



TOWN OF SUMMERVILLE
BOARD OF ARCHITECTURAL REVIEW – AGENDA
Zoom Meeting Webinar Link
<https://zoom.us/j/560936647>
April 23rd, 2020 at 6:00 P.M.

(ALL APPLICANTS ARE REQUIRED TO PRESENT THEIR INDIVIDUAL REQUEST)

For additional information regarding this meeting please contact the Planning Department at 843.851.4214. All related documents for this meeting are available for review at the Planning Department on the website www.summervillesc.gov

Approval of Minutes:

1. March 3rd, 2020 Meeting Minutes

Old Business:

1. **206 Central Avenue-** Final details for new church building
2. **114 Pine Grove Avenue-** New construction of detached garage
3. **106 Congress Street-** New construction of single-family residence and detached accessory/workshop building

New Business:

1. **210 S. Gum Street-** New construction of carport attached to existing garage
2. **114 W. Richland Street-** New construction of detached garage

Miscellaneous:

1. N/A

Adjourn:

Agenda Posted:

Board of Architectural Review Minutes
Tuesday March 3rd, 2020
Town Hall Annex Building– Training Room

Members Present:

Phil Dixon, Chairman
David Price, Vice Chairman
Jeff Bowers
Rachel Burton
Cecile Cothran
Beth Huggins
Tim Kennedy

Staff Present:

Becca Zimmerman, Planner II

Members Absent:

Items on the agenda:

Old Business:

1. 206 Central Avenue
2. 133 S. Main Street

New Business:

1. 304 S. Main Street
2. 213 W. Carolina Avenue

Miscellaneous:

N/A

Chairman Dixon opened the meeting at 6:00 pm and asked for consideration of the minutes from the March 3rd, 2020 regularly scheduled meeting. Mr. Bowers moved to approve the minutes; Mr. Kennedy seconded the motion. The board unanimously approved the minutes.

Old Business:

206 Central Avenue- Mr. Hill presented details that the board had requested for the construction of a new fellowship building. He also explained that he had brought the most up to date plans that have been refined from the previous plans and passed those plans out to the board members. Mr. Hill confirmed that mechanical screening would be four inches taller than mechanical equipment. Mr. Hill then detailed the gridded architectural features that will mimic the church windows on the other elevations. Some of the panels would use painted trim, and some would be spandrel glass. He explained that the board members for the church had gone back and forth on how to create this façade. Dr. Price recalled that there might be something in the BAR guidelines that prohibited the use of spandrel glass. Mr. Kennedy asked Mr. Hill to explain from an Architect's perspective why they would want to implement these panels rather than having windows. Mr. Hill explained that the panels were intended to replicate windows closely, and only doing the painted trim without the spandrel glass has been a maintenance issue for the church. Mr. Hill

and the board members further discussed the design, placement, and colors of the proposed panels, spandrel glass, and trim. Mr. Kennedy and Ms. Burton expressed that they had been under the impression that the fenestration elements shown on the plans were true windows. Mr. Hill further detailed the materials used in the design. Mr. Kennedy explained that there were discrepancies between the plans submitted and what Mr. Hill explained the intent for the design is. Mr. Hill and the board members further discussed the plans presented and what materials would be best. Mr. Hill explained that he understood the board members' concern with some of the elevation designs and materials to be used but that it was late in the game for them to change things and have to go back before the board. Ms. Zimmerman explained that a special meeting could occur before the next meeting in the interest of time, or the board could grant approval with final details to be submitted to staff. Mr. Kennedy stated that he believed the spandrel glass was a better option than the framed painted Hardi plank. Ms. Burton explained that she thought if the applicant could provide options for the board members to review, they could vote on what they liked best at a special meeting. Ms. Cothran stated she preferred the brown-colored spandrel glass. The church board chairman and Mr. Hill stated that they preferred the grey colored sample. Mr. Hill confirmed that they would present both options in the proposed elevations for the next meeting, along with pictures of the spandrel glass from the manufacturer. Ms. Zimmerman confirmed that she would organize a special meeting. Ms. Burton motioned to approve the mechanical screening and east and street-facing elevations as presented. Mr. Bowers seconded the motion; the motion passed unanimously.

133 S. Main Street- Ms. Shows explained that she was picking up on the mural project after the staff that previously presented the mural was no longer working with the Flowertown Players. She also detailed that the mural that was painted without BAR approval was removed. Ms. Shows presented the first idea depicting the building façade over time and the second rendition of the theater with a backdrop similar to Vincent Van Gogh's "Starry Night" painting. She asked that the board members provide feedback on the two ideas. Ms. Cothran explained that she liked the first rendering and that she would even prefer the colors to be monochromatic as they are in the sketch. Ms. Burton agreed that she liked this concept but explained that she would need to see a more exact rendering for the board to approve. Ms. Shows also presented an idea to have a vintage directional painting that would be incorporated in a final design for the board and concluded her presentation.

New Business:

304 S. Main Street- Mr. Williford presented a proposal to do a kitchen addition, expanding the footprint at 304 S. Main Street. Mr. Kennedy asked if the existing roof was a historic roof or a replacement. Ms. Fippen confirmed it was a replacement. Mr. Williford explained that the hot water mechanical equipment would be behind the addition and not visible from the street. Ms. Burton asked about the dimensions of the new windows and questioned if they would match the existing windows. She explained that the partial left and partial front elevations showed windows that were wider than the existing windows. Mr. Williford confirmed that the windows would match and be taller than they are wide. Mr. Kennedy detailed that the windows would need to be two over two, simulated divided light. Mr. Kennedy pointed out that the plans looked like the new siding would be Hardi plank or wood and that he was fine with both. Mr. Williford expressed that he would like to go with wood siding. Mr. Kennedy asked if there would be open rafters like the rest of the house. Mr. Williford confirmed it would. Mr. Kennedy also pointed out that the brick detailing on the foundation shown as stepping out on the plans and would need to be revised to match the existing house. Mr. Kennedy motioned to approve the project with the conditions that the new windows be two over two simulated divided light, wood siding, the foundation detail to be corrected, and the window sill details to match the existing home. Ms. Burton seconded the motion; the motion passed unanimously.

213 W. Carolina Avenue- Ms. Elliott presented her proposal to demolish her fire-damaged home and rebuilt a similar cottage style home with a charcoal, almost black metal roof with white Hardi plank siding and four single windows on either side of the front façade. Ms. Huggins asked about the positioning of the house. Ms. Elliott and Ms. Zimmerman explained that Ms. Elliott would be going before the Board of Zoning appeals for a variance to

encroach within her side setback. Dr. Price asked about the differences between the existing and the new footprint of the home. Ms. Elliott explained that the new footprint is slightly larger. Ms. Burton asked about the foundation details on the porch and side of the house being stucco. Ms. Elliott explained that was correct, and on her previous home, the front porch had a brick foundation and brick foundation piers on the rest of the house, but otherwise, the crawlspace was open. Mr. Kennedy clarified that the proposed plans showed a concrete porch. Ms. Elliott confirmed that she did not want to do a wooden porch due to upkeep issues, and confirmed she wanted a low maintenance concrete porch. Ms. Burton asked what the front steps would be constructed out of, Ms. Elliott confirmed that they would be brick. Mr. Bowers and Mr. Kennedy both confirmed that a wooden porch would be more appropriate and look better on the new home. Ms. Elliott asked if a brick porch would be acceptable. Mr. Bowers stated that brick would be better than concrete. Ms. Burton explained that Ms. Elliott could have brick piers, or what appears to be piers and lattice in the front to have the foundation appear more historically accurate and then have the concrete or stucco in the sides of the house that are not visible. Dr. Price agreed and explained that a curtain wall with false brick piers would be an easy way to achieve a historic look. Ms. Burton explained that what they were looking for was an appearance of piers on the front that would contribute positively to the cottage style of the home. Ms. Elliott confirmed that she would follow this suggestion and that the porch would be brick, and the front door would also be wood. Mr. Kennedy stated that the windows on the new home would need to have a sill on the bottom and be simulated divided light, mimicking historical details. He continued that the plans showed vinyl soffit and eaves, and they would need to be Hardi or cementitious. That the siding would need to be Hardi plank with a smooth finish, the standing seam metal roof would need to follow the BAR guidelines and have one-inch rib and sixteen-inch panel. Mr. Bowers motioned to approve the demolition of the existing home, Ms. Cothran seconded the motion, the motion passed unanimously. Mr. Kennedy motioned to approve the project with the conditions discussed to be applied, Ms. Burton seconded the motion. The motion passed unanimously.

Miscellaneous: N/A

Adjourn: Chairman Dixon adjourned the meeting at 7:44pm.

Respectfully Submitted,

Becca Zimmerman, Planner II

Date: 4/20/2020_____

Approved: Philip G. Dixon PE, CFM, Chairman _____ Or,
Dr. David Price, Vice Chairman



**STAFF REPORT
BAR Meeting
April 23rd , 2020**

To: Town of Summerville BAR
From: Becca Zimmerman, Planner II
Date: 3/11/19

GENERAL INFORMATION

Property Applicant: Goff D'Antonio Associates

Owner: St. Luke's Lutheran Church

Requested Action: Final Approval

Existing Zoning/Land Use: GR-5, Commercial

Location: 206 Central Avenue

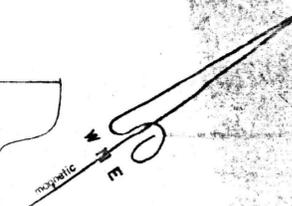
Building Rating: #1 Outstanding

Proposed Alterations: Final fenestration details for new fellowship hall/office building

Guideline Citation: **3. Design Guidelines:** 5.10 Universal Guidelines for New Construction – *Guidelines 29, 31, 32, 33 & 34*

Evaluation: Final details for South and West elevations are subject to the approval of the board members.

