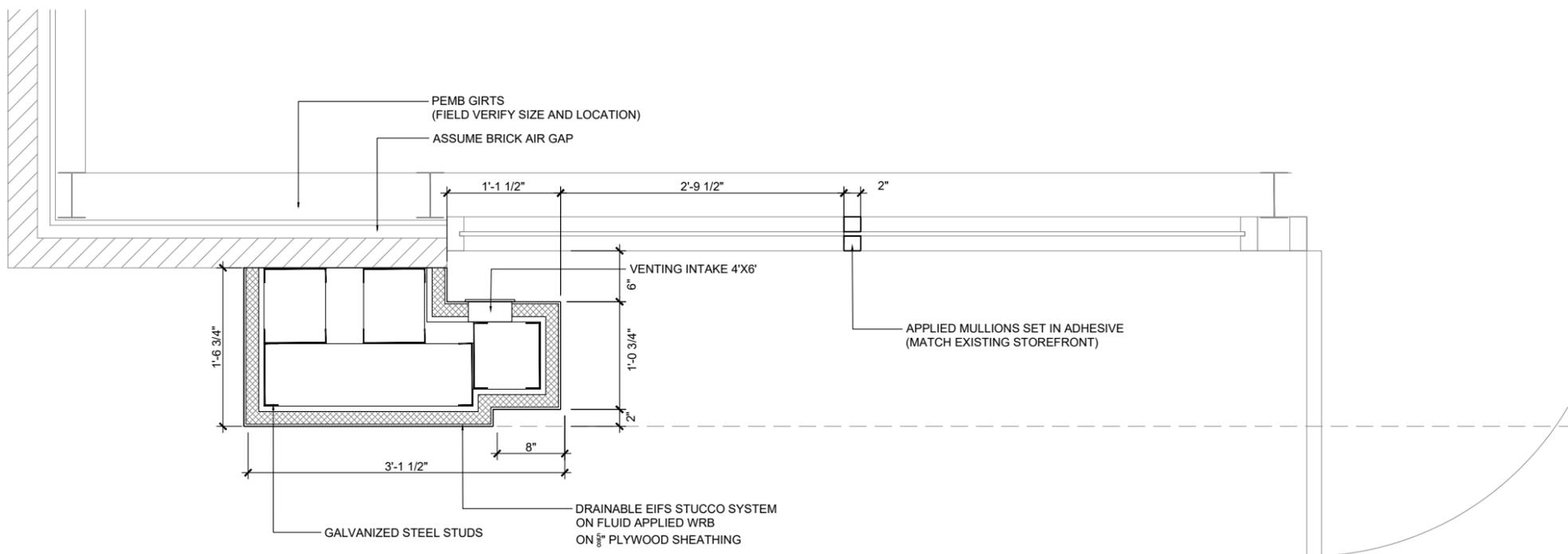
SHEET NUMBER & TITLE

A102

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 04.02.2020

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ENLARGED PLANS



1
A103 ENLARGED PROPOSED STUCCO PORTAL PLAN
SCALE: 1/2" = 1'-0"



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CHECKED:	

REVISIONS:

440 OLD TROLLEY RD FACADE IMPROVEMENTS
440 OLD TROLLEY RD
SUMMERVILLE, SC

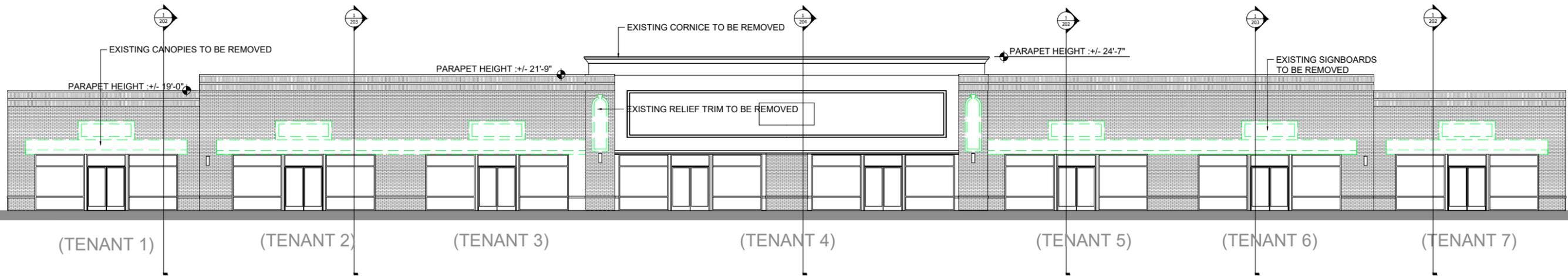
STUCCO PORTAL DETAIL PLAN

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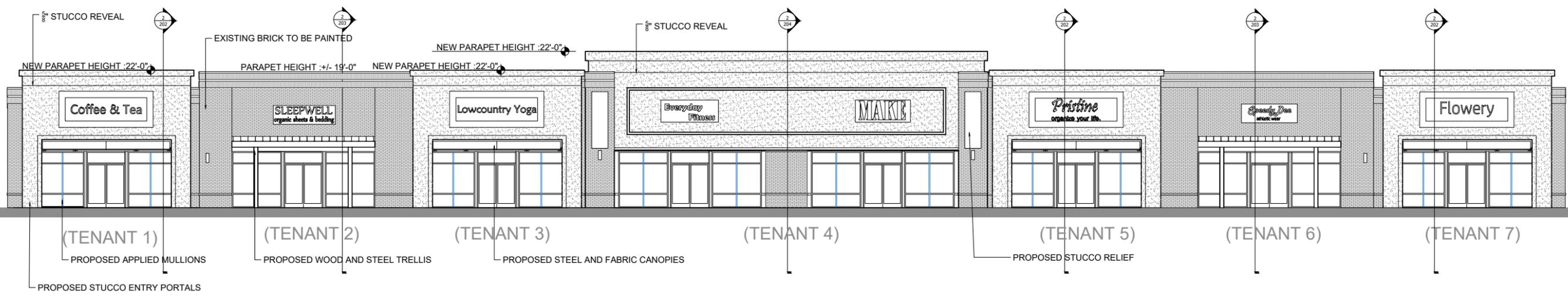
A103

DRB SUBMITTAL
04.02.2020

ORIGINAL LAYOUT SIZE: 24X36



1 EXISTING FRONT ELEVATION
 SCALE: 1/8"=1'-0"



2 PROPOSED FRONT ELEVATION
 SCALE: 1/8"=1'-0"

NOTE : SEE 3D PERSPECTIVES FOR COLORS



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JOB NUMBER:
 DRAWN:
 CHECKED:

REVISIONS:

440 OLD TROLLEY RD FACADE IMPROVEMENTS
 440 OLD TROLLEY RD
 SUMMERVILLE, SC
ELEVATIONS

SHEET NUMBER & TITLE

A201

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DESCRIPTION

Cambria 920 is a small dimmable LED or MR16 low voltage sign lighting luminaire. It attaches to a wall mounted 36 in. hook arm and delivers 180° of vertical adjustment for easy aiming. Optional 24", 30" or 36" hook arms are available. Various lenses, louvers and color or dichroic filters can be combined - up to three at once - to create multiple lighting effects. The Lumiere exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

SPECIFICATION FEATURES

Material

Housing, hood, hook arm and wall mounting plate are precision-machined from corrosion-resistant 6061-T6 aluminum.

Finish

Fixtures are double protected by a chromate conversion undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.

Hood

Hood is removable for easy relamping and accepts up to three internal accessories at once (lenses, louvers, filters) to achieve multiple lighting effects. Weep holes prevent water and mineral stains from collecting on the lens, even in the straight-up position.

Gasket

Housing and hood are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.

Lens

Tempered glass lens, factory sealed with high temperature adhesive

to prevent water intrusion and breakage due to thermal shock.

Adjustable Mounting Arm

Standard 36" hook arm with adjustable center rear swivel provides 180° of vertical adjustment for easy aiming. Optional 24", 30", or 36" hook arms are available (specify option -HA24, -HA30 or -HA36). Stainless steel aim-locking mechanisms are standard. 4-1/4" diameter wall mounting plate attaches directly to standard J-box with screws provided. Lumiere's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

Socket

Ceramic socket with 250° C Teflon® coated lead wires and GU5.3 bi-pin base.

Electrical

Remote 12V transformer required (not included). Initial power draw

on LED equipped fixtures is 12 watts. When sizing transformer use 12 watts per LED fixture. Nominal power draw after start up is 8 watts. Also, LEDs are more voltage sensitive than standard halogen MR16 lamps. The LED module is designed to operate within the range 12V +/- 1.2V. Any less or more voltage can cause premature failures.

Lamp

Halogen lamp not included. SORAA LED modules are included and are available in three color temperatures (2700, 3000 and 4000) or Amber (585-595nm) and three distributions (spot, narrow, and flood). Both color temperature and distribution must be specified when ordering. Soraa lamp compatible (8W Max).

Warranty

Lumiere warrants its fixtures against defects in materials & workmanship for three (3) years. Auxiliary equipment such as transformers and lamps carry the original manufacturer's warranty.



920 CAMBRIA LED HALOGEN

APPLICATIONS:
SIGN LIGHT

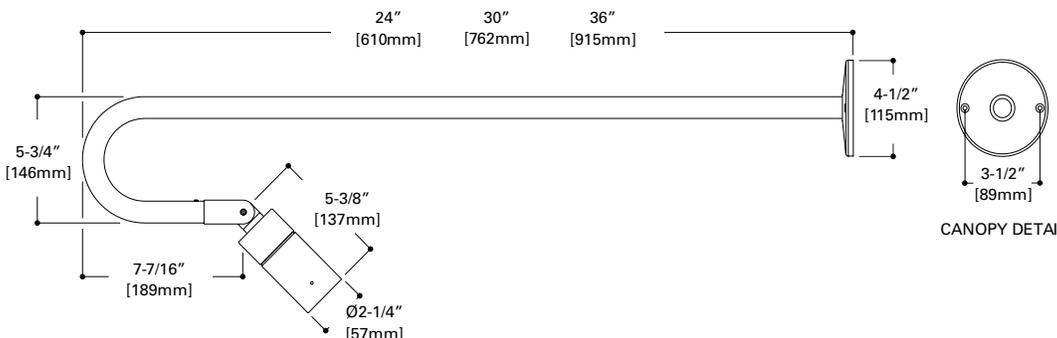


CERTIFICATION DATA

UL and cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
IP65 Ingressed Protection Rated

TECHNICAL DATA

Low Voltage:
50W Max Halogen MR16
8W LED, L70/60,000 hours at 25°



ORDERING INFORMATION

Sample Number: 920-8LED2710-12-BK-HA24

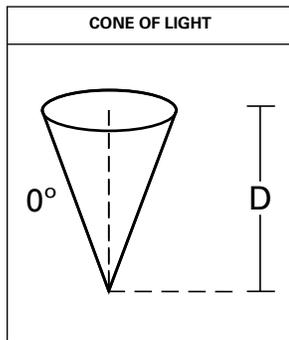
Series	Source (for LED, select from each column and combine)	Voltage	Finish	Stem Length		
920=LED or MR16 Cambria Sign Light, Hook Arm, Center Rear Swivel, Single Head	50MR16=50W max. Halogen MR16 (lamp not included)	12=12V	Painted BK=Black BZ=Bronze CS=City Silver VE=Verde WT=White	HA24=24" Length HA30=30" Length HA36=36" Length		
	8LED=8W LED				27=2700K 30=3000K 40=4000K	10=10° Spot 25=25° Narrow 36=36° Wide
	5LED=5W LED				AM=Amber (585-595nm)	

NOTES: 1 Unless noted otherwise, lamps not included. 2 See Accessories & Technical Data section of Lumiere catalog for Mounting Accessories. 3 Consult your customer service representative for additional options and finishes.

OPTICAL ACCESSORIES - ORDER SEPARATELY

Filters (2.00" Diameter)	Optical Lenses (2.00" Diameter)	Optical Louvers (2.00" Diameter)
F71 =Peach Dichroic F72 =Amber Dichroic F73 =Green Dichroic F74 =Medium Blue F75 =Yellow Dichroic F76 =Red Dichroic F77 =Dark Blue Dichroic F78 =Light Blue Dichroic F79 =Neutral Density Dichroic F80 =Magenta Dichroic F22 =Red Color F33 =Blue Color F44 =Green Color F55 =Yellow Color F66 =Mercury Vapor	LSL = Linear Spread Lens (elongates standard beam spread) DIF = Diffused Lens (provides even illumination) OSL = Overall Spread Lens (increases standard beam spread)	LVR = 45° Hex Cell Louver (reduces glare)

CAMBRIA 920 MR16 HALOGEN PHOTOMETRY DATA



Horizontal Illuminance on Surface - Cambria 920 Standard Recessed Hood - 50W MR16

Filename	920-50MR16-12-BK-NSP.ies	
Lamp	50W MR16 NSP	
CBCP	11,000	
Distance	FC	Beam Diameter
2'	2550	1'6"
4'	638	1'0"
6'	283	1'6"
8'	159	2'0"
10'	102	3'0"
15'	45	4'0"

Filename	920-50MR16-12-BK-NFL.ies	
Lamp	50W MR16 NFL	
CBCP	3,200	
Distance	FC	Beam Diameter
2'	725	1'0"
4'	181	2'6"
6'	81	4'0"
8'	45	5'0"
10'	29	6'6"
15'	12	10'0"

CCT MULTIPLIER

Lamp Wattage	Multiplier
20W	0.32
35W	0.57

Filename	920-50MR16-12-BK-FL.ies	
Lamp	50W MR16 FL	
CBCP	2,000	
Distance	FC	Beam Diameter
2'	431	1'6"
4'	106	3'0"
6'	48	5'0"
8'	27	6'6"
10'	17	8'0"
15'	7	12'0"

Filename	920-50MR16-12-BK-WFL.ies	
Lamp	50W MR16 WFL	
CBCP	1,200	
Distance	FC	Beam Diameter
2'	269	2'0"
4'	67	4'6"
6'	30	7'6"
8'	17	9'0"
10'	11	11'6"
15'	5	17'0"

NOTES AND FORMULAS

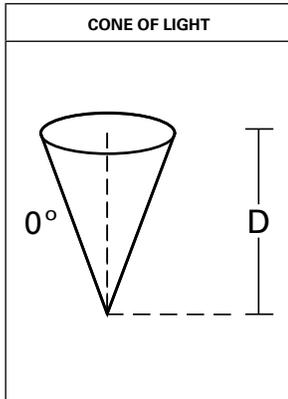
- Beam diameter is to 50% of maximum footcandles, rounded to the nearest half-foot.
- Footcandle values are initial. Apply appropriate light loss factors where necessary.
- Bare lamp data shown. Consult lamp manufacturers to obtain detailed specifications for their lamps.

CAMBRIA 920 LED PHOTOMETRY DATA

LED Lumen and CBCP Table - 4000K

		Flush Hood			Regressed Hood (black)			Regressed Hood (silver)		
		CBCP	LUMENS	LPW	CBCP	LUMENS	LPW	CBCP	LUMENS	LPW
10	BASE	5980	351.3	43.6	5541	298.5	371	5052	296.9	39.7
	+DIFF	985	286.9	35.8	968	220.4	274	930	233.2	31.2
	+LSL	1310	309.9	38.6	1299	253.1	31.4	1200	252.7	33.8
	+LVR	5270	243.0	30.6	4838	235.3	29.2	4633	225.1	30.1
	+OSL	1686	328.6	41.4	1700	285.7	35.5	1609	291.1	39
25	BASE	2690	4172	53.5	2559	374.2	474	2357	361.8	49.4
	+DIFF	761	338.6	43.4	729	267.7	33.9	720	281.4	36.2
	+LSL	795	375.1	48.1	778	316.3	40.2	719	312.0	42.2
	+LVR	2396	285.9	36.7	2294	272.4	34.1	2092	253.3	35.3
	+OSL	1452	383.4	49.1	1414	345.0	43.8	1328	341.2	45.2
36	BASE	1144	409.2	53.1	1125	369.1	47.6	1080	371.7	49
	+DIFF	542	336.3	43.6	532	264.3	34.1	502	268.6	35.1
	+LSL	486	371.1	48.2	480	305.6	39.4	484	317.4	41.7
	+LVR	1030	267.9	34.8	996	252.1	32.4	967	251.8	33.1
	+OSL	930	384.3	49.9	932	337.8	43.6	910	348.6	45.7

Horizontal Illuminance on Surface - Cambria 920 Standard Recessed Hood -4000K



Filename: 920-SS-8LED4010-12-BK.IES Test No.: G2-1802-569-4		
Distance	FC	Beam Diameter
2'	1385.2	0.4
4'	346.3	0.8
6'	153.9	1.2
8'	86.6	1.6
10'	55.4	2
15'	24.6	3.2
20'	13.9	4.2
30'	6.2	6.4
40'	3.5	8.4

Filename: 920-SS-8LED4025-12-BK.ies Test No.: G2-1802-569-5		
Distance	FC	Beam Diameter
2'	639.8	0.6
4'	159.9	1.2
6'	71.1	1.8
8'	40	2.4
10'	25.6	3
15'	11.4	4.6
20'	6.4	6
30'	2.8	9.2
40'	1.6	12.2

Filename: 920-SS-8LED4036-12-BK.ies Test No.: G2-1802-569-6		
Distance	FC	Beam Diameter
2'	281.2	1
4'	70.3	2.2
6'	31.2	3.4
8'	17.6	4.6
10'	11.2	5.8
15'	5	8.6
20'	2.8	11.6
30'	1.2	17.4
40'	0.7	23.2

CCT MULTIPLIER TABLE

CCT(K) / COLOR	MULTIPLIER
2700K	0.91
3000K	0.89
4000K	1.00

Note: Multiplier can be used to calculate center beam candle power (CBCP), Lumens and footcandle (FC) values.

TECHNICAL INFORMATION

1. Dimming is dependant on remote transformer compatibility with LED module. Please see compatibility matrix for dimmer switch and transformer selection.
2. When using a magnetic dimmer switch there are two recommended LED compatible 120V magnetic dimming switches:
Lutron Ariadni AVLV-600P and Lutron Diva DVLV-600P
3. IMPORTANT: When sizing transformer use 12 watts per LED fixture. Nominal power draw after start up is 8 watts. Any less or more voltage can cause premature failures.



Matthis 7 1/2" High Black LED Downlight
- Style # 5C014

\$69.99

Compare \$104.99

FREE SHIPPING & **FREE RETURNS*** | [Low Price Guarantee](#)
SHIPS TODAY! (orders by 2pm Pacific)

1

ADD TO CART

ADD TO WISH LIST

MOST POPULAR

1 Review | 3 Questions, 4 Answers

This LED downlight is made of tough aluminum and finished in a deep, rich black.

MORE DETAILS >



PRINT

EMAIL

CHAT

VIEW IN YOUR ROOM

MORE YOU MAY LIKE



\$69.99



\$69.99



\$69.99



\$79.99



\$59.99

PRODUCT DETAILS

Add this downlight to your indoor or outdoor spaces for contemporary style lighting. Finished in black and made of aluminum, this design is smooth and sleek and great near garage areas and entryways. LEDs add energy efficiency to this lighting fixture.

- 7 1/2" high x 5" wide. Extends 8 1/4" from the wall. Backplate is 4 1/2" high and wide. Weighs 2.09 lbs.
- 13 watt built-in LED. Non-dimmable. 790 lumens, comparable to a 60 watt

STAFF REPORT
DRB Meeting
May 21, 2020 at 4:00 p.m.

TO: Town of Summerville DRB
FROM: Planning Staff
DATE: May 15, 2020

GENERAL INFORMATION

Project/Applicant: Trolley Road Retail
Property Owner: Seth Newman
Requested Action: The applicant is requesting Final Approval of proposed exterior renovations to the existing retail development
Requested Approval: Final Approval
Existing Zoning: N-MX Neighborhood Mixed Use
Adjacent Zoning: **North:** N-MX Neighborhood Mixed Use
South: N-MX Neighborhood Mixed Use
East: UC-MX Urban Corridor Mixed Use and Out – Dorchester County
West: Out – Dorchester County
Location: 428 Old Trolley Road
Existing Land Use: Retail
Prior Reviews: First Meeting

Ordinance Reference:

Sec. 13.3.5 Design Review Board.