PINE STREET



LAND OF DORIS MEYERS

EPIPHANY EPISCOPAL CHURCH

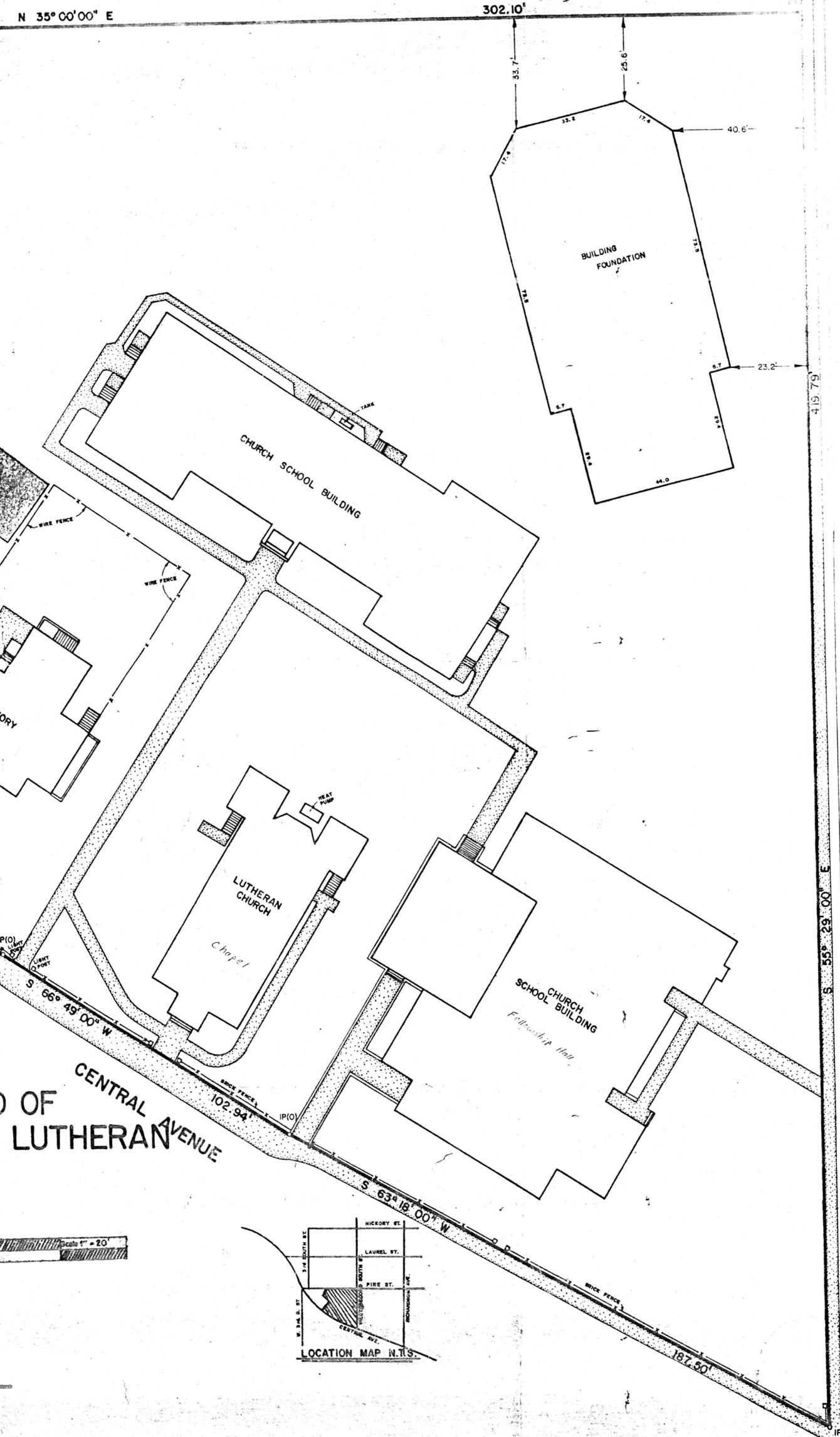
SOUTH CAROLINA
DORCHESTER COUNTY
TOWN OF SUMMERVILLE

A COMPILED PLAT OF LAND OF SAINT LUKES EVANGELICAL LUTHERAN CHURCH.

Resurveyed March 24, 1987, to show Building Foundation.
FEBRUARY 5, 1987
JOB NO. 87-059

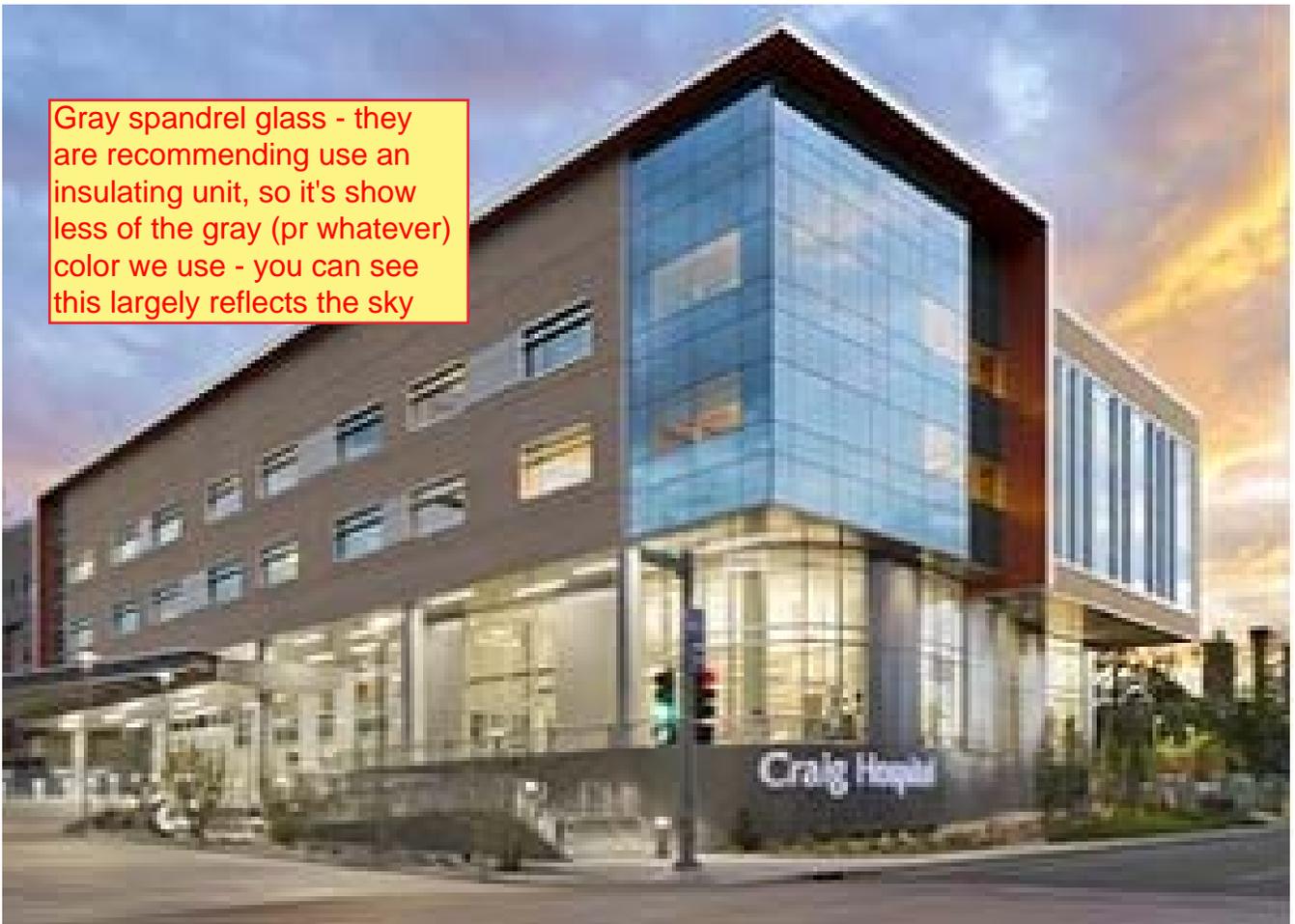


THOMAS W. BAILEY
REGISTERED PROFESSIONAL SURVEYOR
NO. 2006
STATE OF SOUTH CAROLINA
ASSOCIATED SURVEYORS & ENGINEERS
P.O. BOX 6 - Summerville, S.C. 29484
803-873-1091



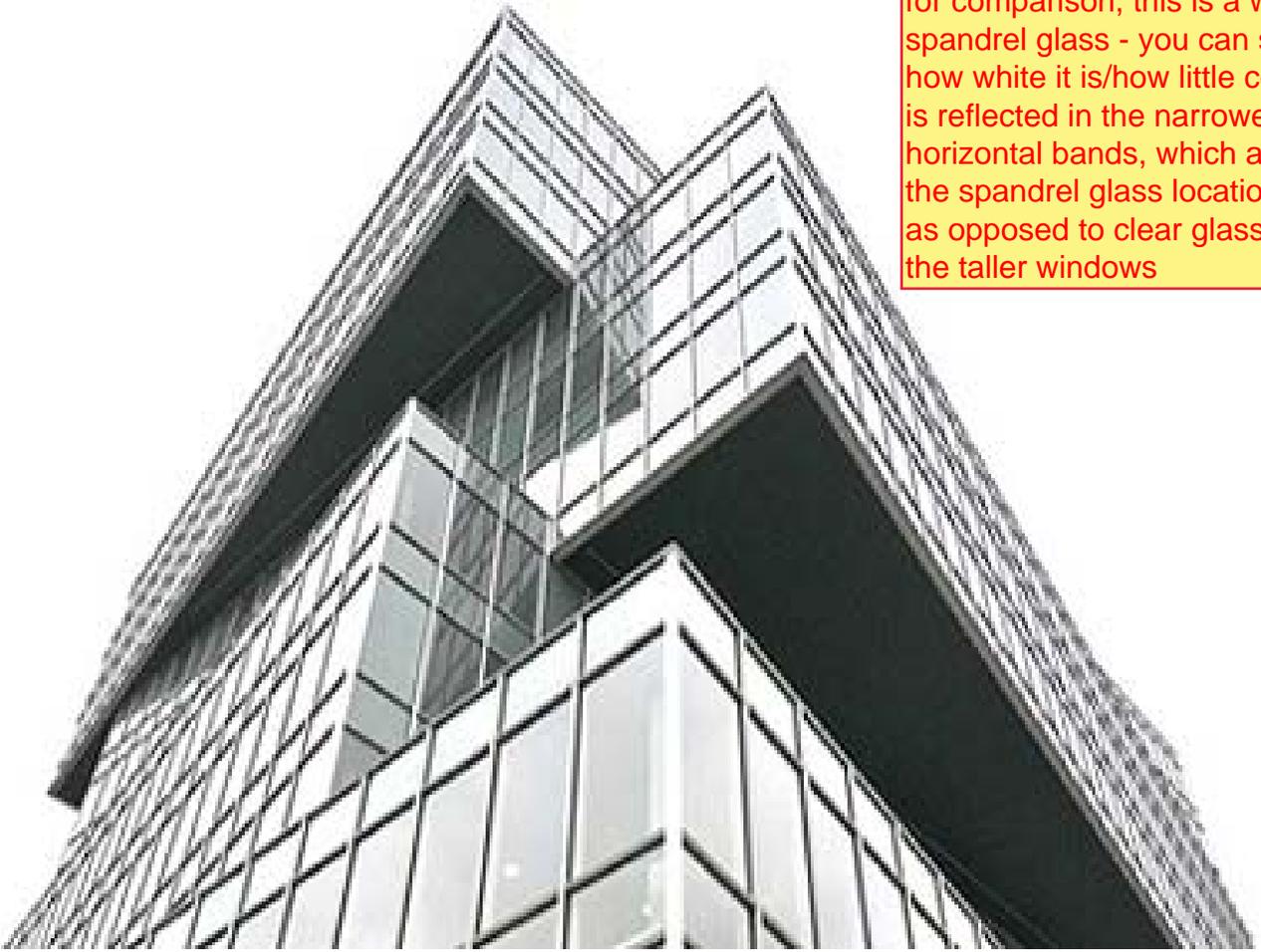
WEST SECOND SOUTH STREET

Gray spandrel glass - they are recommending use an insulating unit, so it's show less of the gray (pr whatever) color we use - you can see this largely reflects the sky

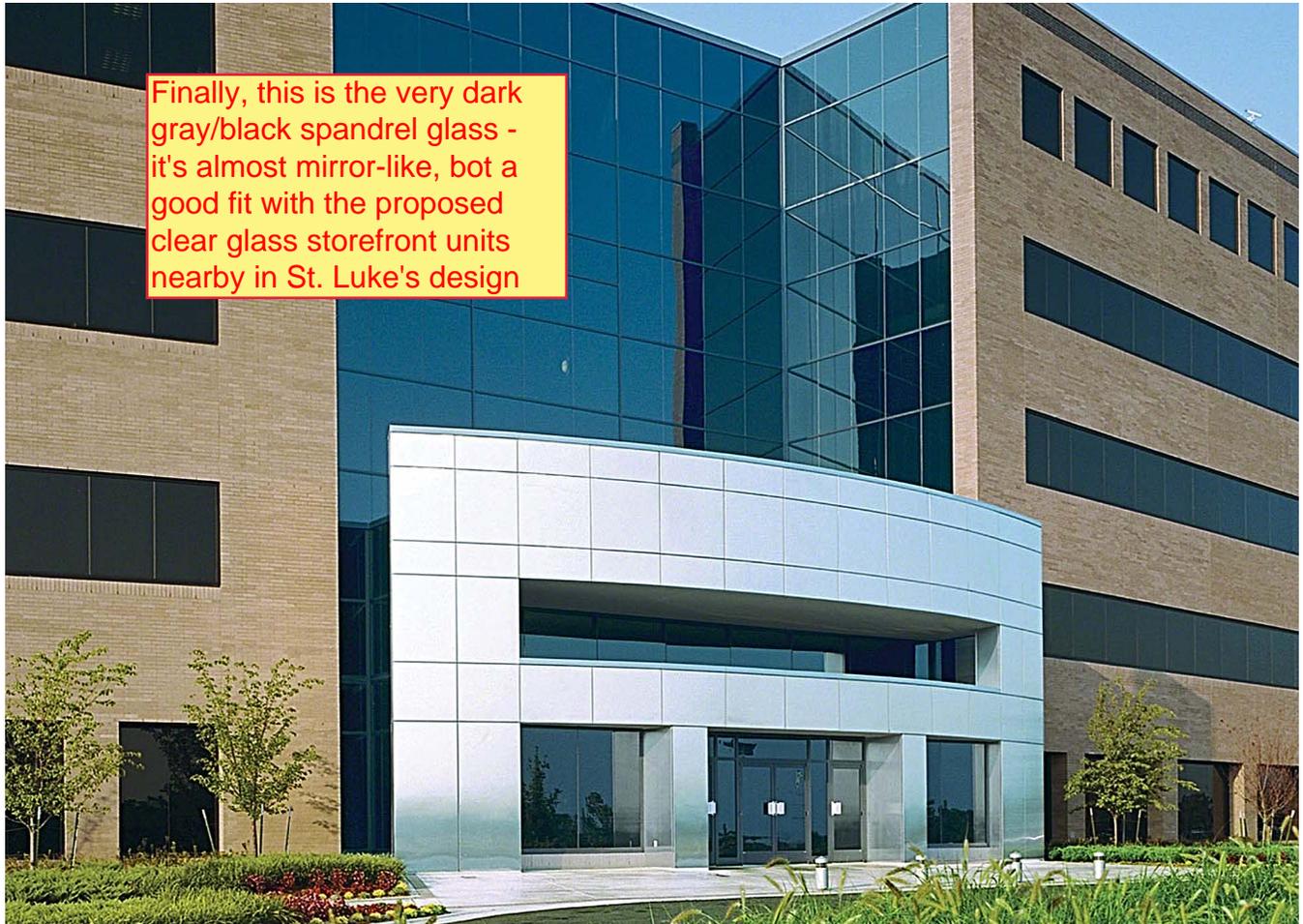


Bronze spandrel glass - you can see the warmer/browner tones of the reflection, plus it's in a "bronze" color frame





for comparison, this is a white spandrel glass - you can see how white it is/how little color is reflected in the narrower horizontal bands, which are the spandrel glass locations, as opposed to clear glass in the taller windows



Finally, this is the very dark gray/black spandrel glass - it's almost mirror-like, but a good fit with the proposed clear glass storefront units nearby in St. Luke's design



These are both examples of gray spandrel glass - again, the surrounding colors are better represented in the reflection, which will be true of the clear glass also - I recommend the gray spandrel glass for this project





**STAFF REPORT
BAR Meeting
December 3rd, 2019**

To: Town of Summerville BAR
From: Becca Zimmerman, Planner II
Date: 4/13/20

GENERAL INFORMATION

Property Applicant: Donna Sands

Owner: Donna & Randall Sands

Requested Action: Final Approval

Existing Zoning/Land Use: GR-2, Residential

Location: 114 Pine Grove Avenue

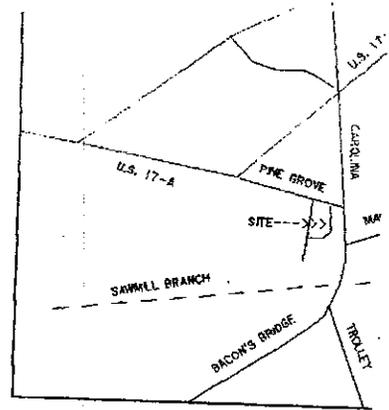
Building Rating: N/A

Proposed Alterations: New construction of detached garage

Guideline Citation: **5. Design Guidelines** – 5.10 Universal Guidelines for New Standalone Construction -*Guideline 30. New Garage or Outbuilding Construction*

Evaluation: The applicant has received a Zoning variance to allow for a taller and larger garage than is normally allowed in general residential zones. The garage is simple in style and appears to be cohesive with the primary structure. The applicant has indicated they would like to install a metal roof rather than a shingle roof.