A. Authority: Pursuant to S.C. Code 1976, § 6-29-870, et seq., as amended, there is hereby created a Design Review Board (DRB) that protects and improves the visual and aesthetic character of mixed-use, commercial, industrial and multi-family development within the Town of Summerville, excluding any development allowed within the designated historic district which is regulated by the Historic District / Board of Architectural Review. The DRB seeks to enhance corridors, neighborhoods and districts in order to contribute to a sense of place and pride, while building on or enhancing economic value and further strengthening the integrity of Summerville’s historic and/ or best characteristics. The process aims to respect the character, integrity and quality of the built environment of the Town of Summerville without stifling carefully innovative architecture and/or development.

Recommendation:

The Applicant has acquired the adjacent existing retail centers. The intent is to renovate the exterior of the existing buildings to match the approved elevations of the new retail center approved by DRB in August 15, 2019. There are no proposed site changes.

428 TROLLEY FRONT FACADE UPDATE

428 Old Trolley Rd, Summerville, SC 29485

FINAL DRB
May 21, 2020

SUMMARY OF WORK:
EXTERIOR RENOVATION OF FRONT FACADE, NO CONDITIONED SPACE ADDED
PARKING AND SITE TO REMAIN AS EXISTING



LOCATOR MAP

NOT TO SCALE

(LOCATION MAP PER GOOGLE MAPS)



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802 COLEMAN BLVD, SUITE 100
MOUNT PLEASANT, SC 29464
LOSSE F. KNIGHT III, AIA
losse@lfkarchitect.com
phone: 843-330-8940

JOB NUMBER:	
DRAWN:	
CHECKED:	

OWNER:

SETH NEWMAN
751 JOHNNIE DODDS BLVD. SUITE 200
MT. PLEASANT, SC 29464
seth.newman@me.com

PROJECT TEAM:

ARCHITECTURE:
(PRIMARY CONTACT)

LFK ARCHITECTS, LLC
802 COLEMAN BLVD
SUITE 100
MOUNT PLEASANT, SC 29464

LOSSE F. KNIGHT III, AIA
losse@lfkarchitect.com
843.330.8940

CIVIL/LANDSCAPE:

EARTHSOURCE ENGINEERING
887 JOHNNIE DODDS BLVD, SUITE 220
MOUNT PLEASANT, SC 29464

GILES N. BRANCH, PE, LEED AP
branchgn@earthsourceeng.com
843.881.0525

KEVIN M. BERRY, PE, LEED AP
berrym@earthsourceeng.com
843.881.0525

PROJECT DATA:

PROJECT NAME: OLD TROLLEY ROAD RETAIL
ADDRESS: 440 OLD TROLLEY RD
SUMMERVILLE, SC
COUNTY: DORCHESTER
CITY: SUMMERVILLE
TMS: TMS 145-15-12-027
ZONING: [SEE SITE PLAN]
BUFFERS: [SEE SITE PLAN]
SETBACKS:
FLOOD ZONE: ZONE X

PREVIOUS APPROVALS:

0 TROLLEY ON 08.15.19 (440 USES SAME MATERIAL PALETTE)



EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

DRAWING INDEX:

001	COVER SHEET, DRAWING INDEX, PROJECT NOTES
002	OLD TROLLEY RD CENTER OVERALL SITE PLAN
003	428 ENLARGED SITE PLAN
004-7	EXISTING STREETSCAPES
008	OLD TROLLEY RD CENTER ELEVATION STREETSCAPE
009	OLD TROLLEY RD CENTER COMBINED PERSPECTIVE
010	EXISTING AND PROPOSED MODEL VIEW
011	ENLARGED PERSPECTIVES AT PORTALS
012	PREVIOUSLY APPROVED MATERIALS
013	EXISTING AND PROPOSED FLOOR PLANS
014	ENLARGED FLOOR PLANS
015	DETAIL ENTRY PORTAL PLAN
016	BLACK AND WHITE TECHNICAL ELEVATIONS
017-019	SECTIONS
020-024	STRUCTURAL
025-028	ATTACHMENTS: LIGHTING CUT SHEETS

REVISION NOTES:

428 Trolley Rd Retail

428 OLD TROLLEY RD
SUMMERVILLE, SC

COVER SHEET

SHEET NUMBER & TITLE:

G001

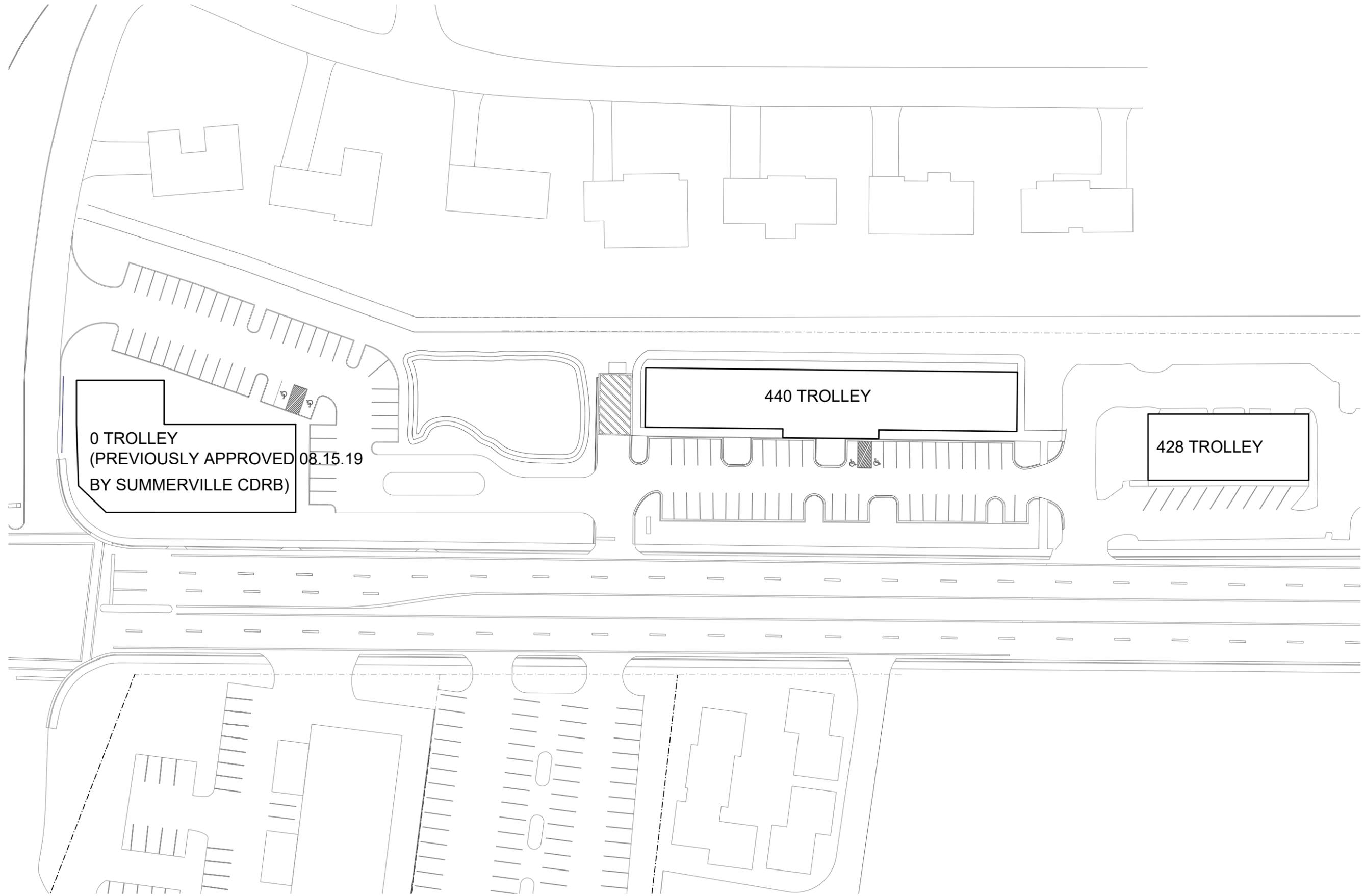
DRB
04.02.2020

ORIGINAL LAYOUT SIZE: 24x36

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ORIGINAL LAYOUT SIZE: 24x36

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0 TROLLEY
 (PREVIOUSLY APPROVED 08.15.19
 BY SUMMERVILLE CDRB)

440 TROLLEY

428 TROLLEY

1 OVERALL SITE PLAN : 0 TROLLEY, 440 TROLLEY, 428 TROLLEY
 A001 NOT TO SCALE



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 LOSSE F. KNIGHT III, AIA
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 phone: 843-330-8540

JOB NUMBER:	
DRAWN:	
CHECKED:	

REVISION NOTES:

428 Trolley Rd Retail
 428 OLD TROLLEY RD
 SUMMERVILLE, SC
 OVERALL SITE PLAN

SHEET NUMBER & TITLE:

A001

DRB
 04.02.2020

REFERENCES

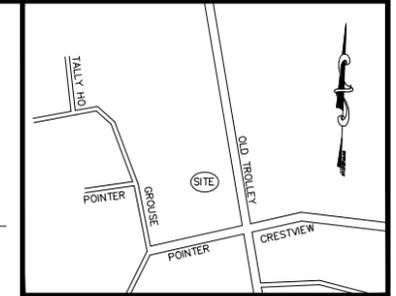
- 1.) PLAT BY DAVID BASS DATED FEB. 1, 2017 PLAT BOOK M PAGE 106
- 2.) PLAT BY PAUL LAWSON DATED OCT. 24, 1998 PLAT BOOK M PAGE 123
- 3.) PLAT BY THOMAS BAILEY DATED OCTOBER, 1974 PLAT BOOK 22 PAGE 179
- 4.) PLAT BY FOSTER DATED MARCH 11, 1968 PLAT BOOK 17 PAGE 6
- 5.) PLAT BY BAILEY DATED OCTOBER 1974 PLAT BOOK 22 PAGE 279
- 6.) DEED 1946 194
- 7.) DEED 2018 184
- 8.) PLAT BY SHULSE DATED JUNE 1, 2018 PLAT BOOK M PAGE 151-151

NOTES

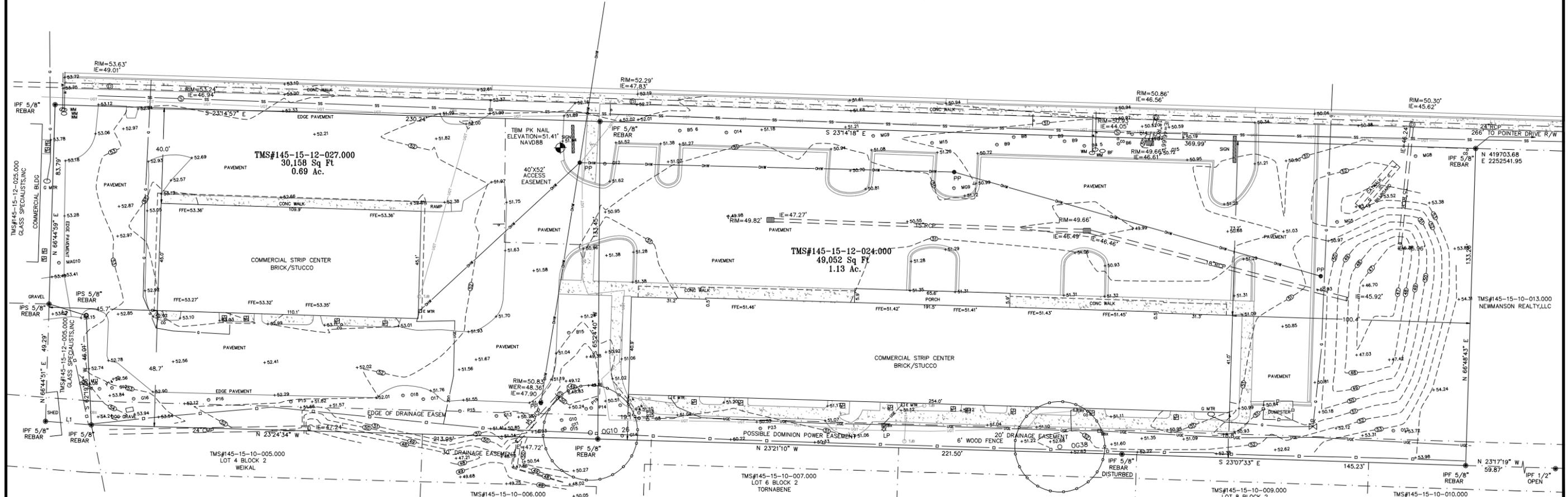
- 1.) PROPERTY CORNERS SET ARE ALL 5/8" REBAR UNLESS NOTED OTHERWISE
- 2.) AREA CALCULATED BY THE COORDINATE METHOD.
- 3.) BEARINGS SHOWN HEREON ARE STATEPLANE GRID
- 4.) THIS PLAT IS INTENDED ONLY TO SHOW THE TOPOGRAPHY OF PARCELS AND IS BASED ON FOUND MONUMENTATION, LISTED REFERENCE DATA, AND LINES OF OCCUPATION. NO TITLE RESEARCH WAS DONE.
- 5.) SETBACKS ARE SUBJECT TO CHANGE AND MUST BE APPROVED BY TOWN OFFICIAL.
- 6.) THE SURVEY SHOWS EASEMENTS WHICH ARE OBVIOUS OR APPARENT TO THE SURVEYOR
- 7.) NO SUBSURFACE INVESTIGATION DONE
- 8.) ANY REPRESENTATION OUTSIDE BOUNDARY IS FOR REFERENCE
- 9.) THERE HAS BEEN NO ENVIRONMENTAL INVESTIGATION DONE FOR PARCEL. THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS OR DHEC-OCRM CRITICAL AREAS ARE UNDETERMINED AS OF THIS DATE.
- 10.) THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA, ZONE "X" AS PER F.I.R.M. PANEL #450068 0245C, DATED APRIL 15, 1994.

LEGEND

- IRON PIPE FOUND
- IRON PIPE SET
- STORM MANHOLE
- SEWER CLEANOUT
- SEWER MANHOLE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- WATERLINE
- UNDERGROUND ELEC
- GAS VALVE
- GAS
- POWER LINES
- PHONE T-65/CBX
- PHONE
- OAK TREE
- PINE TREE
- GUM TREE
- MAGNOLIA TREE
- GRAND OAK TREE
- BEECH TREE
- SPOT ELEVATION
- CONTOUR LINE
- TREE PROTECTION



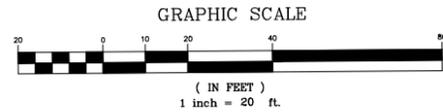
OLD TROLLEY ROAD S-18-199 100'R/W



I, hereby state that to the best of my knowledge, information and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class "A" survey as specified therein; also there are no visible encroachments, projections, or setbacks affecting the property other than those shown.

1/20/20

MICHAEL S. SHULSE, S.C. P.L.S. No.18268
1210 RIVERS REACH DR
WANDO, S.C. 29492
PHONE: (843) 296-1607



LINE	LENGTH	BEARING
L1	19.44	S20°29'54" E
L2	16.45	S07°54'20" E

TOPOGRAPHIC SURVEY OF
TMS#145-15-12-024.000, & 145-15-12-027.000
OWNED BY NEWMANSON REALTY, LLC
LOCATED IN
TOWN OF SUMMERVILLE
DORCHESTER COUNTY SOUTH CAROLINA
DATE SURVEYED: JANUARY 11, 2020



Existing Context Trolley Road South Streetscape



XperTech

Old Trolley Animal Clinic

Warehouse Specialties

Shipley Office Park



Trolley Station

Crestview Dr.

Family Dollar (at intersection)



Deluxe Car Wash

Extra Space Storage

Enlarged Existing Context- Trolley Road South Streetscape





Pointer Dr.
Existing Context- Trolley Road North Streetscape



440 Trolley Retail Center



622 Trolley

Salon Trio

Ye Old Fashioned

Old Trolley Dental Associates



Pointer Dr.



440 Trolley Retail Center



428 Trolley

Glass Specialist

Enlarged Existing Context- Trolley Road North Streetscape





Trolley Station



Family Dollar



Old Trolley Dental Associates



Ye Ole Fashioned

Existing Context- Adjacent Buildings at Intersection





428 Trolley – Existing Condition



Warehouse Specialties



Shiplely Office Park

Existing Context- Buildings Adjacent to 440 Trolley Road



31'-6" AFS



0 Trolley

25' AFS



440 Trolley

19'-6" AFS



Storefront covered

428 Trolley

31'-6" AFS



25' AFS

19'-6" AFS

Old Trolley Rd Center – Enlarged and Combined Elevations





Old Trolley Rd Center Perspective View All





EXISTING



PROPOSED

Front Perspective



ORIGINAL LAYOUT SIZE: 24x36



EIFS DRAINABLE STUCCO EAVE, FASCIA, AND FRIEZEBOARD
 BUILT-OUT EIFS DRAINABLE STUCCO PORTAL

HI PARAPET HEIGHT
19'-6" AFS

WOOD AND STEEL TRELLIS
 PARAPET HEIGHT
14'-6" AFS

TRELLIS COLUMN
HEIGHT
10'-0" AFS

HARDCOAT STUCCO

0'-0" FINISH SLAB

METAL PARAPET CAP

METAL FRAME AND FABRIC
CANOPY

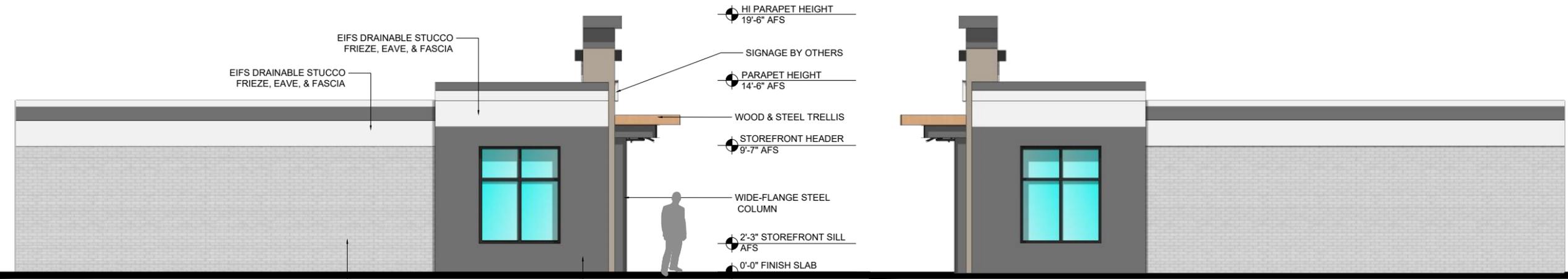
ALUMINUM STOREFRONT SYSTEM

BUILT-OUT BRICK PORTAL

HARDCOAT STUCCO

HARDCOAT STUCCO

1
A201 **PROPOSED FRONT ELEVATION**
SCALE: 1/4"=1'-0"



EIFS DRAINABLE STUCCO
FRIEZE, EAVE, & FASCIA

HI PARAPET HEIGHT
19'-6" AFS

SIGNAGE BY OTHERS

PARAPET HEIGHT
14'-6" AFS

WOOD & STEEL TRELLIS

STOREFRONT HEADER
9'-7" AFS

WIDE-FLANGE STEEL
COLUMN

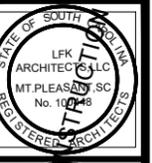
2'-3" STOREFRONT SILL
AFS

0'-0" FINISH SLAB

PAINTED EXISTING BRICK

HARDCOAT STUCCO

1
A201 **PROPOSED SIDE ELEVATIONS**
SCALE: 1/4"=1'-0"



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 MOUNT PLEASANT, SC 29564
 LOSSE F. KNIGHT III, AIA
 losse@lfkarchitect.com
 phone: 843-330-8540

JOB NUMBER:	
DRAWN:	
CHECKED:	

REVISION NOTES:

428 Trolley Rd Retail
 428 OLD TROLLEY RD
 SUMMERVILLE, SC
 PROPOSED ELEVATION 428 TROLLEY

SHEET NUMBER & TITLE:

A201

DRB
 04.02.2020

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PREVIOUSLY APPROVED BRICK
(0 TROLLEY)