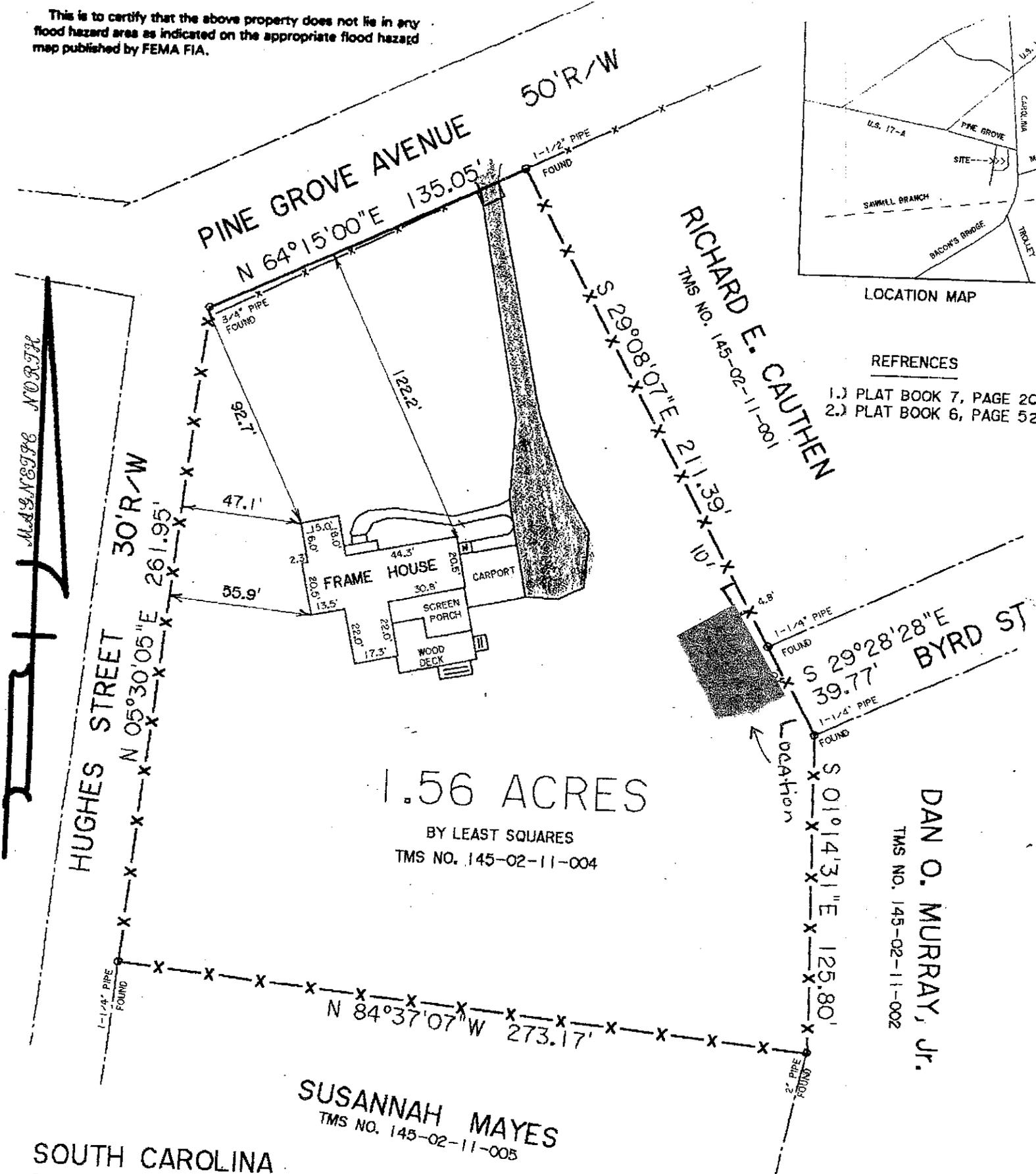
This is to certify that the above property does not lie in any flood hazard area as indicated on the appropriate flood hazard map published by FEMA FIA.



LOCATION MAP

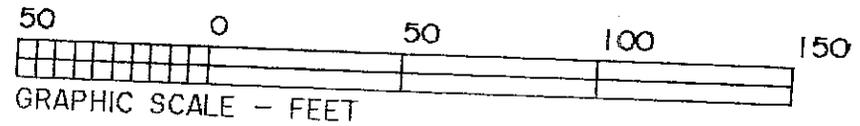
REFERENCES

- 1.) PLAT BOOK 7, PAGE 206
- 2.) PLAT BOOK 6, PAGE 52



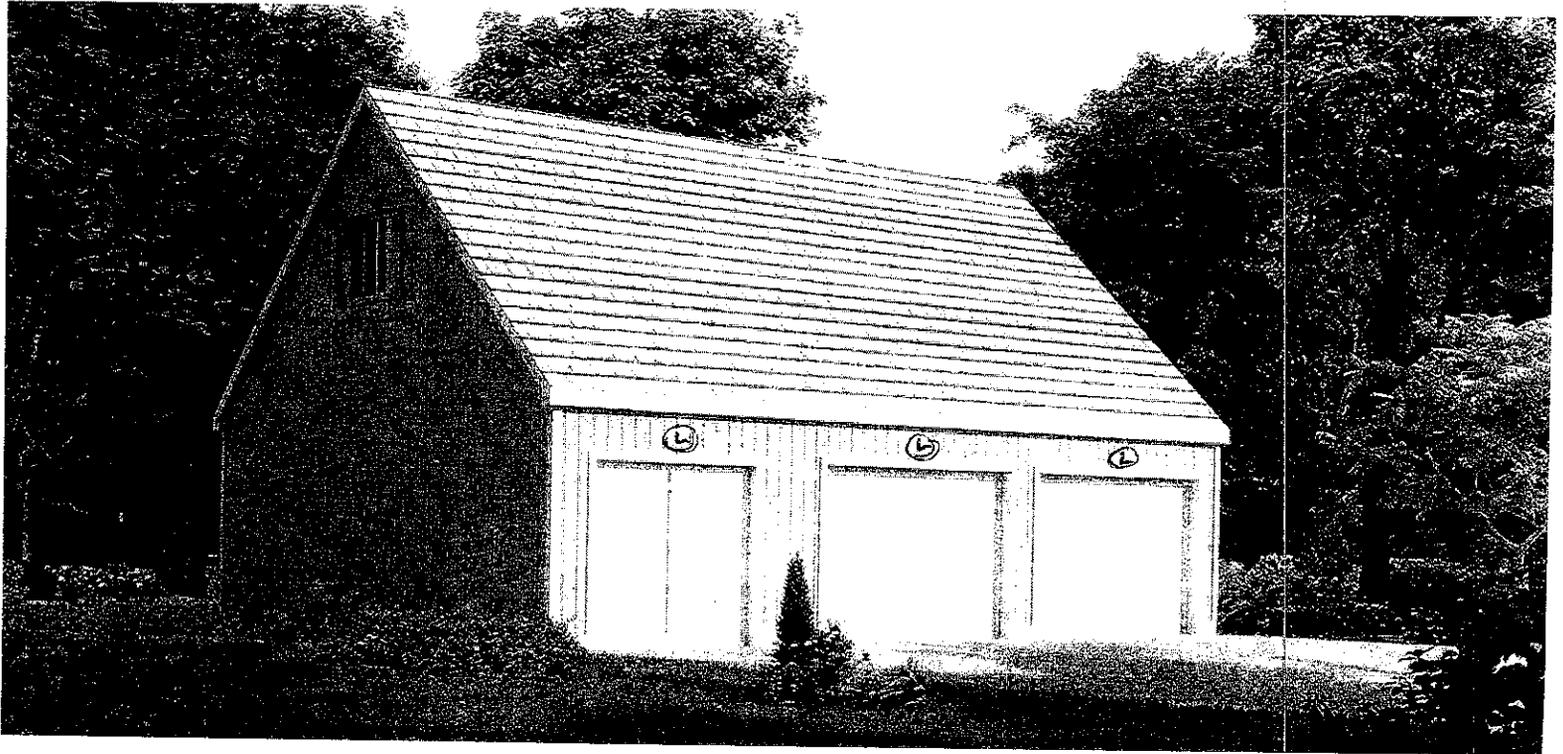
1.56 ACRES

BY LEAST SQUARES
TMS NO. 145-02-11-004



SOUTH CAROLINA
DORCHESTER COUNTY
TOWN OF SUMMERVILLE

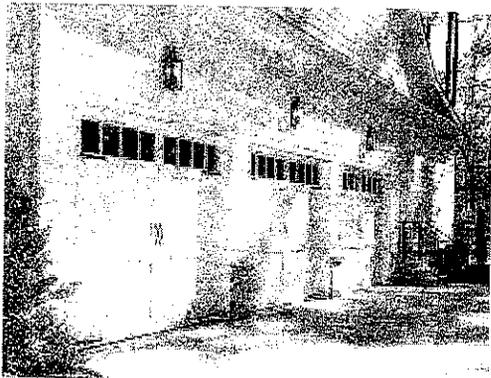
PLAT SHOWING A LOT AT 114 PINE GROVE AVE
BEING PART OF LOT 1