VIEW FROM OLD TROLLEY



VIEW FROM PARKING

Metal Fascia

Lomar White

Fabric Awning

Copper Color

Cornice and Trim Stucco

Accent Storefront Surround Stucco

Roof / Cornice / Accent Columns / Storefront

Dove Grey Metal

Trellis

Oiled and Sealed Cedar

440 & 428 MATERIALS TO MATCH 0 TROLLEY
SEE ELEVATIONS FOR MATERIAL LOCATIONS



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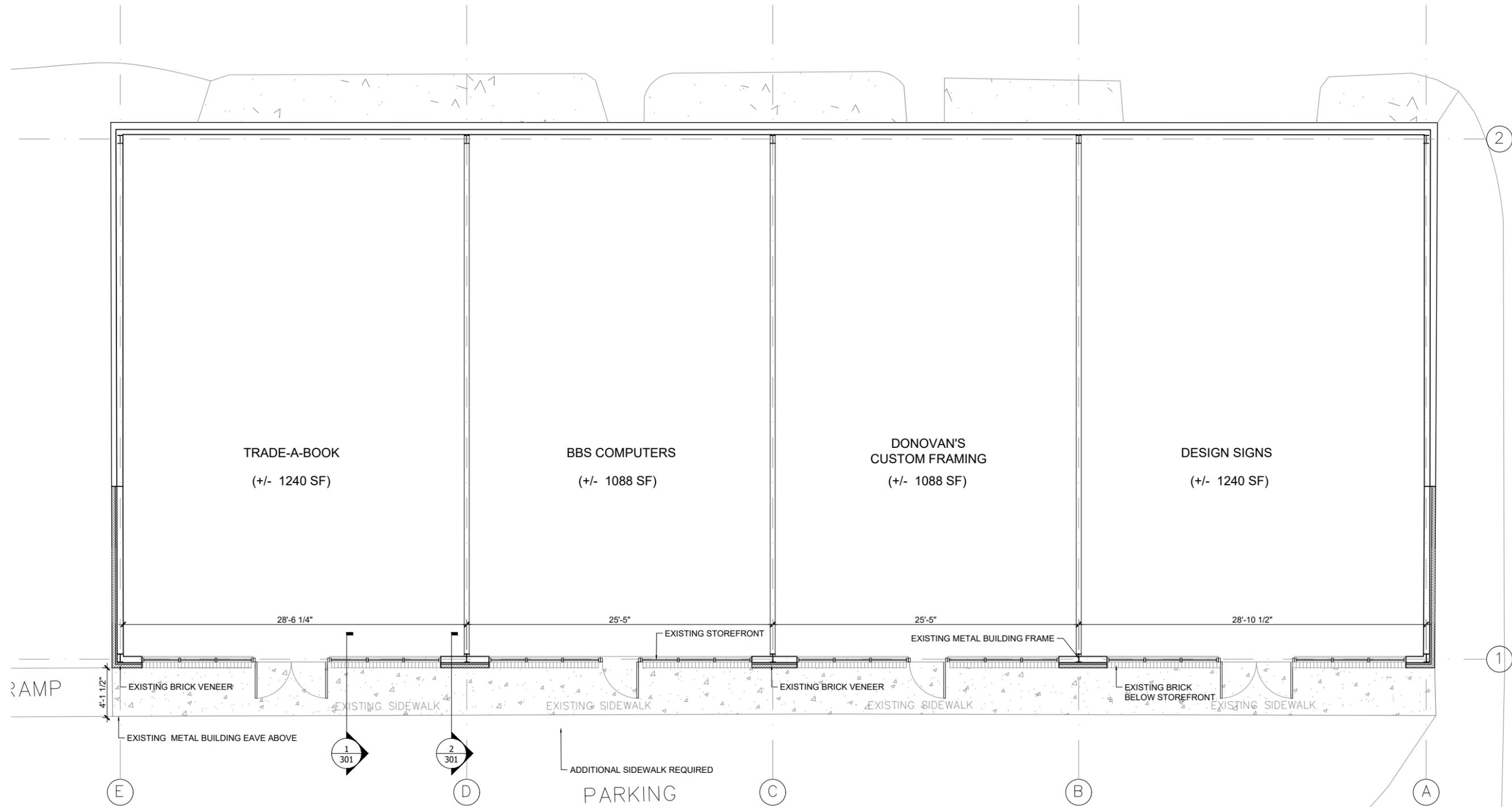
REVISION NOTES:

428 Trolley Rd Retail
428 OLD TROLLEY RD
SUMMERSVILLE, SC
PREVIOUSLY APPROVED MATERIALS

SHEET NUMBER & TITLE:

A601

DRB
04.02.2020



EXISTING FLOOR PLAN
(FOOTPRINT : +/- 4956 SF)

1
A100

SCALE: 1/4"=1'-0"



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JOB NUMBER:	
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REVISION NOTES:

428 Trolley Rd Retail
 428 OLD TROLLEY RD
 SUMMERVILLE, SC
EXISTING FLOOR PLAN

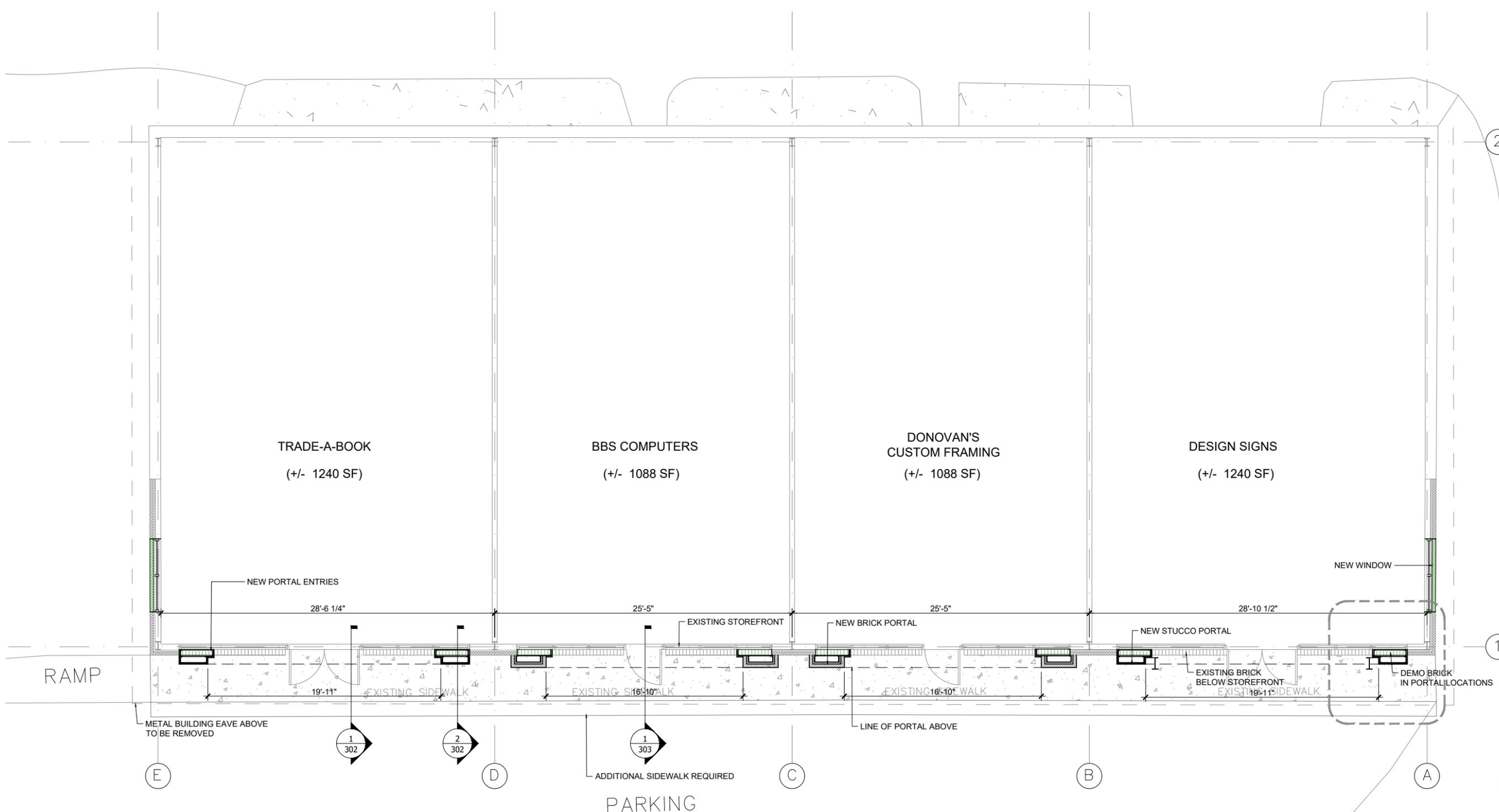
SHEET NUMBER & TITLE:

A100

DRB SUBMITTAL
 04.02.2020

ORIGINAL LAYOUT SIZE: 24x36

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JOB NUMBER:	
DRAWN:	
CHECKED:	

REVISION NOTES:	

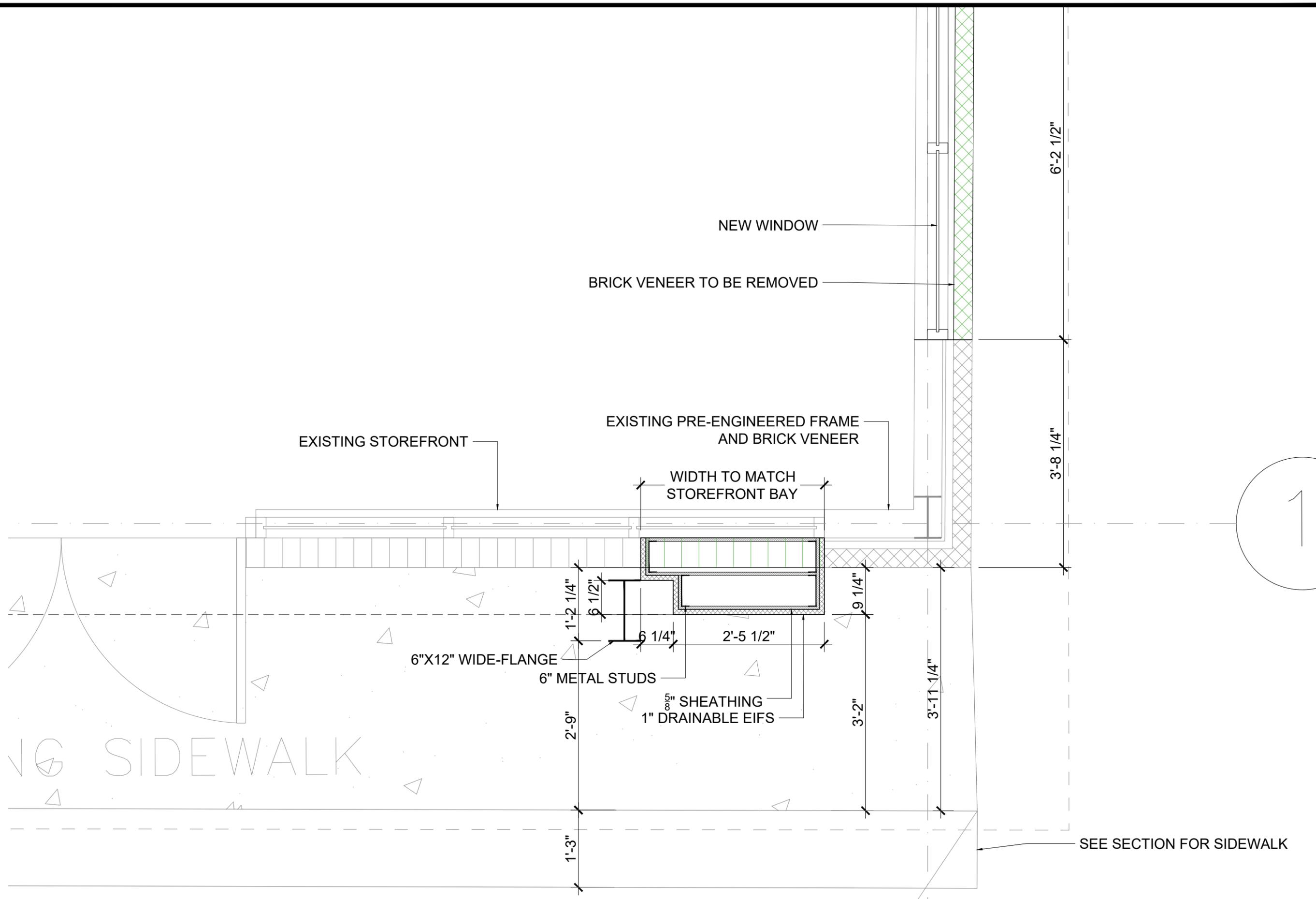
428 Trolley Rd Retail
428 OLD TROLLEY RD SUMMERVILLE, SC
PROPOSED FLOOR PLAN

SHEET NUMBER & TITLE:
A101
DRB 04.02.2020

1 PROPOSED FRONT FLOOR PLAN (FOOTPRINT : +/- 4956 SF)
 SCALE: 1/4"=1'-0"

ORIGINAL LAYOUT SIZE: 24x36

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 losse@lfkarchitect.com
 phone: 843-330-8540

JOB NUMBER:	
DRAWN:	
CHECKED:	

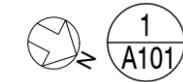
REVISION NOTES:	

428 Trolley Rd Retail
 428 OLD TROLLEY RD
 SUMMERVILLE, SC
PROPOSED FLOOR PLAN

SHEET NUMBER & TITLE:

A101

DRB
 04.02.2020



PROPOSED FRONT FLOOR PLAN (FOOTPRINT : +/- 4956 SF)

SCALE: 1 1/2" = 1'-0"

SEE SECTION FOR SIDEWALK



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losse@lfkarchitect.com
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JOB NUMBER:
DRAWN:
CHECKED:

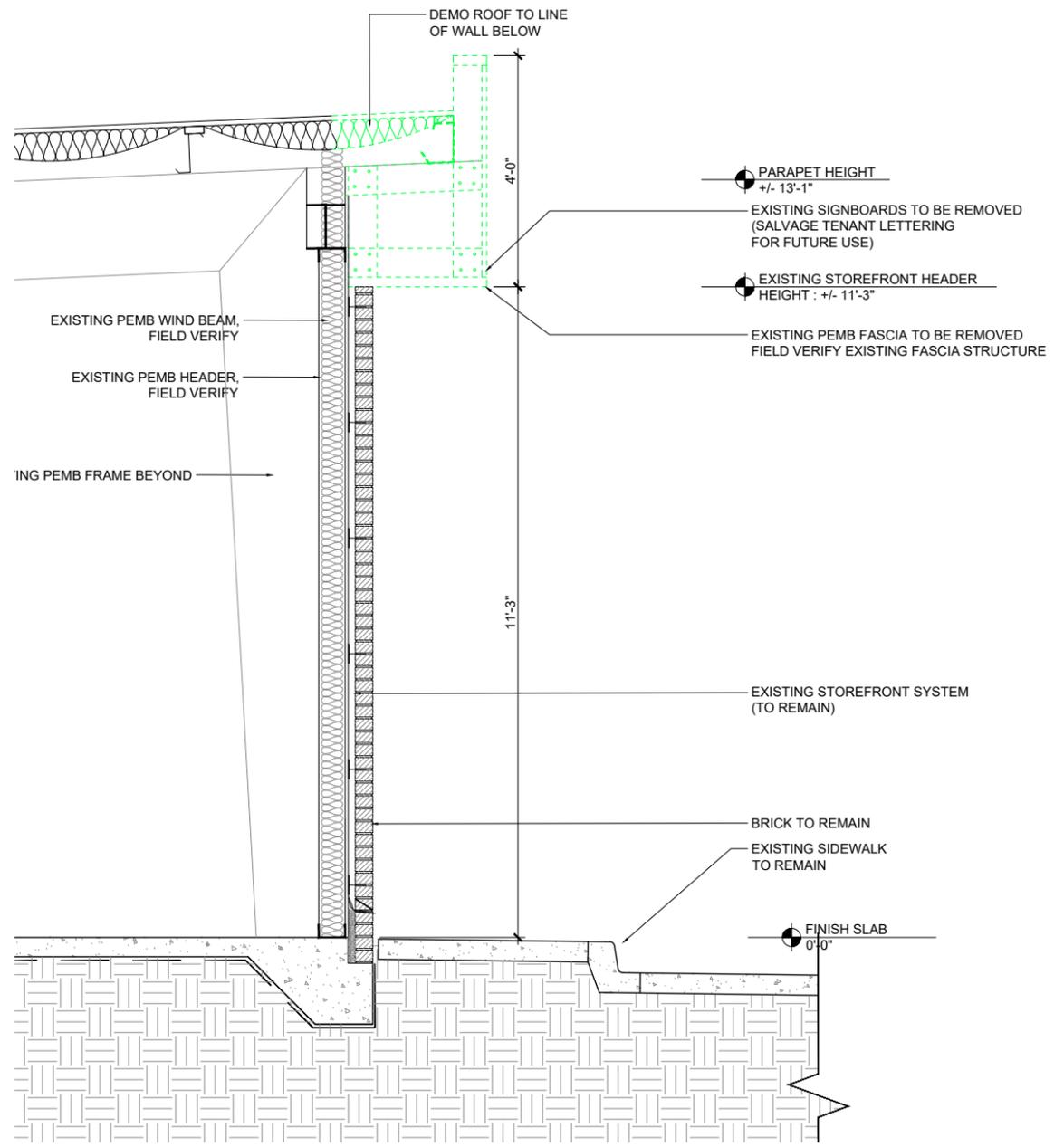
REVISION NOTES:

428 Trolley Rd Retail
428 OLD TROLLEY RD
SUMMERVILLE, SC
EXISTING SECTION

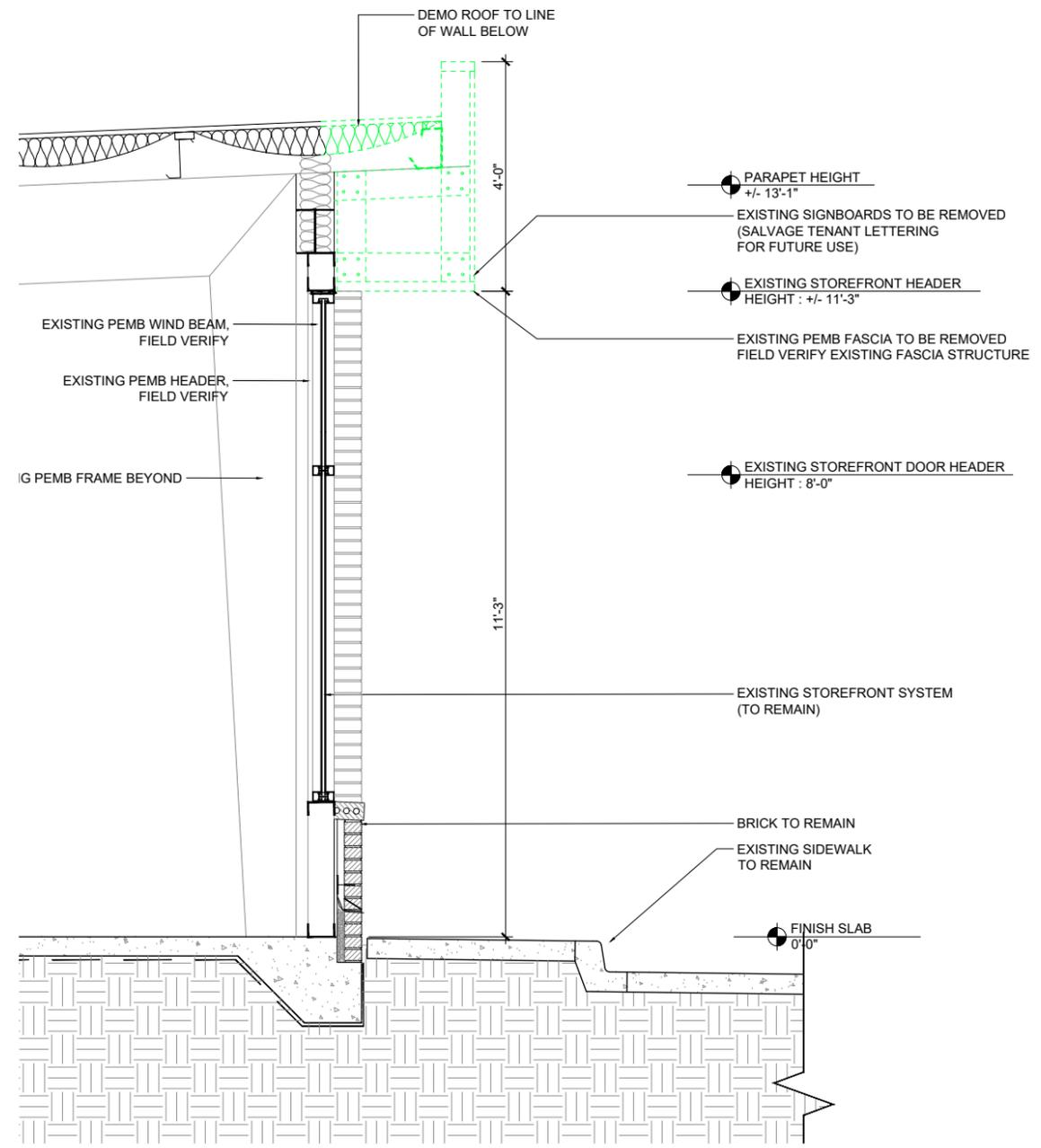
SHEET NUMBER & TITLE:

A301

DRB SUBMITTAL
04.06.2020



1 EXISTING SECTION THROUGH BRICK
SCALE: 3/4"=1'-0"

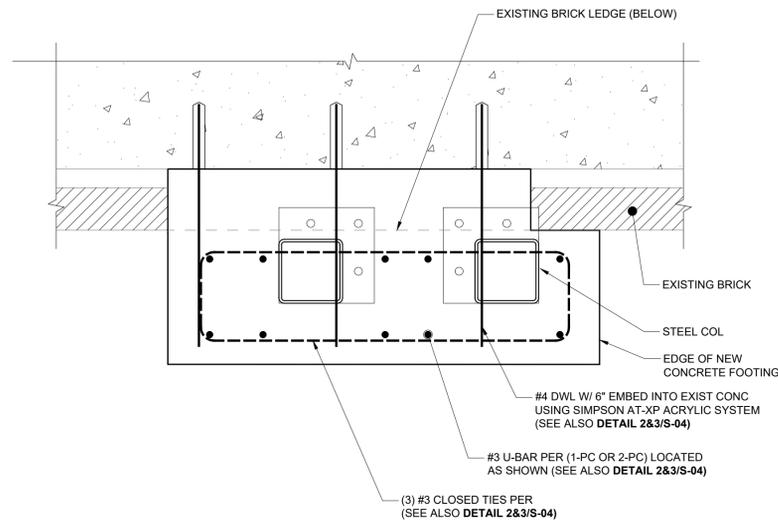


2 EXISTING SECTION THROUGH STOREFRONT
SCALE: 3/4"=1'-0"

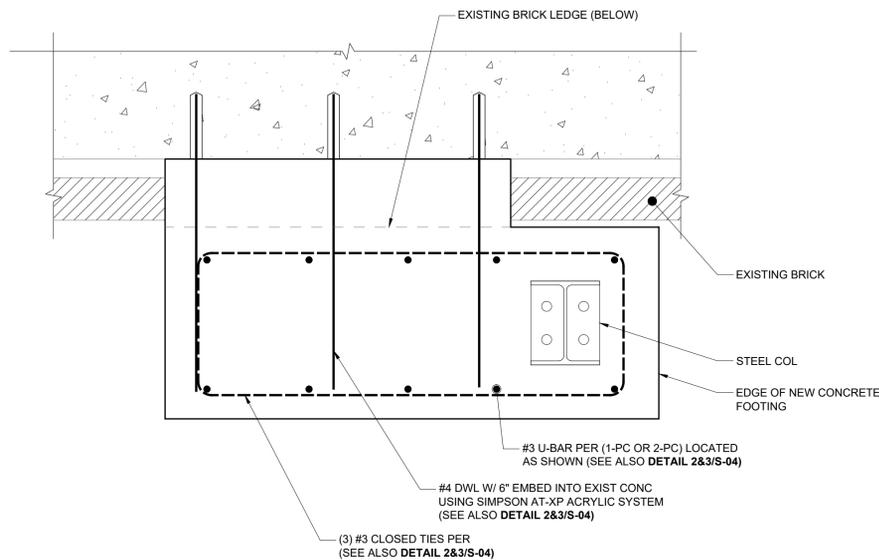
ORIGINAL LAYOUT SIZE: 24x36

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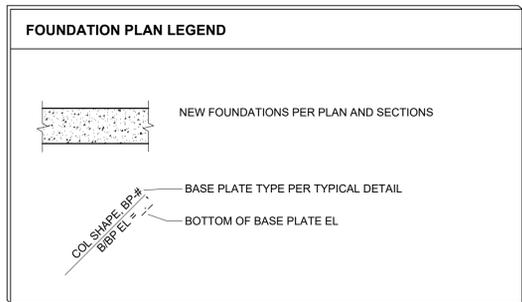
3/20/20 10:47:20 AM
 3720_Old Trolley Rd Facade Upfit
 THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INCURRANCES IN THE STATED SCALE MAY BE MADE BY THE ARCHITECT OR ENGINEER. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL SCALE. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL SCALE.
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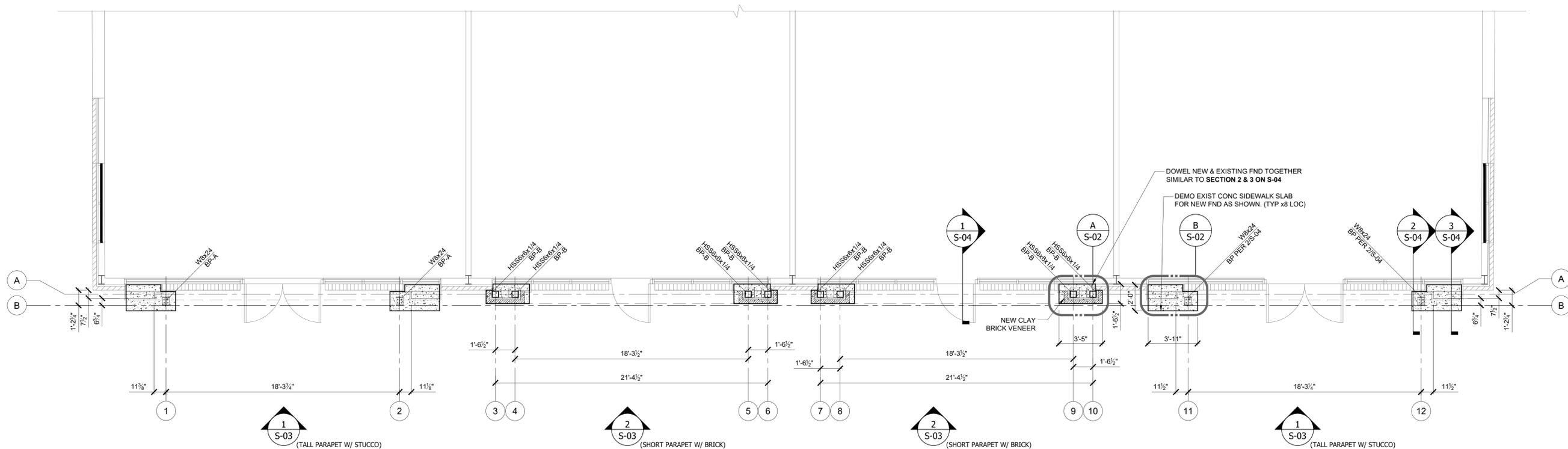
A NEW FOUNDATION DETAIL
SCALE: 1-1/2"=1'-0"



B NEW FOUNDATION DETAIL
SCALE: 1-1/2"=1'-0"



- FOUNDATION PLAN NOTES:**
- PLACE FOUNDATIONS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL. REFER TO FOUNDATION GENERAL NOTES ON S-01 PRIOR TO FOUNDATION CONSTRUCTION.
 - REFER TO **SHEET S-02** FOR PLAN ABBREVIATIONS, SYMBOLS, AND LEGENDS.
 - DIMENSIONS ARE SHOWN FOR GENERAL REFERENCE. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS OF GROUND FLOOR ELEMENTS. NOTIFY ENGINEER IMMEDIATELY OF DISCREPANCIES BETWEEN ARCHITECTURAL AND STRUCTURAL PLANS.
 - TOP OF ALL FOOTINGS SHALL BE SET BELOW FINISH GRADE AS SCHEDULED.
 - CENTER FOOTINGS ON WALLS & PIERS, UON.
 - PROVIDE MINIMUM CLEAR COVER ON REBAR IN FOUNDATIONS AND EQUALLY SPACE BARS, UON.



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

NO.	REVISION DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	03/05/20

SEAL:

POWER ENGINEERING
K.M. POWELL ENGINEERING, LLC
428 OLD TROLLEY ROAD
SUMMERVILLE, SC 29586
www.kmpowell.com

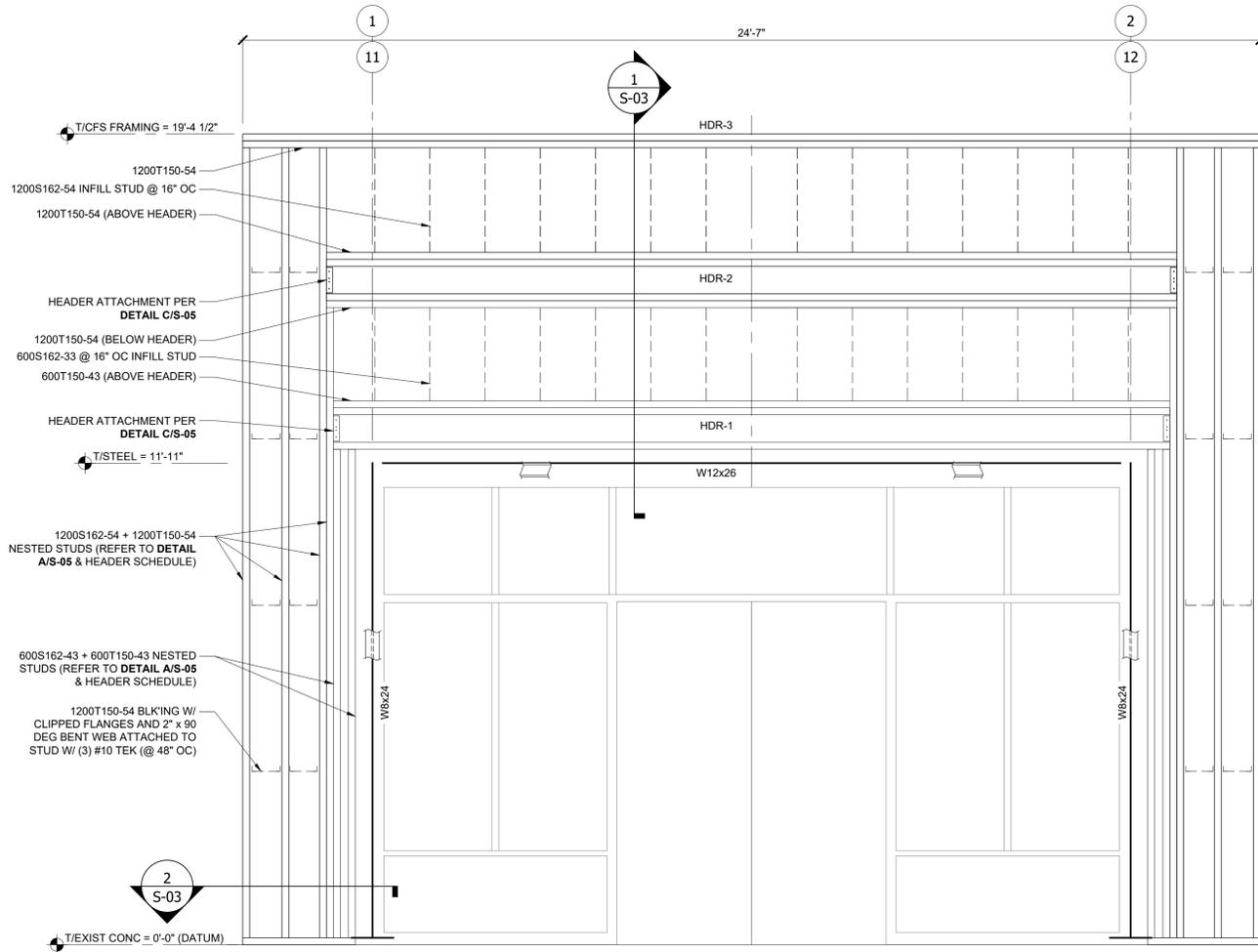
STRUCTURAL
FACADE UPFIT
428 OLD TROLLEY ROAD
SUMMERVILLE, SC

JOB NO.: 3720
DESIGN BY: KMP
DRAWN BY: DAL
DATE: 03/05/20
SCALE: AS NOTED

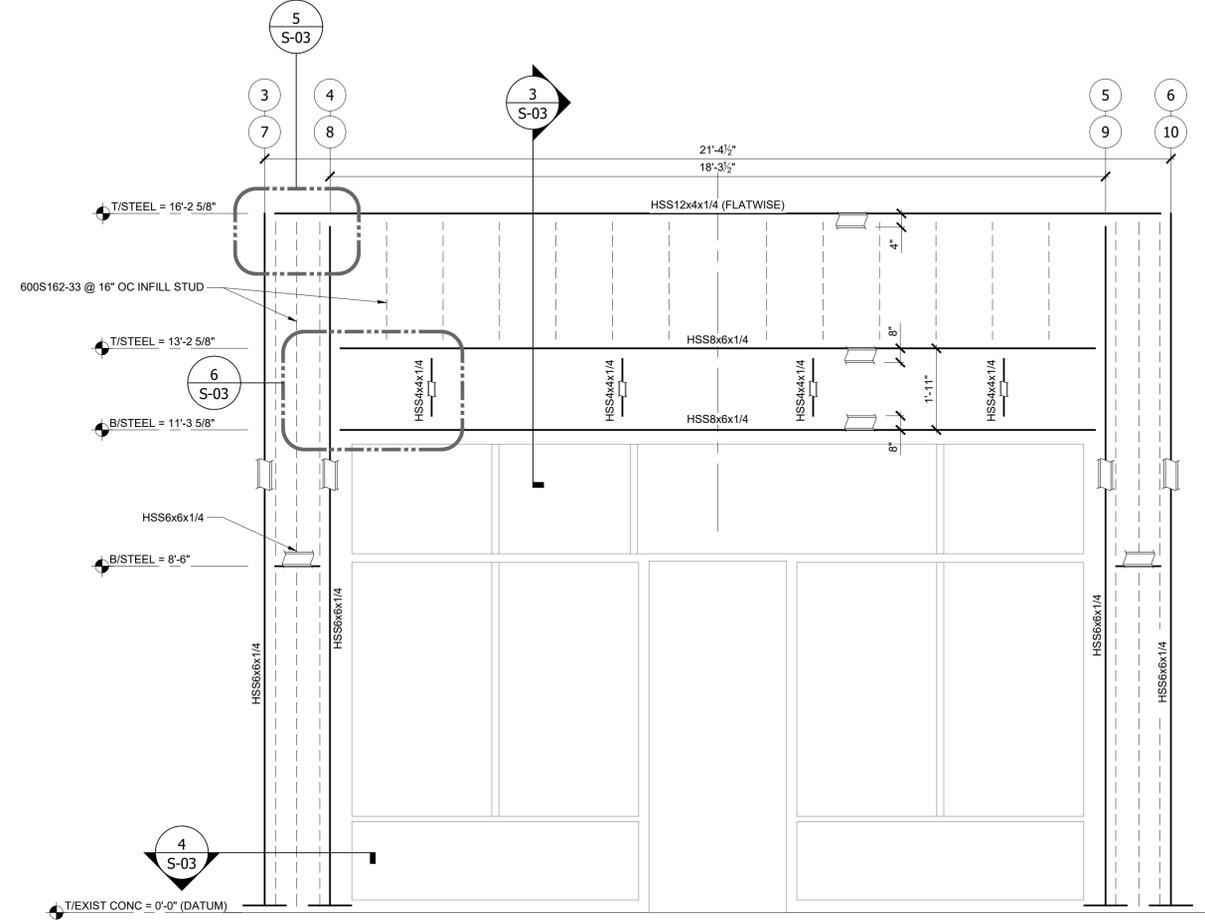
SHEET TITLE:
FOUNDATION PLAN

SHEET NO.
S-02

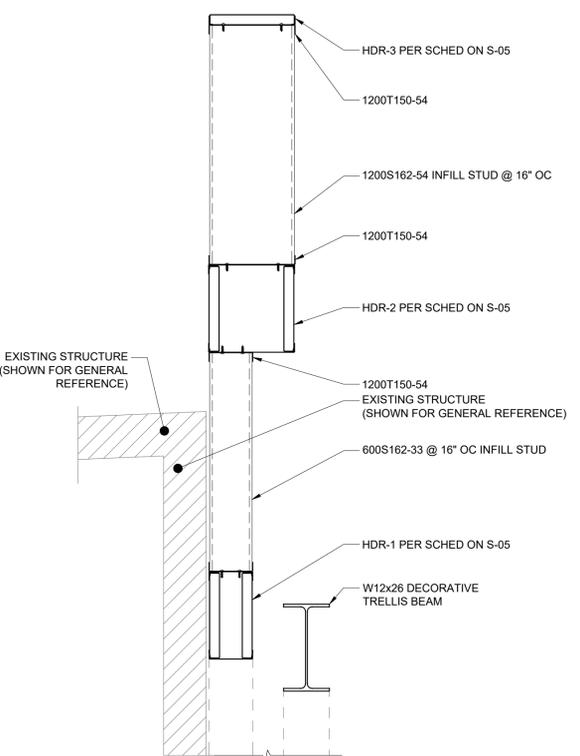
3/20/2018 10:47:33 AM
 3720_08 Old Trolley Rd Parade Unit.dwg
 THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. ENCOURAGEMENTS IN THE STATED SCALE MAY BE USED TO ENLARGE OR REDUCE THE DRAWING. THE DIMENSIONS OF ANY MEMBER, USE THE DRAWING SCALE. DETERMINE THE ACTUAL SCALE.
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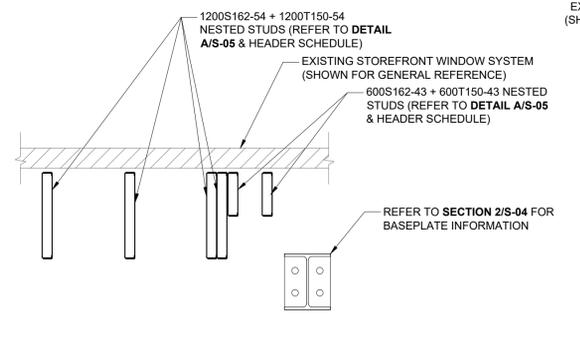
1 FRAMING ELEVATION - TALL PARAPET W/ STUCCO
 SCALE: 1/2"=1'-0"



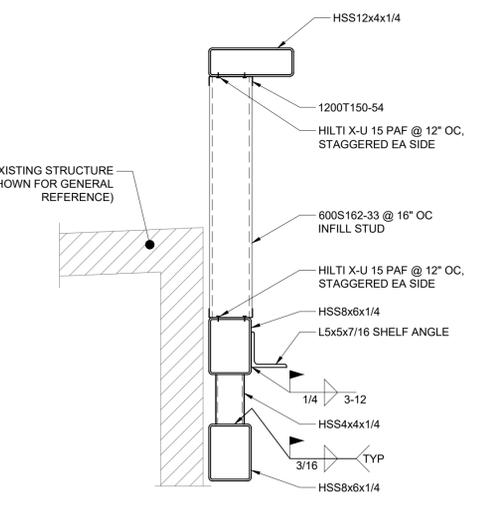
2 FRAMING ELEVATION - SHORT PARAPET W/ BRICK
 SCALE: 1/2"=1'-0"



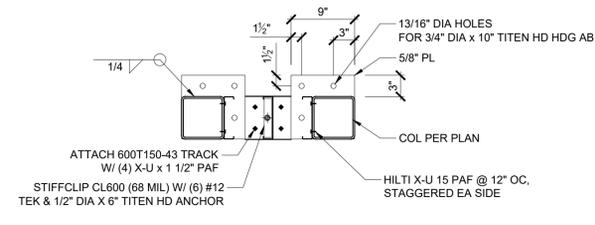
1 SECTION
 SCALE: 1"=1'-0"