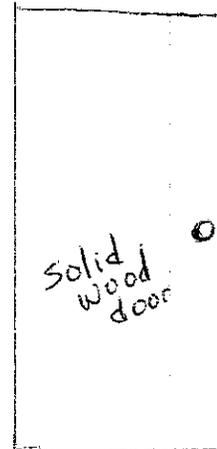
114 Pine Grove Ave., Summerville, SC
 Size: 32' x 24'
 Building height: 21'
 Roof pitch: 12/12
 Hardee Plank siding (White)
 Doors: White (see below)
 Roof Shingles: Black Architectural

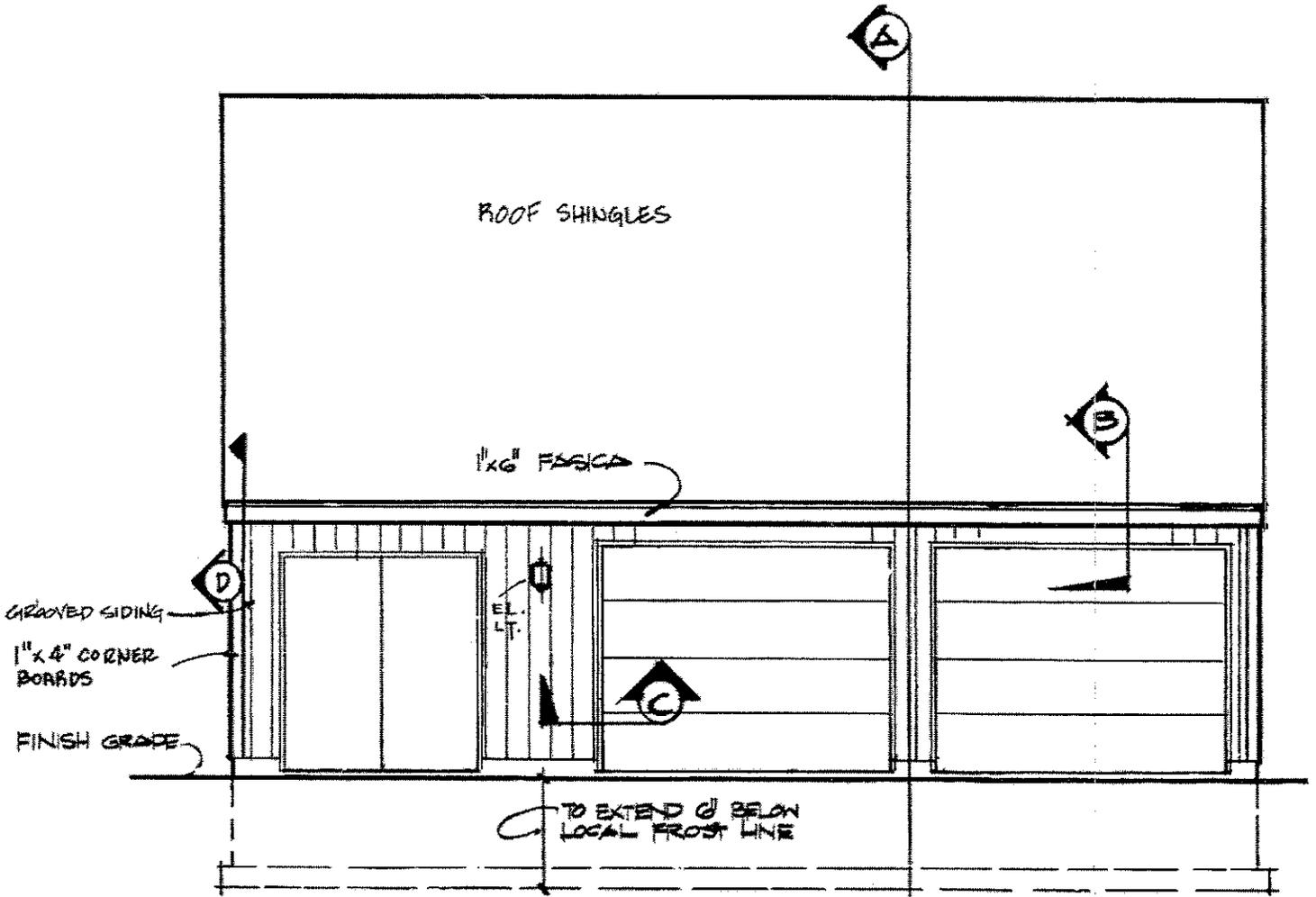


Garage Doors (below



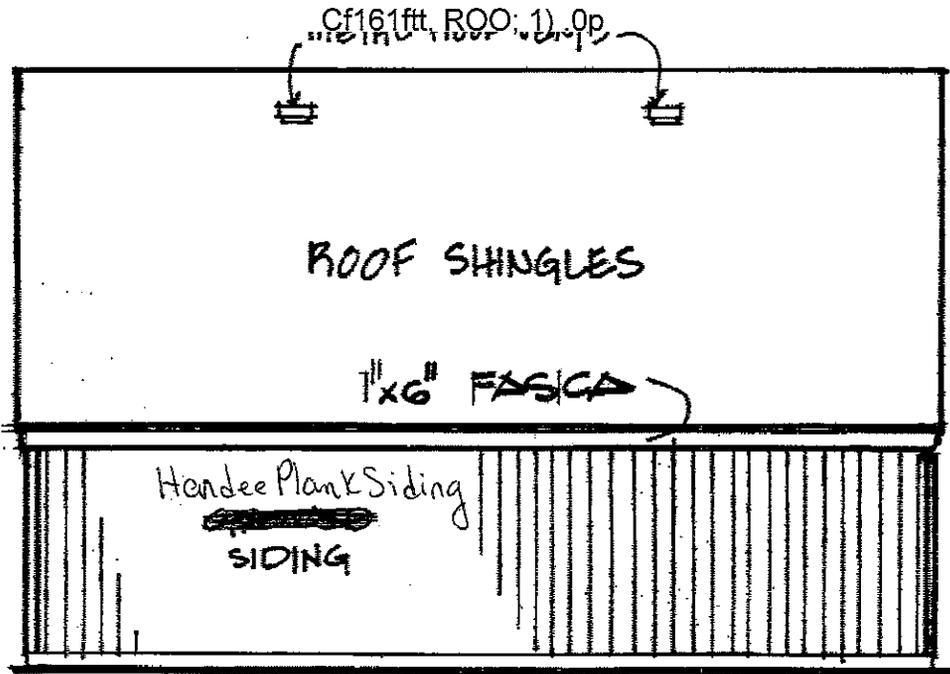
Exterior Lighting (above)
 Exterior Doors (right)
 Exterior Windows (below)



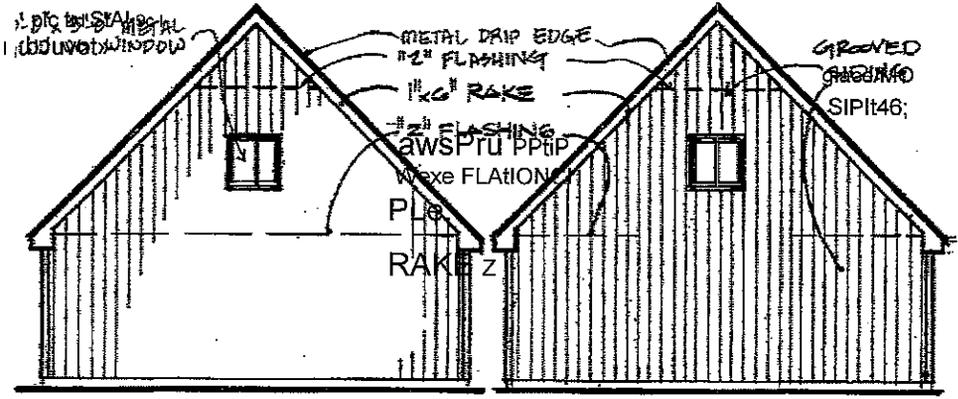


84 Lumber Co.

32'x24' 2 Car Eave Entry Garage



84 Lumber Co. 32'x24' 2 Car Eave Entry Garage



RIGHT ELEVATION

LEFT ELEVATION

PUBLIC HEARING NOTICE

The State of Massachusetts

Department of Transportation
100 State Street, Room 1000, Boston, MA 02109
Tel: (617) 890-2000
Fax: (617) 890-2000
www.mass.gov

For information: Planning Department 400-2000
Tel: (617) 890-2000
Fax: (617) 890-2000
www.mass.gov