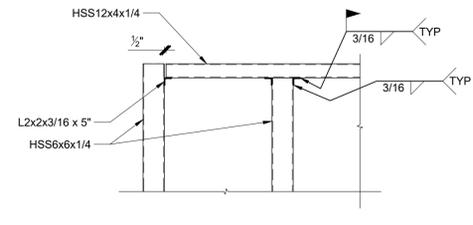
2 SECTION
 SCALE: 1"=1'-0"



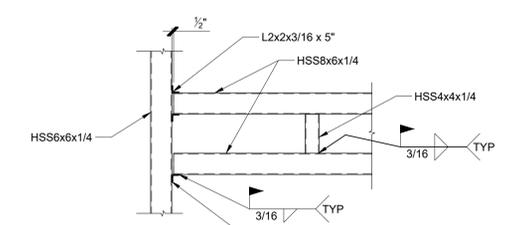
3 SECTION
 SCALE: 1"=1'-0"



4 SECTION
 SCALE: 1"=1'-0"



5 SECTION
 SCALE: 1/2"=1'-0"



6 SECTION
 SCALE: 1/2"=1'-0"

NO	REVISION DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	03/05/20

SEAL:	
	STRUCTURAL FACADE UPFIT 428 OLD TROLLEY ROAD SUMMERVILLE, SC
JOB NO.:	3720
DESIGN BY:	KMP
DRAWN BY:	DAL
DATE:	03/05/20
SCALE:	AS NOTED
SHEET TITLE:	FRAMING ELEVATION & SECTIONS
SHEET NO.:	S-03



AN IHG HOTEL

AVID-SC001-R03

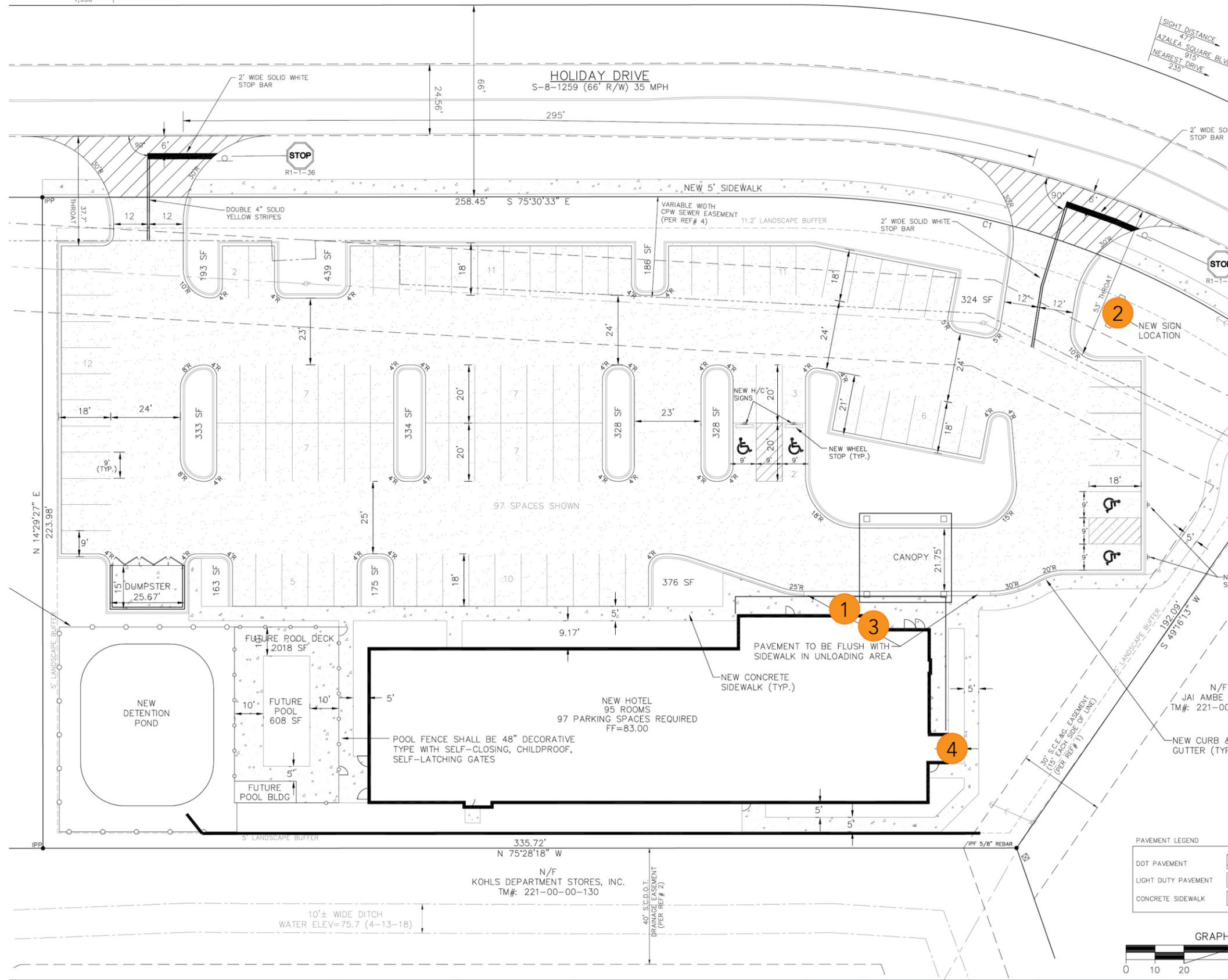
Inn Code: CHSAS

Intersection of North Main St & Holiday Dr
Summerville, SC 29483

**NOT PRODUCTION READY
THIS DOCUMENT IS FOR VISUAL PURPOSES ONLY**

SITE MAP

1,950'

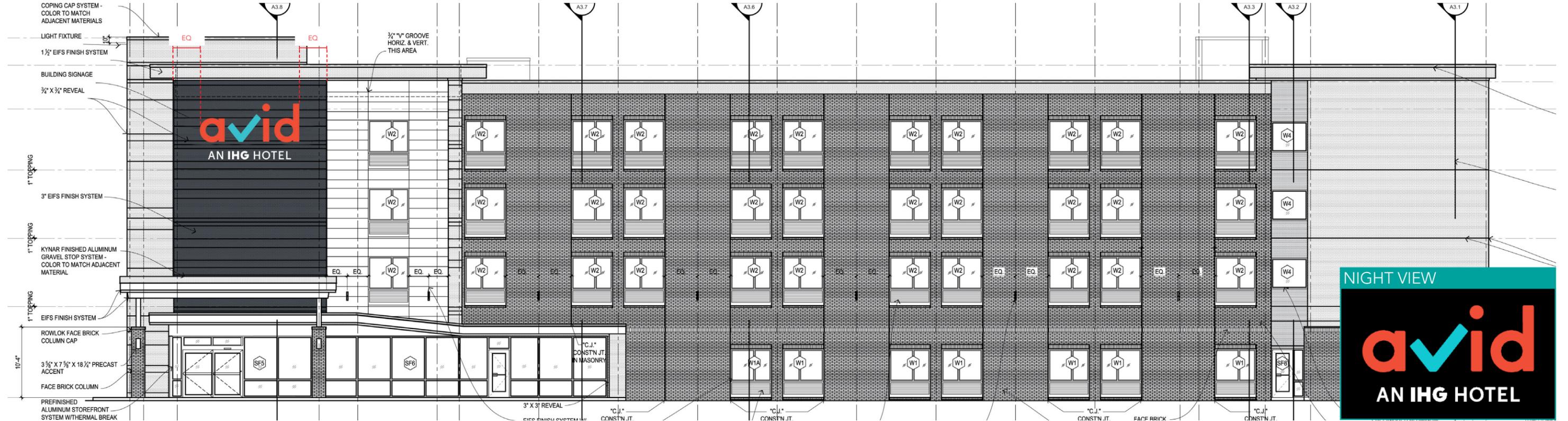


SIGN INVENTORY

L#	EXISTING	RECOMMENDATION	QTY
1	None	Letterset	1
2	None	Monument	1
3	None	Wall Panel	1
4	None	Letterset	1

LOCATION 1

Recommendation: Letterset



SURVEY NOTES:
Front (south) side elevation

RECOMMENDATION SIGN INFORMATION:

Quantity	Square Footage	Illumination
1	119.71	Face Lit
Mounting		Fabrication
Studs		Channel Letters

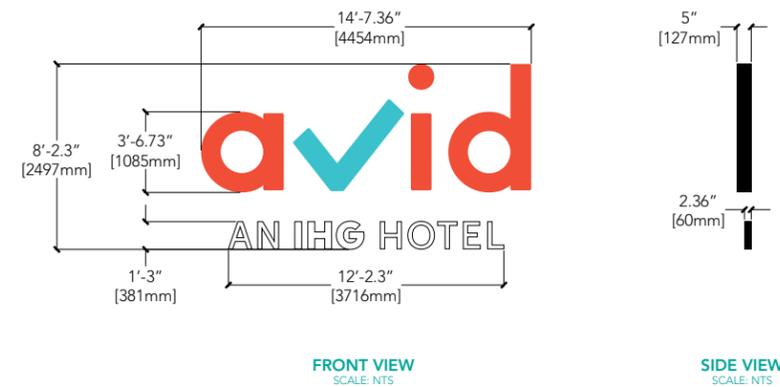
INSTALLATION/REPAIR NOTES:

Install new sign. Wall color to match PMS 7540 C.

DO NOT SHEETROCK THE WALLS WHERE SIGNS ARE LOCATED. Please notify Colite if pre-wire is needed.

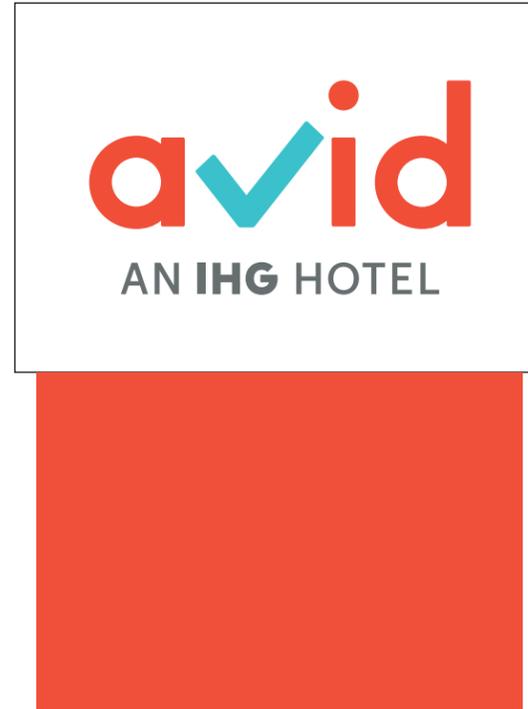
PART #:
AVID-LTR-501-IL-SF-098H-PW
AVID-LTR-501-IL-SF-098H-PK

SIGN DETAIL:



LOCATION 2

Recommendation: Monument



SURVEY NOTES:
No survey information provided for this location.

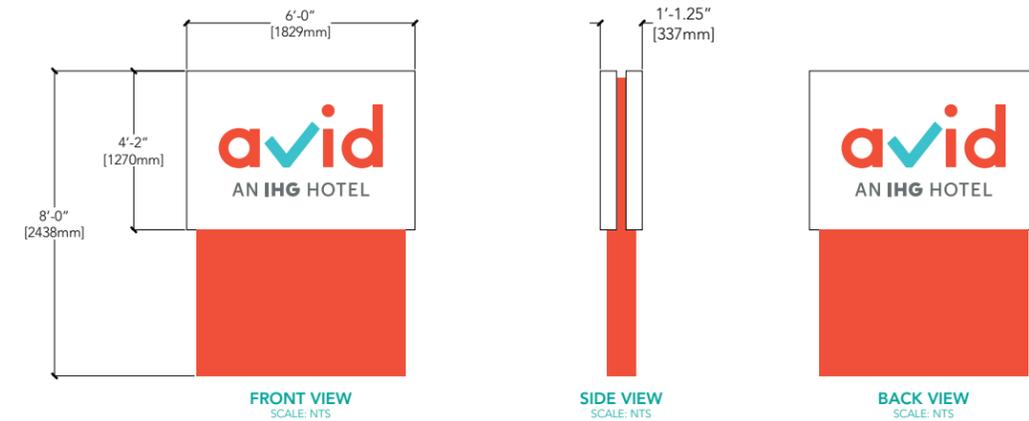
RECOMMENDATION SIGN INFORMATION:

Quantity	Square Footage	Illumination	Face
1	25	Backed Up	Double
Mounting		Fabrication	
Stub Outs		Fabricated Monument	

INSTALLATION/REPAIR NOTES:
Install new sign. New foundation required.

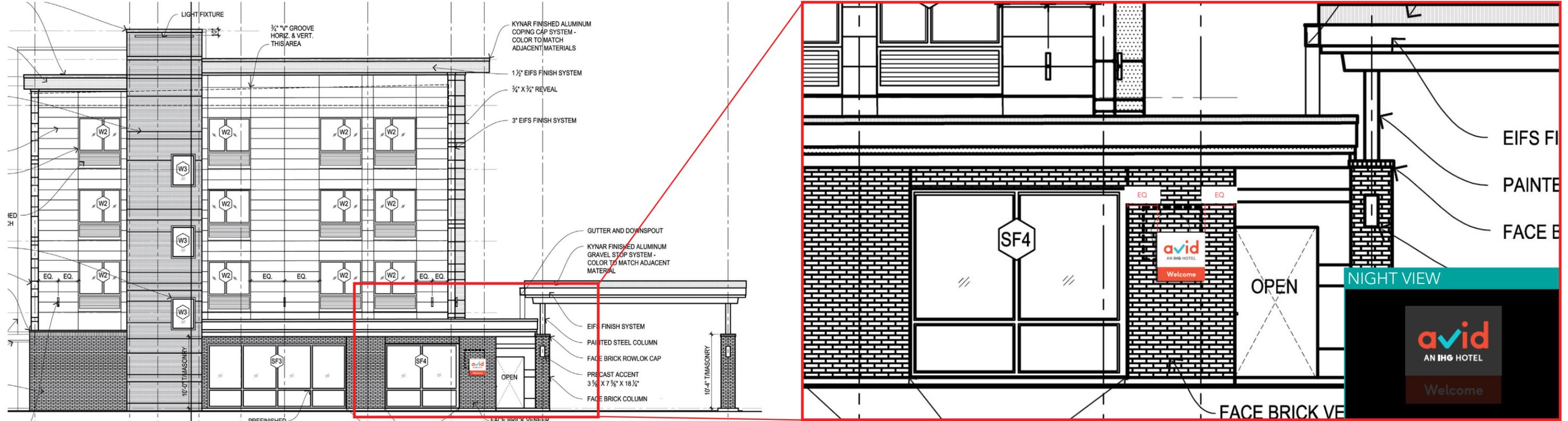
PART #:
AVID-MON-501-IL-DF-096H

SIGN DETAIL:



LOCATION 3

Recommendation: Wall Panel



SURVEY NOTES:
Left (West) side exterior elevation.

RECOMMENDATION SIGN INFORMATION:

Quantity	Square Footage	Illumination	Face
1	5.25	Backed Up	Single
Mounting		Fabrication	
Frame		Fabricated Wall Panel	

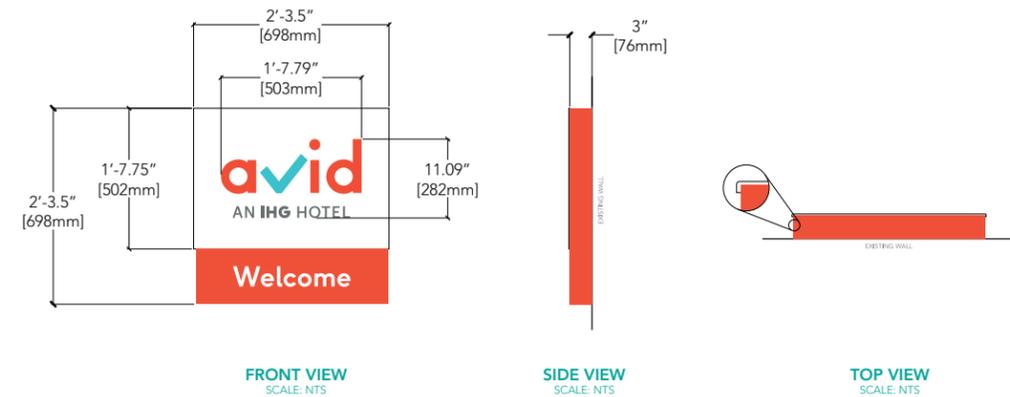
INSTALLATION/REPAIR NOTES:

Install new sign.

PART #:
AVID-WPL-501-IL-SF-028H

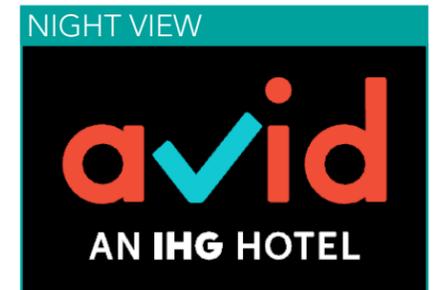
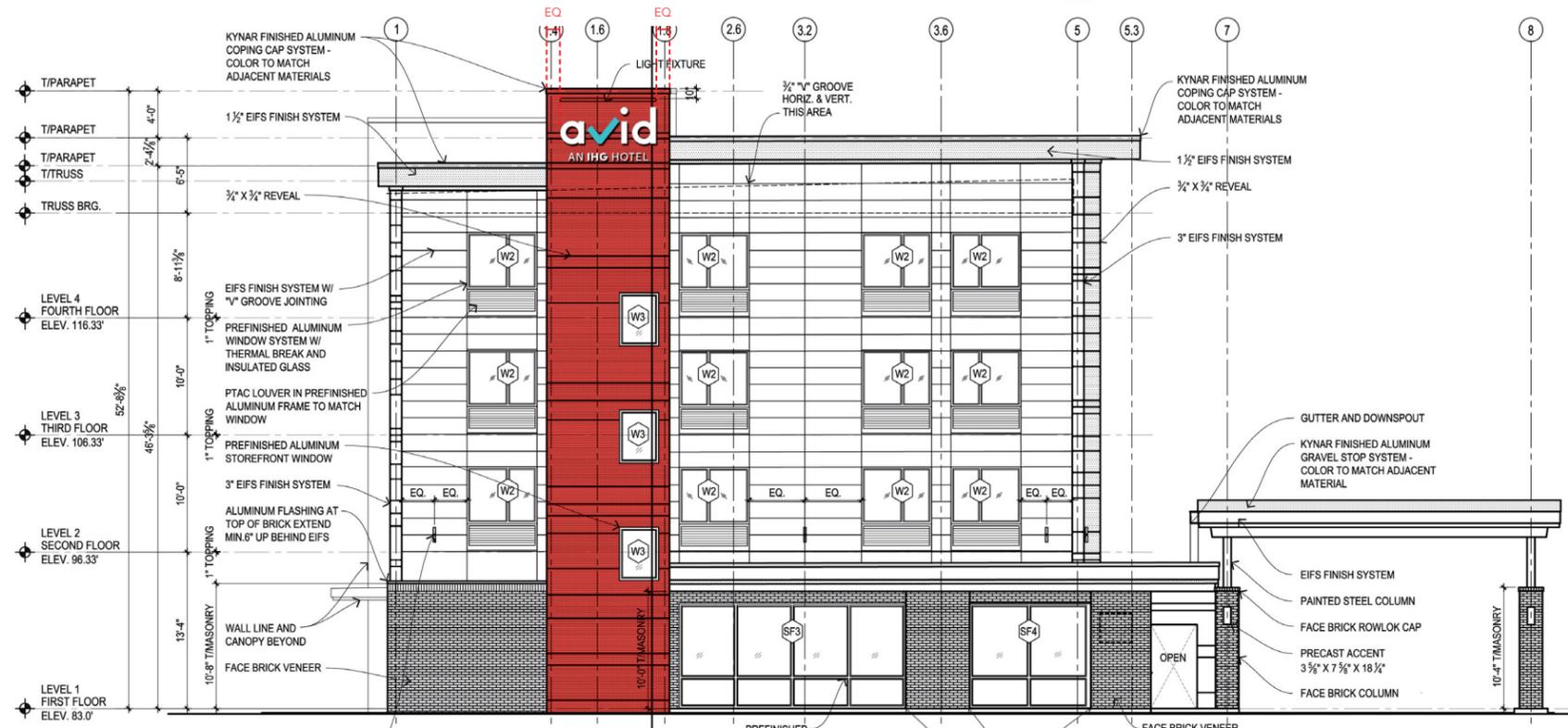
DO NOT SHEETROCK THE WALLS WHERE SIGNS ARE LOCATED. Please notify Colite if pre-wire is needed.

SIGN DETAIL:



LOCATION 4

Recommendation: Letterset



SURVEY NOTES:
West side elevation

RECOMMENDATION SIGN INFORMATION:

Quantity	Square Footage	Illumination
1	50.57	Face Lit
Mounting		Fabrication
Studs		Channel Letters

INSTALLATION/REPAIR NOTES:

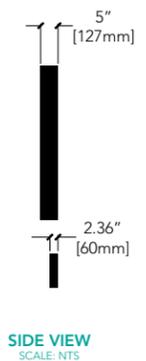
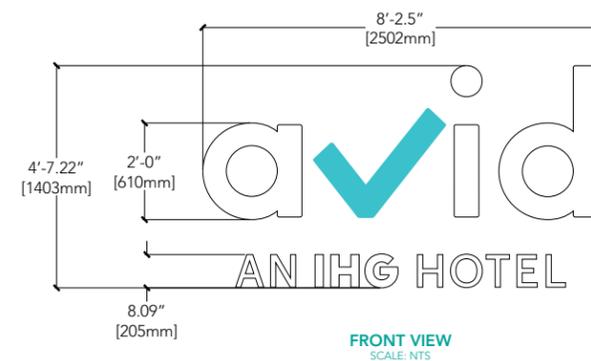
Install new sign. Per site plan, wall color is TBD, client to confirm prior to production.

DO NOT SHEETROCK THE WALLS WHERE SIGNS ARE LOCATED. Please notify Colite if pre-wire is needed.

PART #:

AVID-LTR-505-IL-WM-055H-PW
AVID-LTR-505-IL-WM-055H-PK

SIGN DETAIL:



Craig N. Little, DMD
Oral and Maxillofacial
Surgery

 **reagin**
orthodontics

 **invisalign**
 871-4411


2 Right Turns

REAGIN, LITTLE, JACKSON

COLOR SPECIFICATIONS AND SIZE SPECIFICATIONS FOR BRICK MONUMENT



Clients must completely review the artwork provided. Once Approved, We are not responsible for any spelling, punctuation, numbers and or general layout.

Mr. Sign

207 East 5th North St. • Summerville, SC 29483

P: (843) 871.0770

F: (843) 871.0270

www.MrSign.net

Customer Approval:



PLEASE NOTE: 1st & 2nd Proofs are Free of Charge. Additional Proofs are billed at a minimum of \$15 each.

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SITE LEGEND

- (A) 18" CURB & GUTTER
- (B) STOP BAR WITH "STOP" SIGN (RH), SEE DETAILS
- (C) TAPER CURB TO FLUSH
- (D) DUMPSTER ENCLOSURE (RE: ARCH)
- (E) STANDARD-DUTY CONCRETE PAVEMENT
- (F) WHEEL STOP
- (G) SIDEWALK TO BE FLUSH
- (H) CONCRETE TRANSFORMER PAD
- (I) 2" CONCRETE CURB BACKING AT ENTRANCES
- (J) AIR / VACUUM EQUIPMENT
- (K) 30" DIAMETER CONCRETE SPHERE BOLLARD, CONTRACTOR TO COORDINATE EXACT LOCATION WITH OWNER
- (L) TWO (2) 46" WIDE X 32" DEEP PROPANE CAGES WITH TWO (2) 48" TALL STEEL BOLLARDS PLACED THREE (3) FEET IN FRONT OF PROPANE CAGES, SEE ARCHITECTURAL DRAWINGS FOR DETAILS. CONTRACTOR TO PROVIDE & COORDINATE EXACT LOCATION WITH OWNER
- (M) 48" TALL STEEL BOLLARD, SEE ARCHITECTURAL DRAWINGS FOR DETAILS. CONTRACTOR TO PROVIDE & COORDINATE EXACT LOCATION WITH OWNER
- (N) GREASE TRAP, 1500 GAL. MIN.
- (O) OIL TANK, TO BE SECURED
- (P) FUEL VENTS
- (Q) ACCESSIBLE RAMP PER SCODT 720-95H
- (R) 6" WIDE CROSSWALK PER SCODT 625-305-00
- (S) 5" CONCRETE SIDEWALK
- (T) TIE PROPOSED SIDEWALK TO EXISTING
- (U) TAPER GUTTER PAN TO SCODT WIDTH
- (V) TIE PROPOSED CURB TO EXISTING
- (W) NOT USED
- (X) FUTURE ACCESS LOCATION
- (Y) EXISTING CURB TO BE REMOVED
- (Z) ONSITE HANDICAP RAMP
- (AA) ACCESSIBLE PARKING SPACE, TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE SPACE WALL MOUNTED SIGN AND SYMBOL. VAN INDICATES VAN ACCESSIBLE SPACE.
- (BB) SITE SIGNAGE

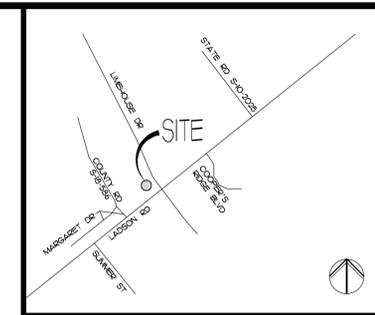
CONTRACTOR TO REFER TO THE MOST CURRENT EDITION OF THE SCODT STANDARD DRAWINGS

CONSTRUCTION SIGNING SHALL BE PLACED ACCORDINGLY. SEE DETAIL SHEET FOR SCODT STANDARD DRAWING 606-010-02 WITH SCHEME C FOR BOTH DIRECTIONS ON CENTRAL AVENUE & ORAGNEBURG ROAD BUT MODIFIED TO ONLY USE ROAD WORK AHEAD SIGN AND END CONSTRUCTION SIGN. CONSTRUCTION SIGNING ADJUSTED AS REQUIRED FOR INTERSECTION.

ANY WORK REQUIRING A SHOULDER CLOSURE IS TO BE DONE USING SCODT STANDARD DRAWING 60-205-00 FOR SHOULDER CLOSURE. ALL SHOULDER CLOSURE IS TO BE DONE DURING DAYLIGHT HOURS BETWEEN 9:00 AM TO 3:00 PM

PARKING CALCULATIONS

TENANT	AREA SF	MIN. REQUIRED RATIO	MIN. REQUIRED PARKING	MAX. REQUIRED RATIO	MAX. REQUIRED PARKING	PARKING PROVIDED
PARKER'S	4,920 SF	2 SPACES PER 1000 SF	10	20% OF MINIMUM	20	32



VICINITY MAP (NOT TO SCALE)

SITE LEGEND

EXISTING	PROPOSED	DESCRIPTION
(3)	(3)	NUMBER OF SPACES PER ROW
=====	=====	CURB & GUTTER
---	---	FENCE
⊕	⊕	SIGN
♿	♿	HANDICAP SYMBOL
[Pattern]	[Pattern]	CONCRETE PAVEMENT
[Pattern]	[Pattern]	STANDARD DUTY PAVING
[Pattern]	[Pattern]	HEAVY DUTY PAVING
[Pattern]	[Pattern]	PERVIOUS CONCRETE
☆	☆	LIGHT POLE

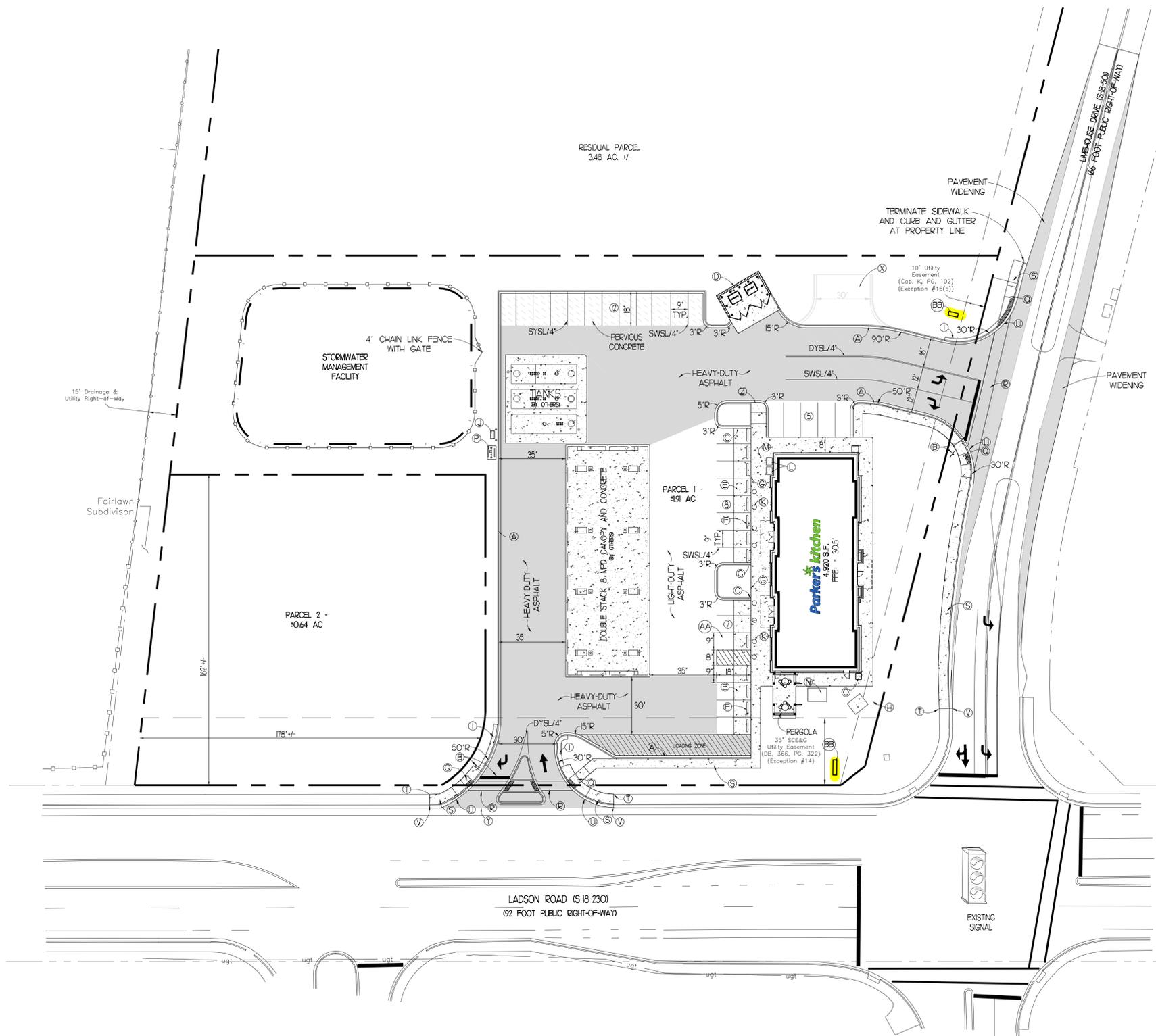
PAINT STRIPING LEGEND

- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

NOTE: REF. GEOTECHNICAL REPORT BY OTHERS FOR PAVEMENT SECTION INFORMATION

SITE PLAN NOTES

- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB, EDGE OF ASPHALT OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE AT 45° AND 2 FEET O.C.
- ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE SITE SIGNS WITH PARKER'S CONSTRUCTION MANAGER.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF SUMMERVILLE REGULATIONS AND CODES AND OSHA STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED, UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM UTILITY COMPANY AND TOWN OF SUMMERVILLE FOR THE LOCATION AND HEIGHT OF ALL SIGNAGE BEFORE CONDUIT AND WIRING IS INSTALLED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID. (RE: DEMOLITION PLAN)
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY SURVEY MATTERS, LLC.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL ITEMS/FEATURES IN CONFLICT WITH PROPOSED IMPROVEMENTS AND FOR INCLUDING ALL COSTS IN BASE BID.



REVISIONS BY

FREELAND and KAUFFMAN, INC.
 Engineers & Landscape Architects
 209 West Stone Avenue
 Greenville, South Carolina 29609
 864-233-5497

PRELIMINARY
 NOT FOR
 CONSTRUCTION



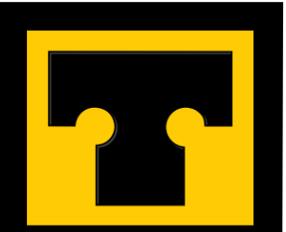
Parker's kitchen
 17 W. MCDOUGL STREET
 SAVANNAH, GA 31401
 STORE #84 - LADSON RD & LINEHOUSE DR

DRAWN
 DAC
 CHECKED
 BTS
 DATE
 04/09/2020
 SCALE
 AS NOTED
 DRAWING



SITE PLAN





THOMAS

SIGN & AWNING CO INC

4590 118TH Avenue North
Clearwater, Florida 33762

800-526-3325

www.thomassign.com

CLIENT

Parker's

Design Number:
86545

Installation Address:
Hwy SC 52 & Foxbank Rd
Moncks Corner, SC

Project Identity Number:
87690

Sales Associate: Project Team:

BG TSA

Designer: Date:

AA 01/28/20

Project Updates:
Reduce #4 MS height to 8' 2/10/20 AMP
2 pricers, reduce #4 width 2/11-12/20 AMP
All brick similar - 4" + width, no cap 2.26 AMP



THIS ARTICLE IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



3M™ MCS™ Warranty

Approval:

Approved
DATE:

Approved as noted
DATE:

Revise & Re-Submit
DATE:

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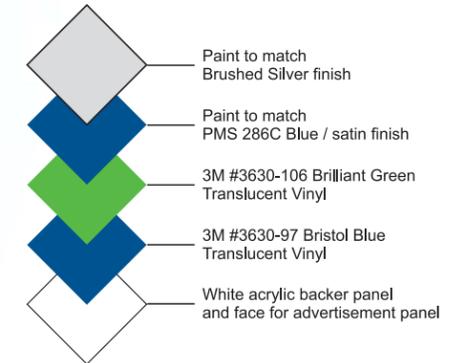
Page Sheet

5 5 of 6

Local: 727-573-7757
Fax: 727-573-0328



VINYL INSET DETAIL



Color Program

#4. Monument Sign

SQ FT: 26.56
Scale: 1/2"=1'-0"

Scope of Work:

Fabricated aluminum angle frame with sheet aluminum filler. Faces are routed aluminum with clear acrylic Push-Thru "Parker's" copy and ICON decorated with 1st surface translucent vinyl conforming with client's color program. Subcopy to be routed aluminum with white acrylic backer.

Illumination for main signage is accomplished by high output LED (White) lighting system.
Blue LED track lighting for main cabinet.
Two (2) Skyline LED displays per face.

Cabinet painted Akzo Nobel brushed aluminum silver and PMS 286C Blue with satin finish. Brick base to match building

STAFF REPORT
DRB Meeting
May 21, 2020 at 4:00 p.m.

TO: Town of Summerville DRB
FROM: Planning Staff
DATE: May 15, 2020

GENERAL INFORMATION

Applicant: Feit Design LLC – Justin Feit
Property Owner: NT Estate LLC
Requested Action: The applicant is requesting Final Approval of the proposed redevelopment of the restaurant located at 101 N Main Street
Requested Approval: Final Approval
Existing Zoning: D-MX
Adjacent Zoning: **North:** D-MX
South: D-MX
East: D-MX
West: D-MX
Location: 101 N Main Street
Existing Land Use: Vacant Restaurant Building
Prior Reviews: Conceptual Review – 02/20/2020

Ordinance Reference:
Sec. 13.3.5 Design Review Board.

A. Authority: Pursuant to S.C. Code 1976, § 6-29-870, et seq., as amended, there is hereby created a Design Review Board (DRB) that protects and improves the visual and aesthetic character of mixed-use, commercial, industrial and multi-family development within the Town of Summerville, excluding any development allowed within the designated historic district which is regulated by the Historic District / Board of Architectural Review. The DRB seeks to enhance corridors, neighborhoods and districts in order to contribute to a sense of place and pride, while building on or enhancing economic value and further strengthening the integrity of Summerville’s historic and/ or best characteristics. The process aims to respect the character, integrity and quality of the built environment of the Town of Summerville without stifling carefully innovative architecture and/or development.

Recommendation:

Based on the review of the submitted documents the following are staff’s comments. Site constraints remain the same as existed prior. No changes have been made. The dumpster location remains the same. The Board at the conceptual review agreed that no entrance was required facing Main Street.

Prior Review Comments: Based upon staff review, the following are staff’s site related comments. A landscape plan with full materials list is required. No lighting plan has been submitted.

Building: The Design Review Board will need to approve the lack of an entrance on the N. main Street side. The UDO requires that a corner building have an entrance from each frontage. The front façade does not meet the 65% façade transparency requirement.

Engineering: None



1 AERIAL SITE PLAN
 C100 SCALE: 1" = 10'-0"

No.	Issued For	Date
1	CDRB - FINAL APPROVAL	4/29/20
2		
3		
4		

Stamps

NOT FOR CONSTRUCTION

SWALLOWTAIL ARCHITECTURE, LLC
 ARCHITECTURE AND INTERIOR DESIGN
 803.853.9400 • swallowtailarch.com
 814 Cedar Street, Summerville, SC 29485

Restaurant RENOVATION AND ADDITION
 101 North Main Street
 Summerville, South Carolina

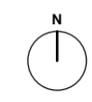
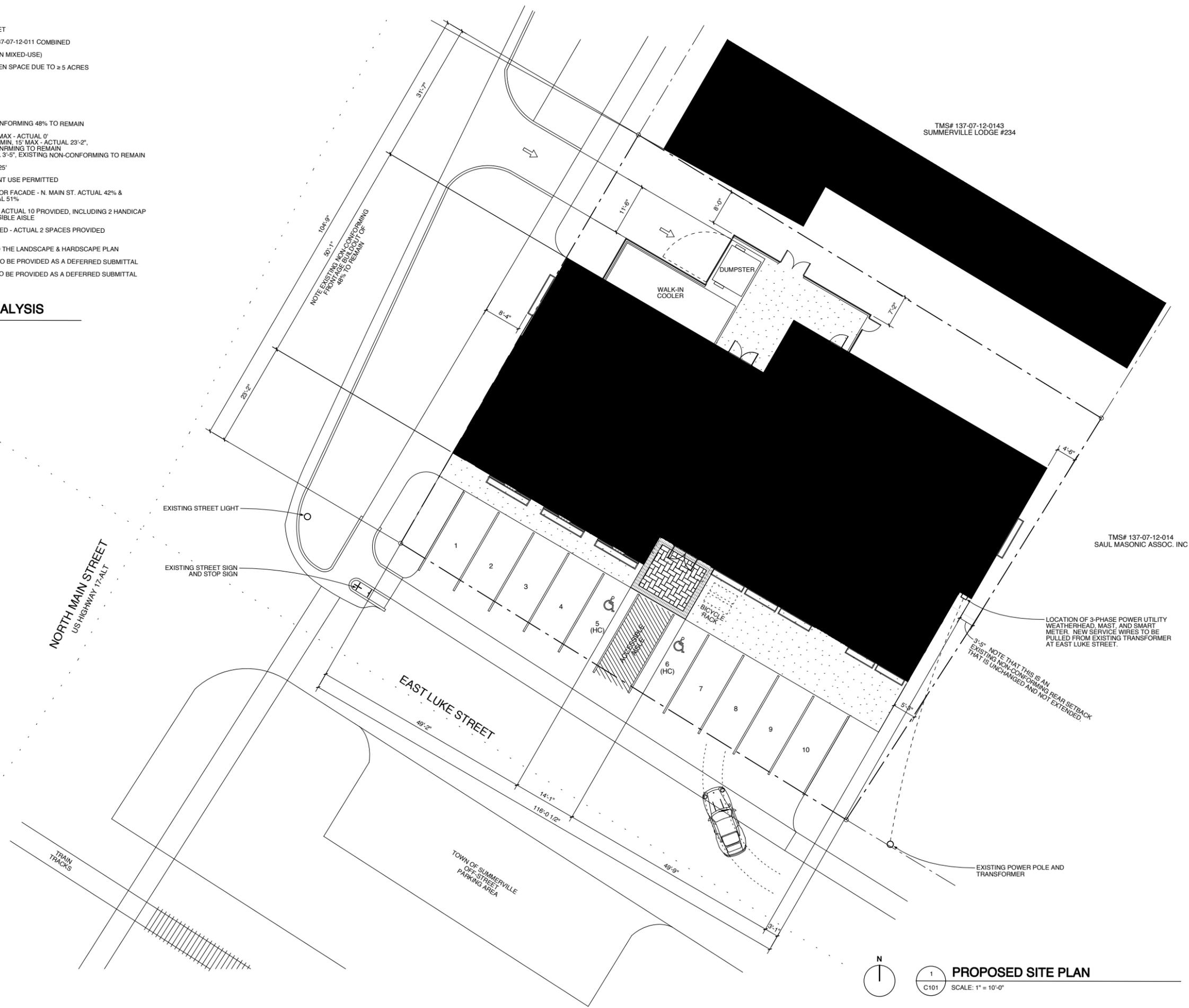
Drawing No.
C100