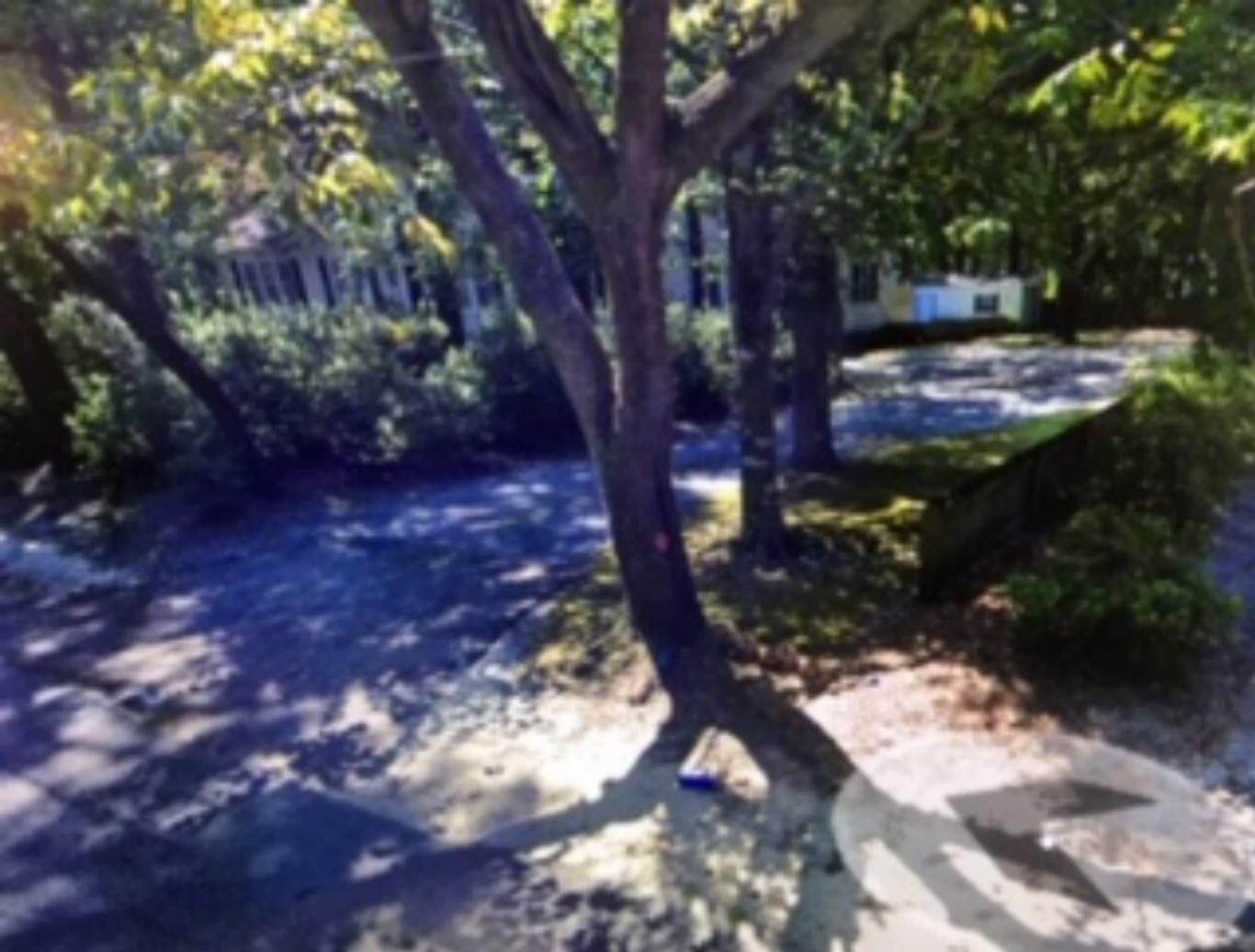
114















**STAFF REPORT
BAR Meeting
April 23rd, 2020**

To: Town of Summerville BAR
From: Becca Zimmerman, Planner II
Date: 4/13/20

GENERAL INFORMATION

Property Applicant: Carol Ross

Owner: Carol Ross

Requested Action: Preliminary Approval

Existing Zoning/Land Use: GR-2, Vacant Lot (Residential)

Location: 106 Congress Street

Building Rating: N/A

Proposed Alterations: New construction of a single family residence and accessory dwelling/workshop

Guideline Citation: **5. Design Guidelines:** 5.10 Universal Guidelines for New Standalone Construction- *Guidelines 29-36*

Evaluation: The proposed single-family residence and accessory structure meeting Zoning setback and sizing requirements. Impervious surface coverage will need to be confirmed when the project is submitted for permitting (site plan will need to show any walkways or driveways.) The cottage style house and accessory structure plan will be cohesive with the surrounding homes on Congress Street, W. Richland Avenue and Hansberry Lane.

THIS LOT IS LOCATED IN FLOOD ZONE X
 SEE FIRM COMMUNITY PANEL 45035C 0343 E
 MAP REVISED: 07/18/2017

106 CONGRESS STREET
 TMS NO. 137-10-08-011
 THE SAME BEING SHOWN ON
 A PLAT BY PAUL C. LAWSON, JR.
 DATED NOVEMBER 11, 2004
 AND RECORDED IN THE R.O.D. OFFICE
 FOR DORCHESTER COUNTY
 IN PLAT CABINET K, AT PAGE 132

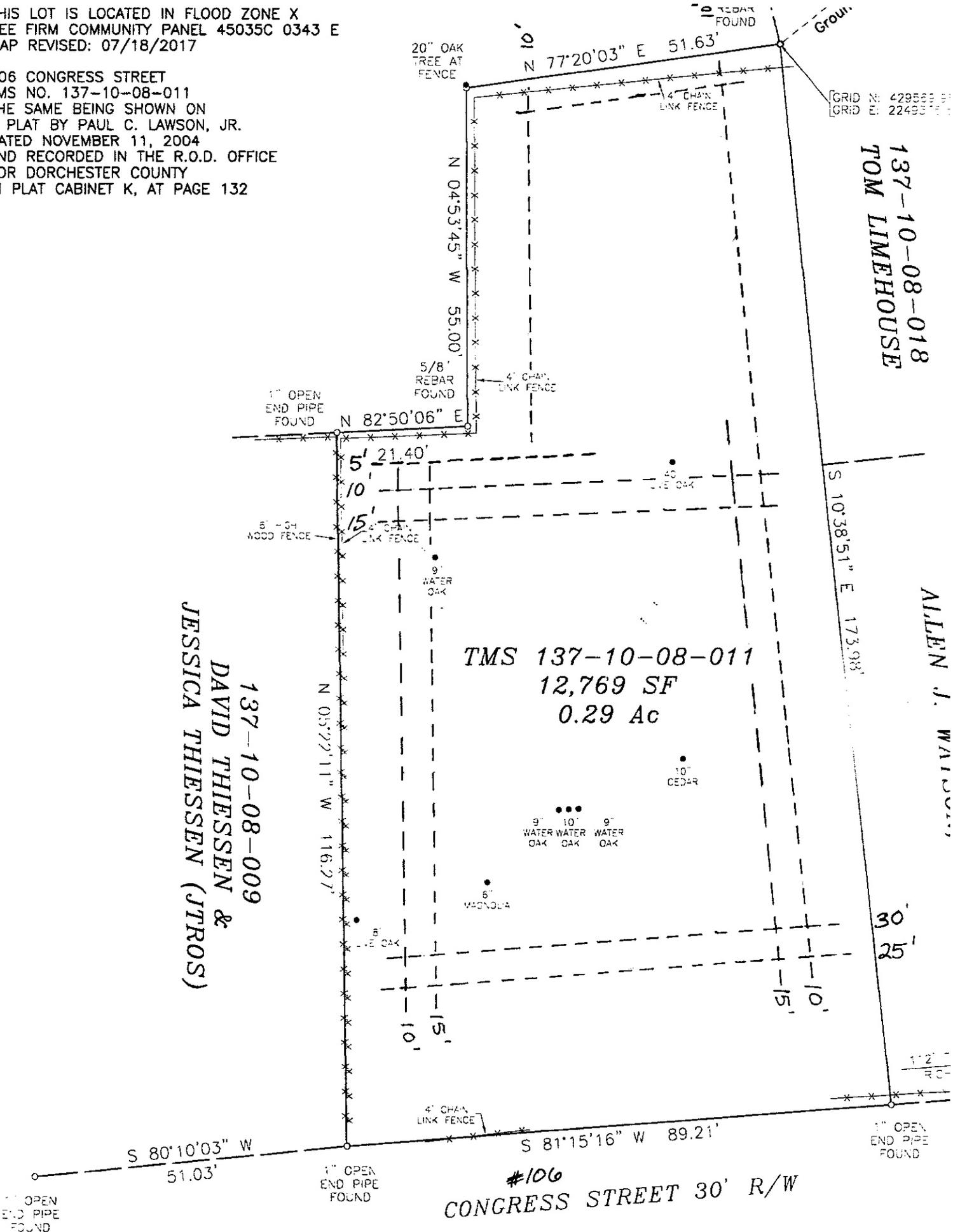
GRID N: 429580.00
 GRID E: 224300.00

137-10-08-018
 TOM LINEHOUSE

ALLEN J. WARDEN

JESSICA THIESSEN (JTROS)
 DAVID THIESSEN &
 137-10-08-009

TMS 137-10-08-011
 12,769 SF
 0.29 Ac



SCALE 1" = 20'