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ADDRESS : 101 N. MAIN STREET
 TMS # : 137-07-12-012 & 137-07-12-011 COMBINED
 DISTRICT : D-MX (DOWNTOWN MIXED-USE)
 OPEN SPACE : NO REQUIRED OPEN SPACE DUE TO ≥ 5 ACRES
 PERIMETER BUFFER : NONE
 LOT SIZE : N/A
 MAX. LOT COVERAGE : 100%
 FRONTAGE BUILDOUT : 75% MIN
 EXISTING NON-CONFORMING 48% TO REMAIN
 SETBACKS : FRONT - 0' MIN, 5' MAX - ACTUAL 0'
 SIDE CORNER - 0' MIN, 15' MAX - ACTUAL 23'-2",
 EXISTING NON-CONFORMING TO REMAIN
 REAR - 5' - ACTUAL 3'-5", EXISTING NON-CONFORMING TO REMAIN
 BUILDING HEIGHT : 55' MAX - ACTUAL 25'
 USE : BAR & RESTAURANT USE PERMITTED
 FACADE TRANSPARENCY : 65% GROUND FLOOR FACADE - N. MAIN ST. ACTUAL 42% &
 E. LUKE ST. ACTUAL 51%
 PARKING : NONE REQUIRED - ACTUAL 10 PROVIDED, INCLUDING 2 HANDICAP
 SPACES & ACCESSIBLE AISLE
 BICYCLE PARKING : 2 SPACES REQUIRED - ACTUAL 2 SPACES PROVIDED
 LANDSCAPING : PLEASE REFER TO THE LANDSCAPE & HARDSCAPE PLAN
 LIGHTING : LIGHTING PLANS TO BE PROVIDED AS A DEFERRED SUBMITTAL
 SIGNAGE : SIGNAGE PLANS TO BE PROVIDED AS A DEFERRED SUBMITTAL

ZONING ORDINANCE ANALYSIS

C101 SCALE: N/A



1
 C101 SCALE: 1" = 10'-0"
PROPOSED SITE PLAN

No.	Issued For	Date
1	CDDP - FINAL APPROVAL	4/29/20
2		
3		
4		
4		

NOT FOR CONSTRUCTION

SWALLOWTAIL ARCHITECTURE, LLC
 ARCHITECTURE AND INTERIOR DESIGN
 803.885.9408 • swallowtailarch.com
 814 Cedar Street, Summerville, SC 29483

Restaurant
 RENOVATION AND ADDITION
 101 North Main Street
 Summerville, South Carolina

Plot Date	4/29/20
Checked	RB
Drawn	JF
Drawing Title	PROPOSED SITE PLAN
Drawing No.	C101

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- NEW TREES : TYPE A = LOQUAT (EVERGREEN) - MIN. 5" CALIPER, MIN. 10' HEIGHT
 TYPE B = WHITE CRAWPEMYRTLE - MIN. 4" CALIPER, MIN. 8' HEIGHT
 NEW SHRUBS : TYPE C = LADY PALM, VARIEGATED - MIN. 2', MAX 3' HEIGHT
 PLANTER BOXES : TYPE D = NATIVE ANNUAL FLOWERS TO BE PLANTED SEASONALLY
 TYPE E = CONFEDERATE JASMINE, NOTE GALVANIZED WELDED WIRE ON ELEVATIONS TO PROMOTE CLIMBING
 TYPE F = ROSEMARY

ALL NEW SODDED AREAS TO BE ST. AUGUSTINE
 ALL MULCH AREAS TO BE BROWN PINE BARK DEFINED BY METAL EDGING

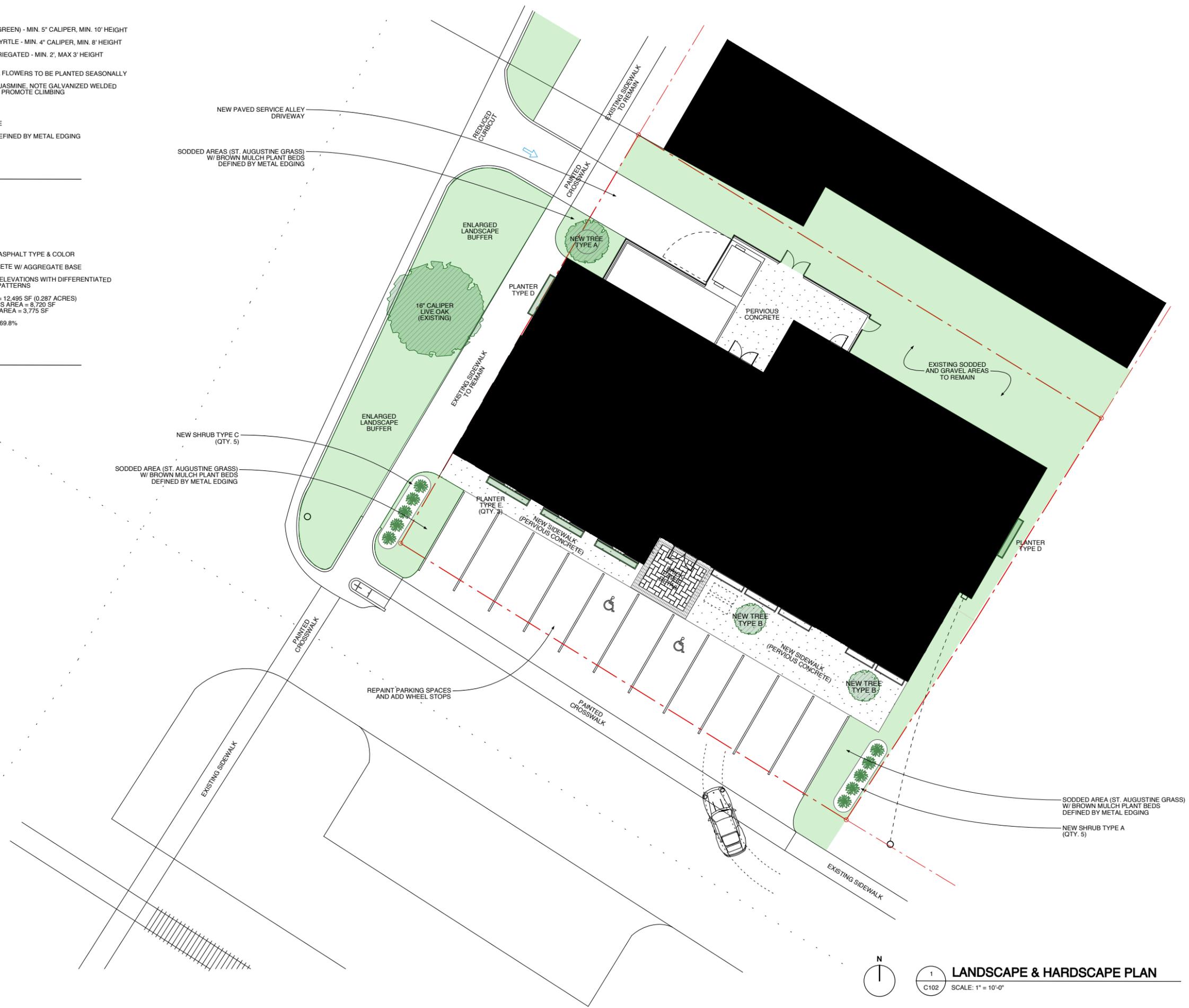
2 LANDSCAPE NOTES

C102 SCALE: N/A

- NEW PAVING : MATCH EXISTING ASPHALT TYPE & COLOR
 NEW SIDEWALKS : PERVIOUS CONCRETE W/ AGGREGATE BASE
 BRICK PAVER DETAIL : MATCH BRICK ON ELEVATIONS WITH DIFFERENTIATED BORDER & FIELD PATTERNS
 LOT COVERAGE CALCS : TOTAL LOT AREA = 12,495 SF (0.287 ACRES)
 TOTAL IMPERVIOUS AREA = 8,720 SF
 TOTAL PERVIOUS AREA = 3,775 SF
 LOT COVERAGE = 69.8%

3 HARDSCAPE NOTES

C102 SCALE: N/A



1 LANDSCAPE & HARDSCAPE PLAN
 C102 SCALE: 1" = 10'-0"

No.	Issued For	Date
1	CDRB - FINAL APPROVAL	4/29/20
2		
3		
4		
4		

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 814 Cedar Street, Summerville, SC 29483

Restaurant RENOVATION AND ADDITION
 101 North Main Street
 Summerville, South Carolina

Plot Date	4/29/20
Checked	RB
Drawn	JF
Drawing Title	LANDSCAPE & HARDSCAPE PLAN

Drawing No. **C102**

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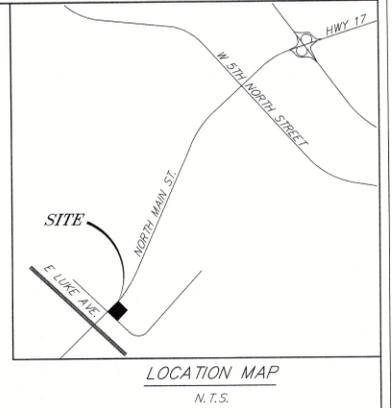
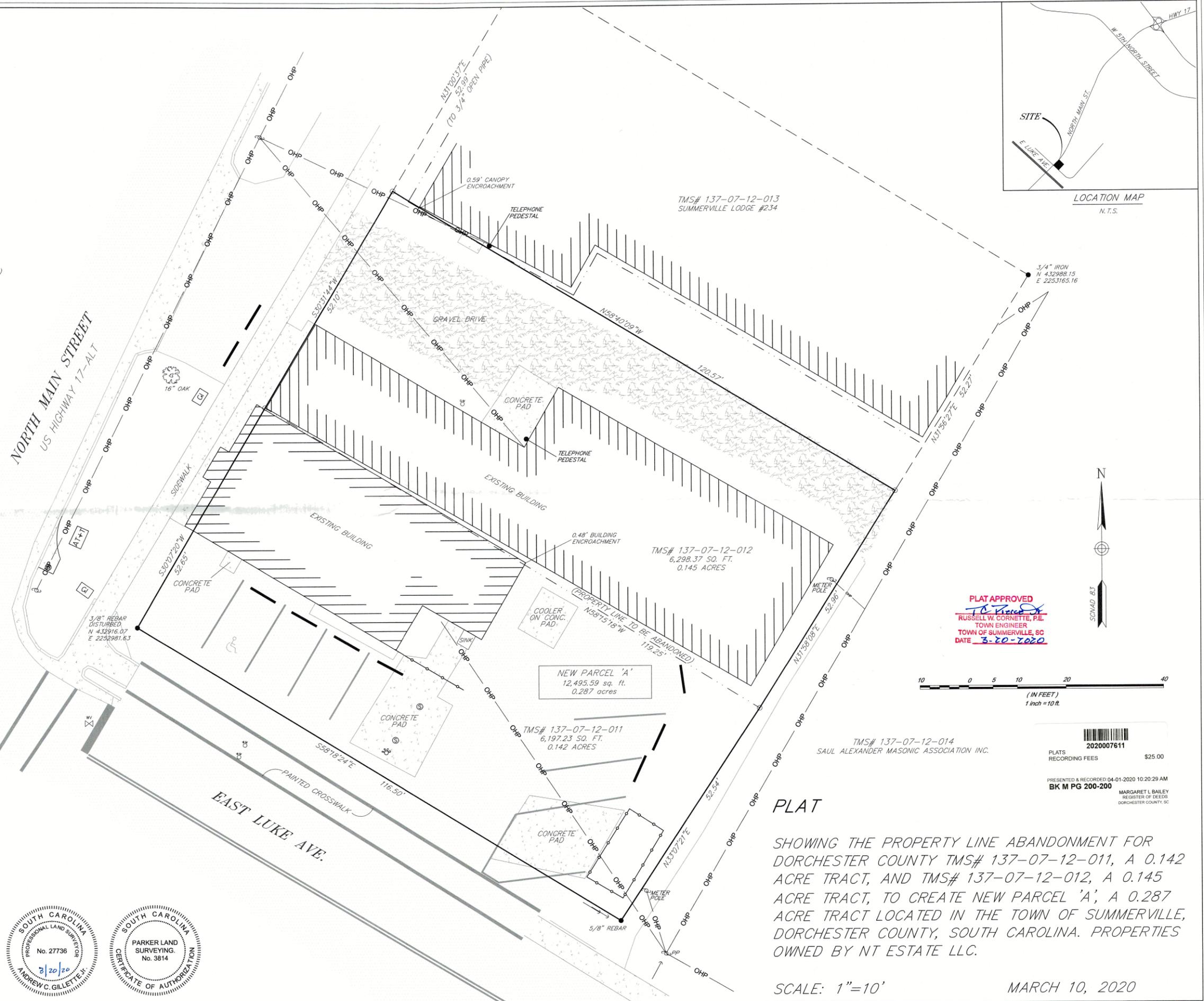
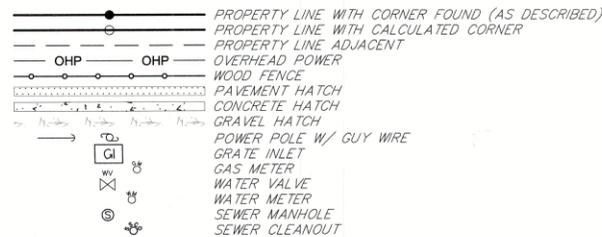
NOTES:

- EASEMENTS SHOWN ARE BASED ON REFERENCES ONLY. THERE MAY BE EASEMENTS NOT OBVIOUS OR APPARENT TO THE SURVEYOR.
- BASED ON LISTED REFERENCES ONLY. A TITLE SEARCH WAS NOT PERFORMED FOR THE CREATION OF THIS SURVEY.
- NORTH ORIENTATION SCNAD 83 (2011) AND WAS DETERMINED USING GPS TECHNOLOGY.
- PROPERTY ZONING:
 - TOWN OF SUMMERVILLE
 - D-MX DOWNTOWN MIXED-USE
- BY GRAPHICAL PLOTTING, THIS PROPERTY IS LOCATED IN FLOOD ZONE X, FEMA COMMUNITY PANEL 450073, TOWN OF SUMMERVILLE, FEMA MAP 45035C343E WITH AN EFFECTIVE DATE 7/18/2017.

REFERENCES:

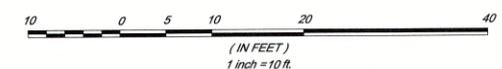
- PLAT OF LOT D.4, D.5, AND D.6, SQUARE 3, DETMOLD SUMMERVILLE AND ABANDONMENT OF OF INTERIOR PROPERTY LINES BY SEMPER FI SURVEYING, LLC, SCPLS# 13164, MARK WOODROW ELLIS, AND RECORDED AT DORCHESTER COUNTY ROD PLAT BOOK M PAGE 54.
- PLAT SHOWING THE BOUNDARY FOR DORCHESTER COUNTY TMS #137-07-12-011 AND TMS#137-07-12-012 BY PARKER LAND SURVEYING, LLC, PLS# 27736, ANDY C. GILLETTE JR., AND RECORDED AT DORCHESTER COUNTY ROD PLAT BOOK M PAGE172.

LEGEND



PLAT APPROVED

 RUSSELL W. CORNETTE, P.E.
 TOWN ENGINEER
 TOWN OF SUMMERVILLE, SC
 DATE **3-20-2020**



2020007611
 PLATS RECORDING FEES \$25.00
 PRESENTED & RECORDED 04-01-2020 10:20:29 AM
BK M PG 200-200
 MARGARET L BAILEY
 REGISTER OF DEEDS
 DORCHESTER COUNTY, SC

PLAT

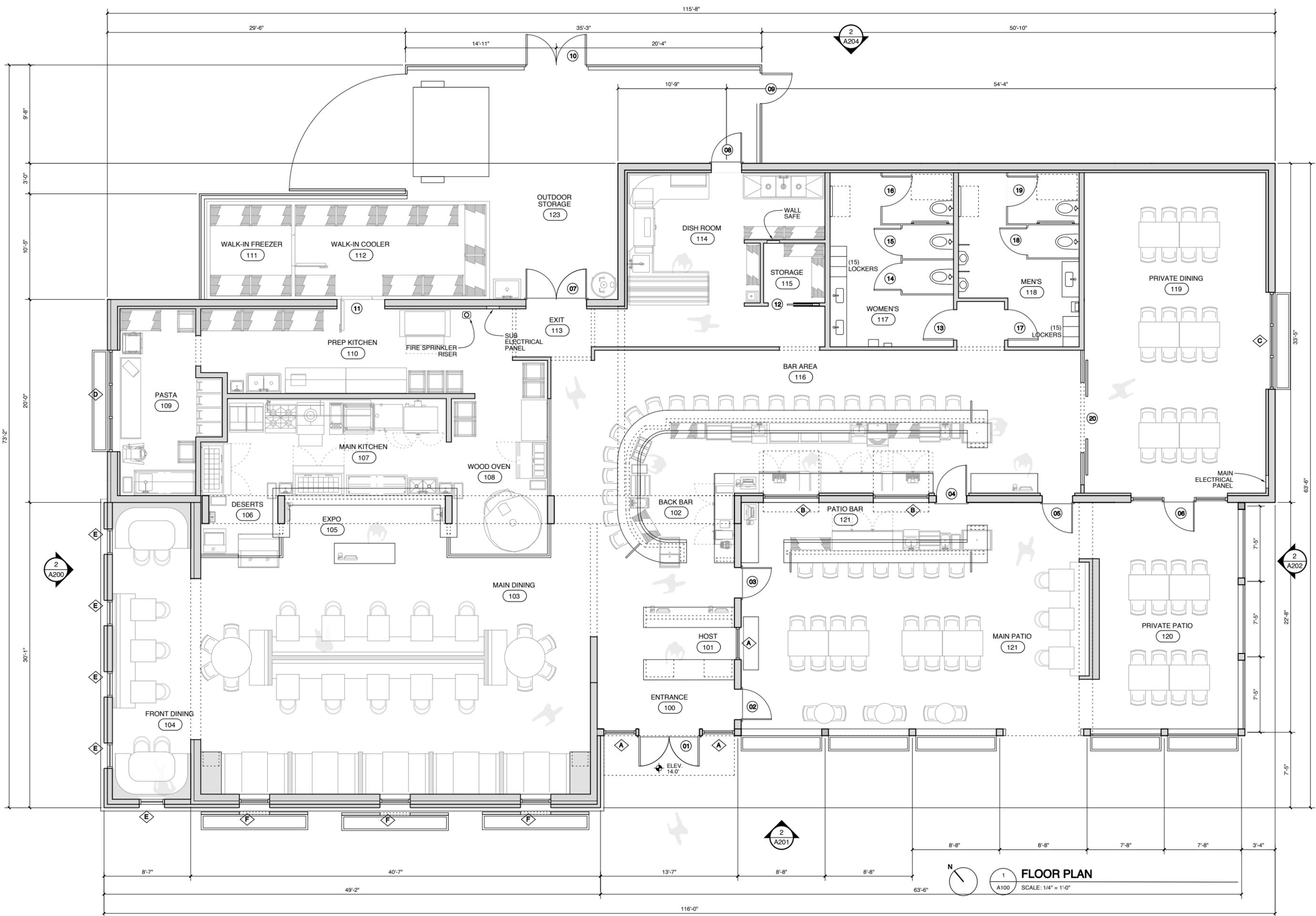
SHOWING THE PROPERTY LINE ABANDONMENT FOR DORCHESTER COUNTY TMS# 137-07-12-011, A 0.142 ACRE TRACT, AND TMS# 137-07-12-012, A 0.145 ACRE TRACT, TO CREATE NEW PARCEL 'A', A 0.287 ACRE TRACT LOCATED IN THE TOWN OF SUMMERVILLE, DORCHESTER COUNTY, SOUTH CAROLINA. PROPERTIES OWNED BY NT ESTATE LLC.

SCALE: 1"=10' MARCH 10, 2020

Parker Land Surveying, LLC
 5910 Griffin Street
 Hanahan, SC 29410
 Phone: (843) 554-7777
 Fax: (843) 554-7779

I HEREBY STATE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

ANDREW C. GILLETTE JR. P.L.S. 27736



1 FLOOR PLAN
 A100 SCALE: 1/4" = 1'-0"

No.	Issued For	Date
1	CDRB - FINAL APPROVAL	4/29/20
2		
3		
4		

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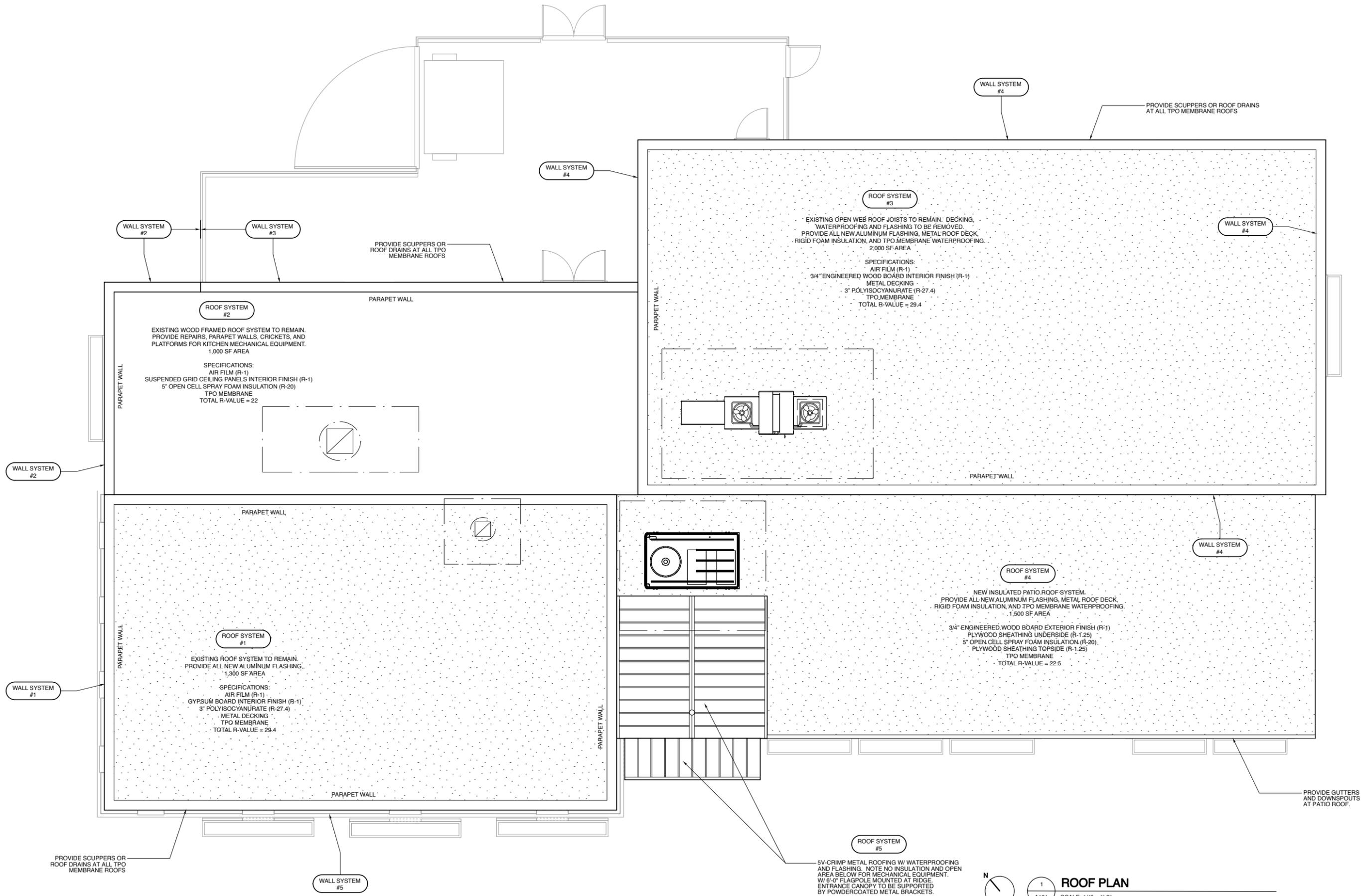
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Restaurant
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 Summerville, South Carolina

Plot Date	4/29/20
Checked	RB
Drawn	JF
Drawing Title	FLOOR PLAN

Drawing No.
A100

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No.	Issued For	Date
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Stamps

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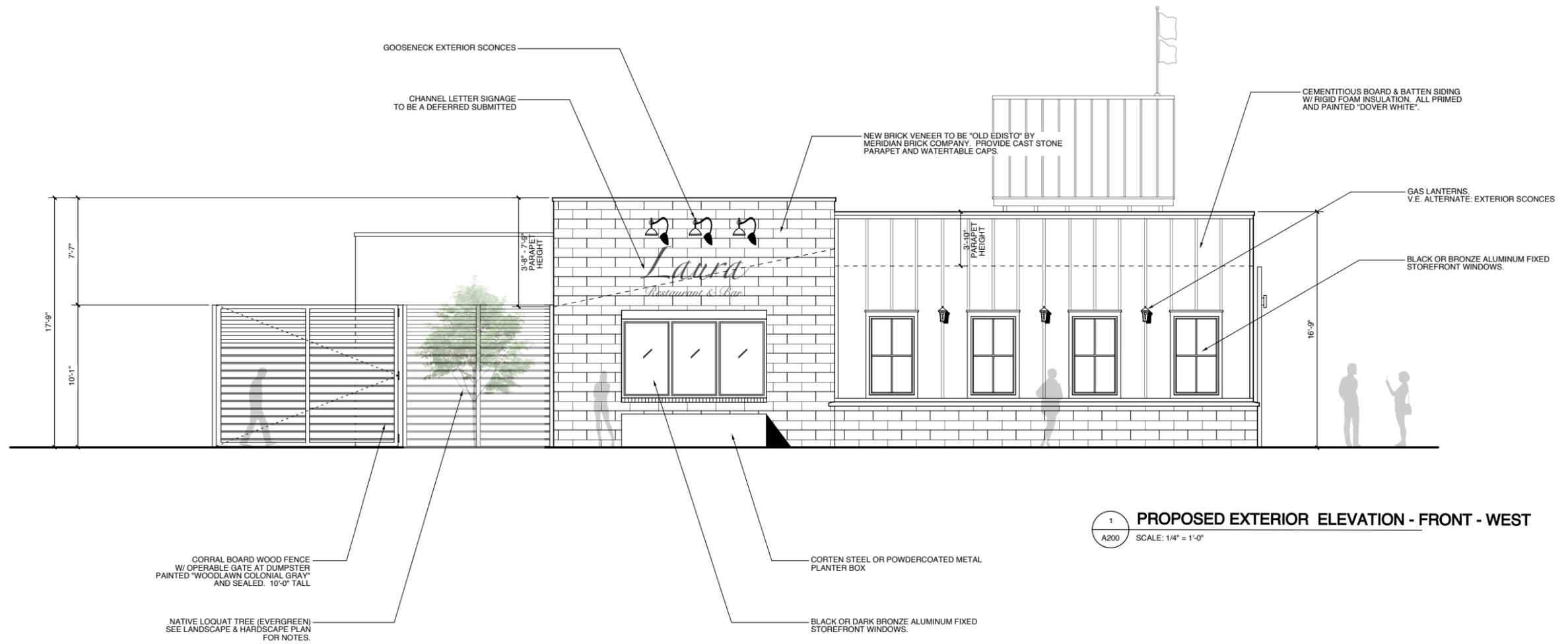
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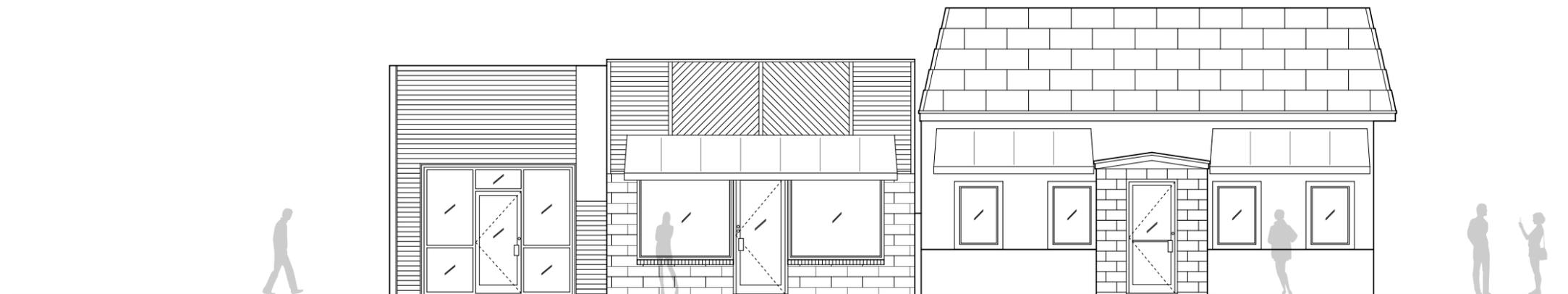
Plot Date 4/29/20
 Checked RB
 Drawn JF
 Drawing Title **ROOF PLAN**

Drawing No. **A101**

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1 PROPOSED EXTERIOR ELEVATION - FRONT - WEST
A200 SCALE: 1/4" = 1'-0"



1 EXISTING EXTERIOR ELEVATION - FRONT - WEST
A200 SCALE: 1/4" = 1'-0"

No.	Issued For	Date
1	CDRB - FINAL APPROVAL	4/29/20
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Plot Date 4/29/20

Checked RB

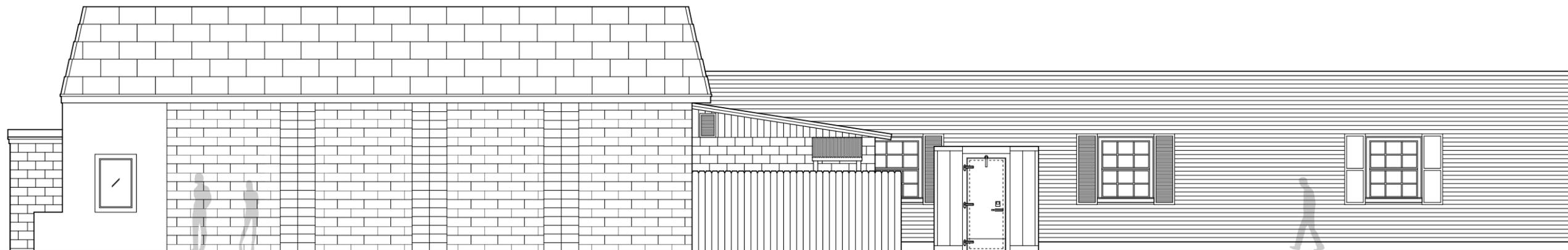
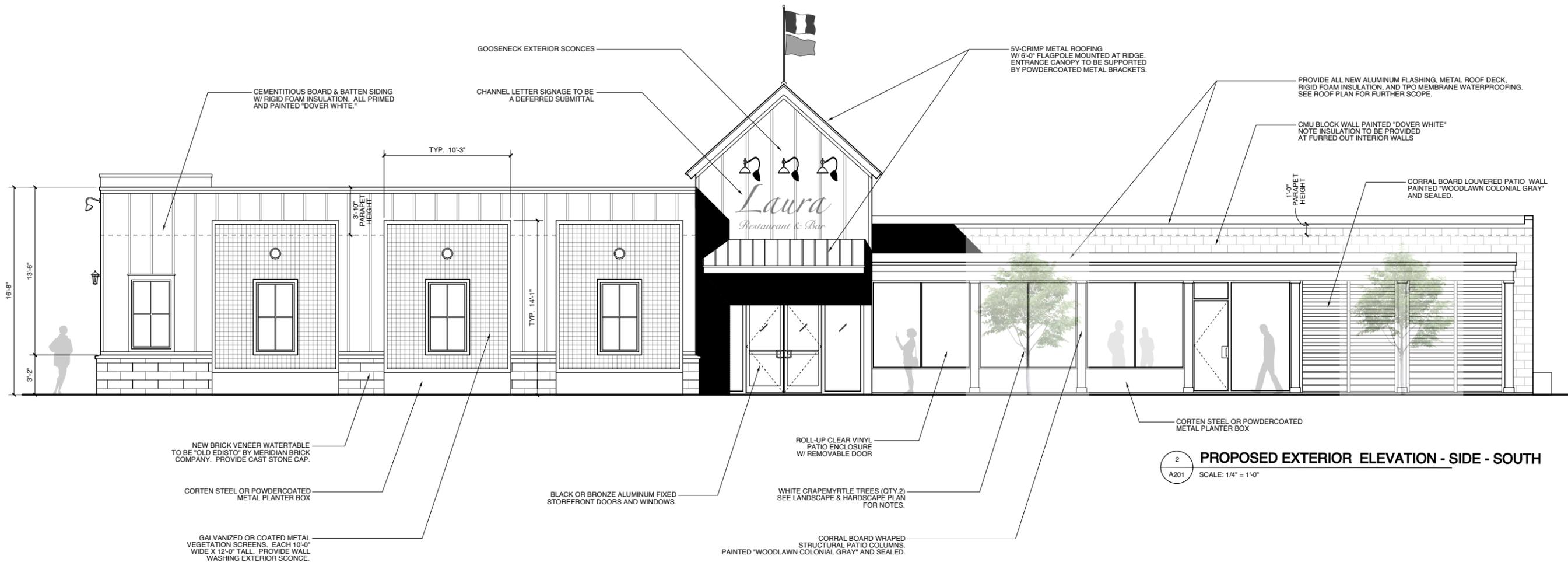
Drawn JF

Drawing Title

EXTERIOR ELEVATIONS

Drawing No.

A200



1 EXISTING EXTERIOR ELEVATION - SIDE - SOUTH
A201 SCALE: 1/4" = 1'-0"

No.	Issued For	Date
1		
2		
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Summerville, South Carolina

Plot Date	4/29/20
Checked	RB
Drawn	JF
Drawing Title	EXTERIOR ELEVATIONS

Drawing No.
A201

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2 **PROPOSED EXTERIOR ELEVATION - REAR - EAST**
 SCALE: 1/4" = 1'-0"

5V-CRIMP METAL ROOFING W/ 6'-0" FLAGPOLE MOUNTED AT RIDGE.

PROVIDE ALL NEW ALUMINUM FLASHING, METAL ROOF DECK, RIGID FOAM INSULATION, AND TPO MEMBRANE WATERPROOFING. SEE ROOF PLAN FOR FURTHER SCOPE.

PROVIDE ALL NEW ALUMINUM FLASHING, METAL ROOF DECK, RIGID FOAM INSULATION, AND TPO MEMBRANE WATERPROOFING. SEE ROOF PLAN FOR FURTHER SCOPE.

CEMENTITIOUS BOARD & BATTEN SIDING W/ RIGID FOAM INSULATION. ALL PRIMED AND PAINTED "DOVER WHITE."

1'-6" PARAPET HEIGHT

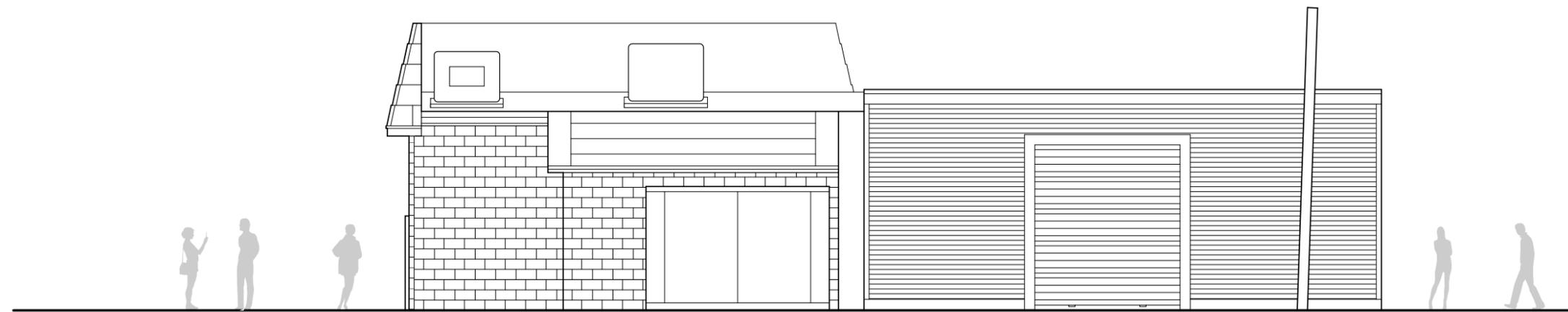
BLACK OR BRONZE ALUMINUM FIXED STOREFRONT WINDOWS.

CMU BLOCK WALL PAINTED "DOVER WHITE" NOTE INSULATION TO BE PROVIDED AT FURRED OUT INTERIOR WALLS

CORRAL BOARD LOUVERED PATIO WALL PAINTED "WOODLAWN COLONIAL GRAY" AND SEALED.

CORTEN STEEL OR POWDERCOATED METAL PLANTER BOX

CORRAL BOARD WRAPPED STRUCTURAL PATIO COLUMNS. PAINTED "WOODLAWN COLONIAL GRAY" AND SEALED.



1 **EXISTING EXTERIOR ELEVATION - REAR - EAST**
 SCALE: 1/4" = 1'-0"

No.	Issued For	Date
1		
2		
3		
4		
4		

Stamps

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 Summerville, South Carolina

Plot Date	4/29/20
Checked	RB
Drawn	JF
Drawing Title	EXTERIOR ELEVATIONS
Drawing No.	A202

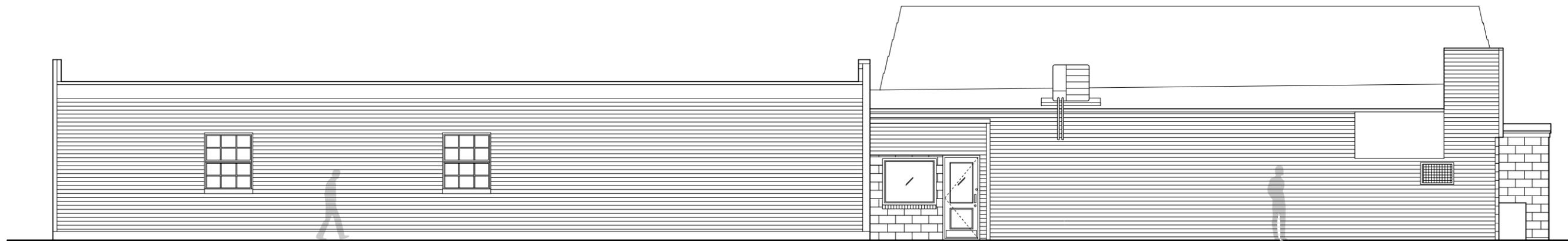
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2 **PROPOSED EXTERIOR ELEVATION - SIDE - NORTH**
 A203 SCALE: 1/4" = 1'-0"

CORRAL BOARD WOOD FENCE
 W/ OPERABLE GATE AT DUMPSTER
 PAINTED "WOODLAWN COLONIAL GRAY" AND SEALED.
 7'-0" TALL AND 10'-0" TALL SECTIONS

NATIVE LOQUAT TREE (EVERGREEN)
 SEE LANDSCAPE & HARDSCAPE PLAN FOR NOTES.



2 **EXISTING EXTERIOR ELEVATION - SIDE - NORTH**
 A203 SCALE: 1/4" = 1'-0"

No.	Issued For	Date
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2		
3		
4		
4		

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Plot Date	4/29/20
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Drawn	JF
Drawing Title	EXTERIOR ELEVATIONS

Drawing No.
A203

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