LOT AND TRFF SURVEY OF A LOT

THIS LOT IS LOCATED IN FLOOD ZONE X
 SEE FIRM COMMUNITY PANEL 45035C 0343 E
 MAP REVISED: 07/18/2017

106 CONGRESS STREET
 TMS NO. 137-10-08-011
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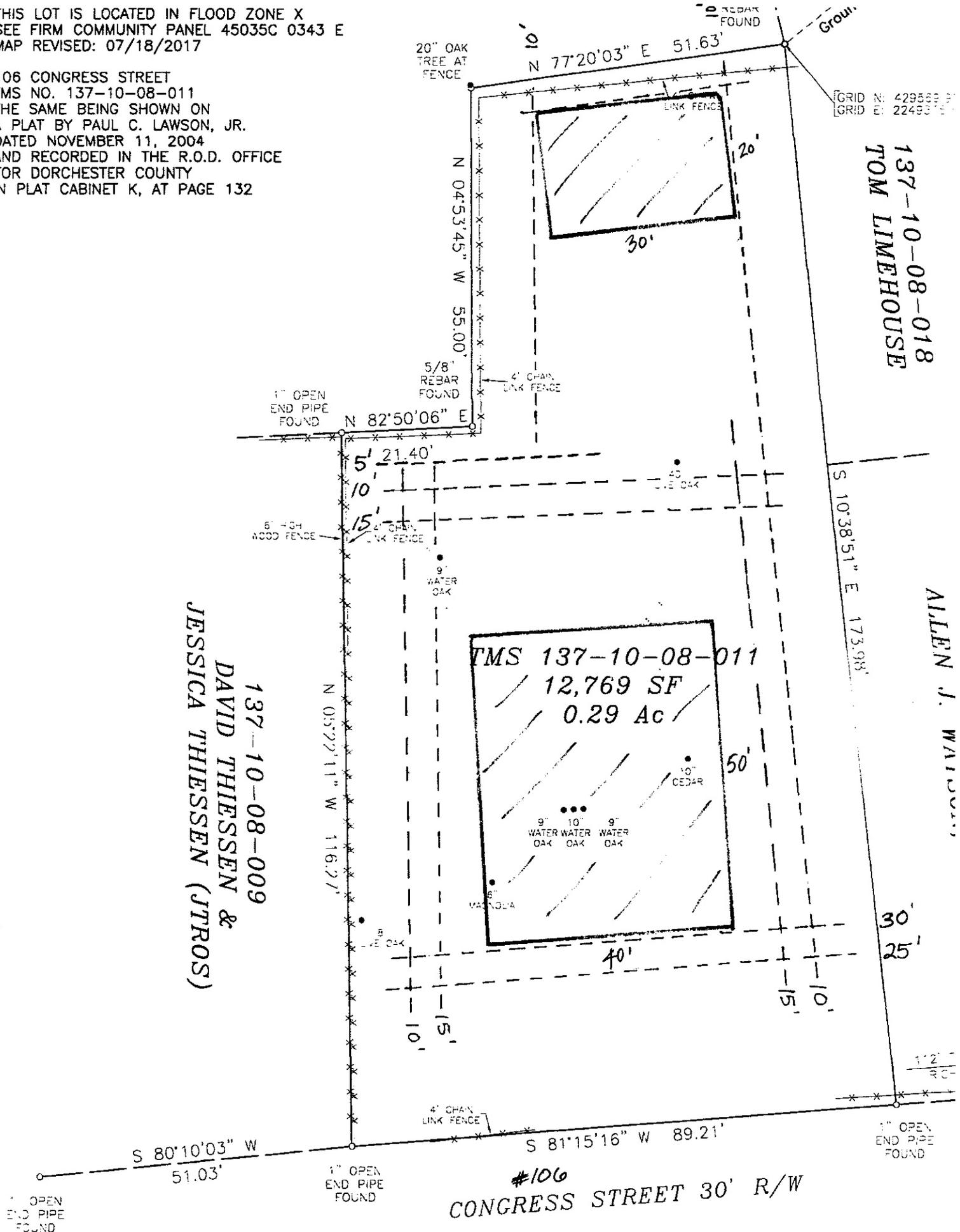
GRID N: 429580.21
 GRID E: 22493.15

137-10-08-018
 TOM LINEHOUSE

ALLEN J. WILDSON

137-10-08-009
 DAVID THIESSEN &
 JESSICA THIESSEN (JTROS)

TMS 137-10-08-011
 12,769 SF
 0.29 Ac

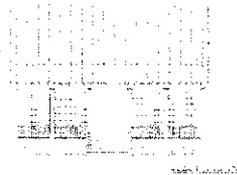


SCALE 1" = 20'

#106
 CONGRESS STREET 30' R/W

LOT AND TREE SURVEY OF A LOT

Porches Front and Back



1,738
Heated S.F.



3
Beds



3
Baths



2
Floors

Buy This Plan	1 Set \$600	5 Sets \$700	8 Sets \$800
	Reproducible Set \$1,000	PDF - single-use \$1,000	View all purchase option online

View this and more for this plan by visiting
www.architecturaldesigns.com/32422WP

Need Help?
800-854-7852

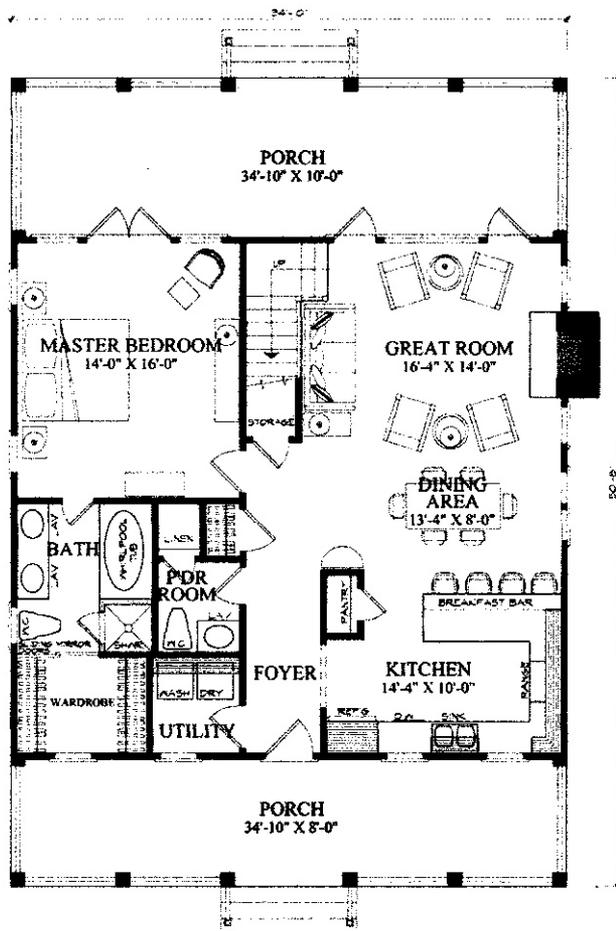
Plan
32422W

About This Plan

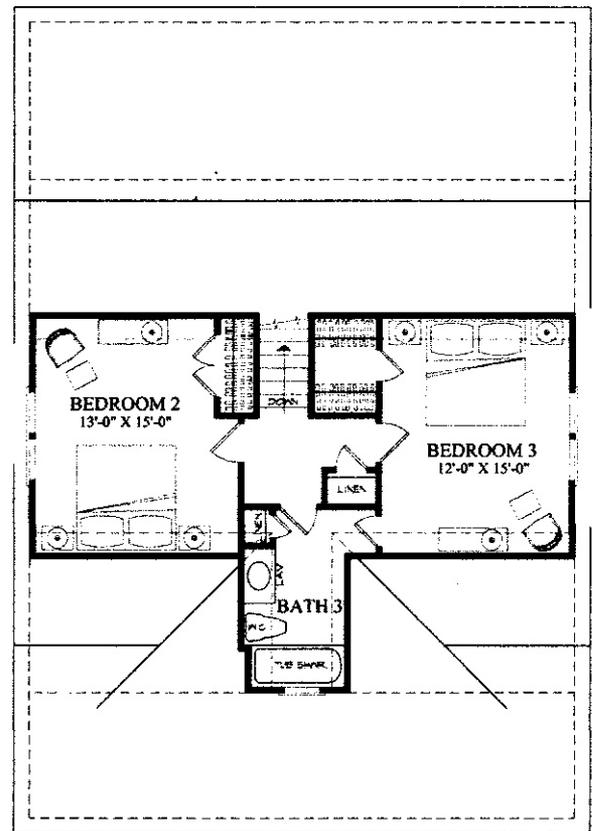
- Large porches front and back make this Cottage home plan ideal for relaxing outdoors.
- The main living area is one big room so the views flow effortlessly.
- Even the kitchen with its eating bar gets to enjoy the great room fireplace.
- A first floor master suite saves steps at the end of a long day with no stairs to climb.
- Two bedrooms on the second floor share a hall bath.
- **Related Plan:** Get an attached 2-car garage with house plan **32565WP** (<https://www.architecturaldesigns.com/house-plans/cottage-with-porches-front-and-back-32565wp>).

Floor Plans

Main Level



2nd Floor



View this and more for this plan by visiting
www.architecturaldesigns.com/32422WP

Need Help?
800-854-7852

Plan
32422W

Plan Details

Square Footage Breakdown

Total Heated Area:
1,738 sq. ft.

1st Floor:
1,138 sq. ft.

2nd Floor:
600 sq. ft.

Porch, Rear:
341 sq. ft.

Porch, Front:
278 sq. ft.

Beds/Baths

Bedrooms:
3

Full bathrooms:
2

Half bathrooms:
1

Foundation Type

Standard
Foundations:
Crawl

Exterior Walls

Standard Type(s):
2x4

Dimensions

Width:
34' 10"

Depth:
50' 8"

Max ridge height:
29' 0"

Ceiling Heights

Floor / Height:
First Floor / 10' 0"
Second Floor / 9' 0"

Roof

Framing Type:
Stick

View this and more for this plan by visiting
www.architecturaldesigns.com/32422WP

Need Help?
800-854-7852

Plan
32422W

Plan 1-118



600 sq/ft, 1 beds, 1 baths, 30' wide, 20' deep



106 CONGRESS
 WORKSHOP / ADU
 PRELIMINARY PROPOSAL

Pricing

Plan Set

PDF Set	\$715.00
5 Copy Set	\$825.00
Reproducible Set	\$935.00
CAD Set	\$1430.00
Single Set	\$605.00

Foundation

Slab	+\$0.00
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Right-Reading Reverse

Each	+\$150.00
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Additional Construction Sets

Each Additional Set	+\$50.00/each
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Additional Use License

Each	\$325.00
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Audio Video Design

Each	\$100.00
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Construction Guide

Each	\$39.00
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Lighting Design

Each	\$100.00
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Mirror Reversed Sets

Each Additional Set	+\$0.00
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Unlimited Use License

Each \$650.00

House Features

Walk In Closet

Economical To Build

Styles Classifications

Cottage House Plans

Traditional House Plans

Specifications

Main Floor 600 sq/ft

Depth 20'

Height 14'

Width 30'

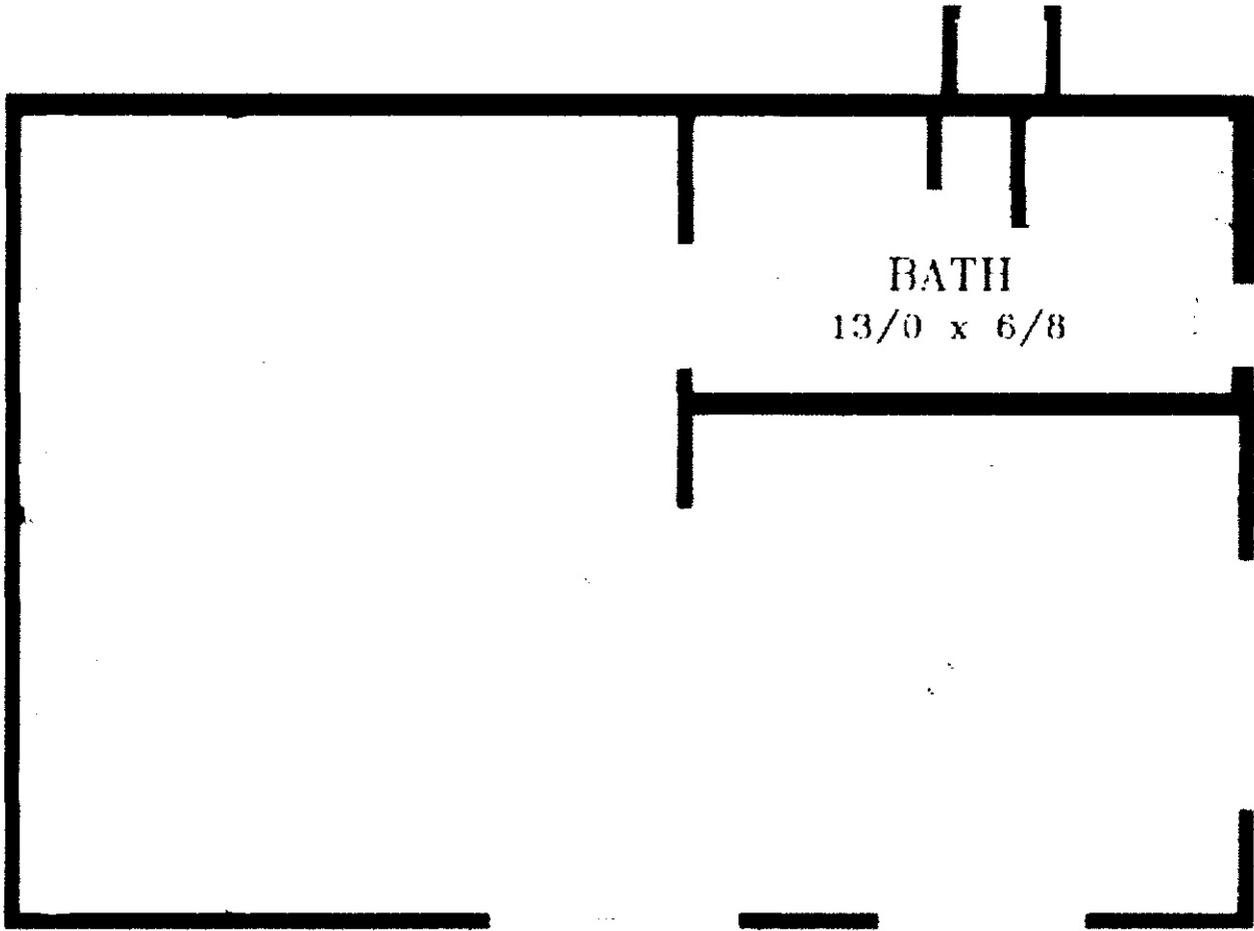
Primary Pitch 5:12

Main Ceiling 8'

Floor Plan - Main Floor Plan

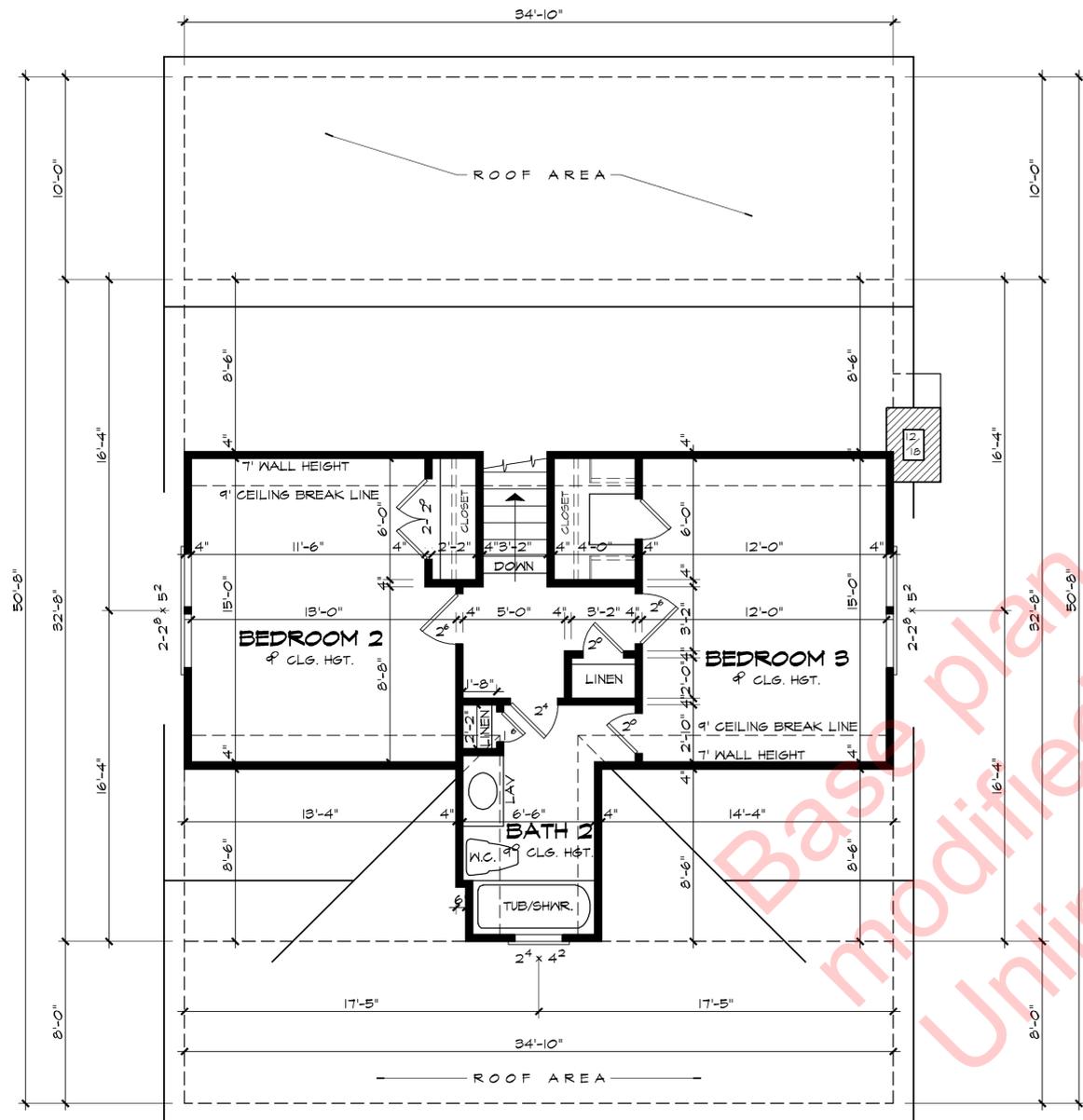
30'-0"

20'-0"



ENTRY

**106 CONGRESS
WORKSHOP / ADU**

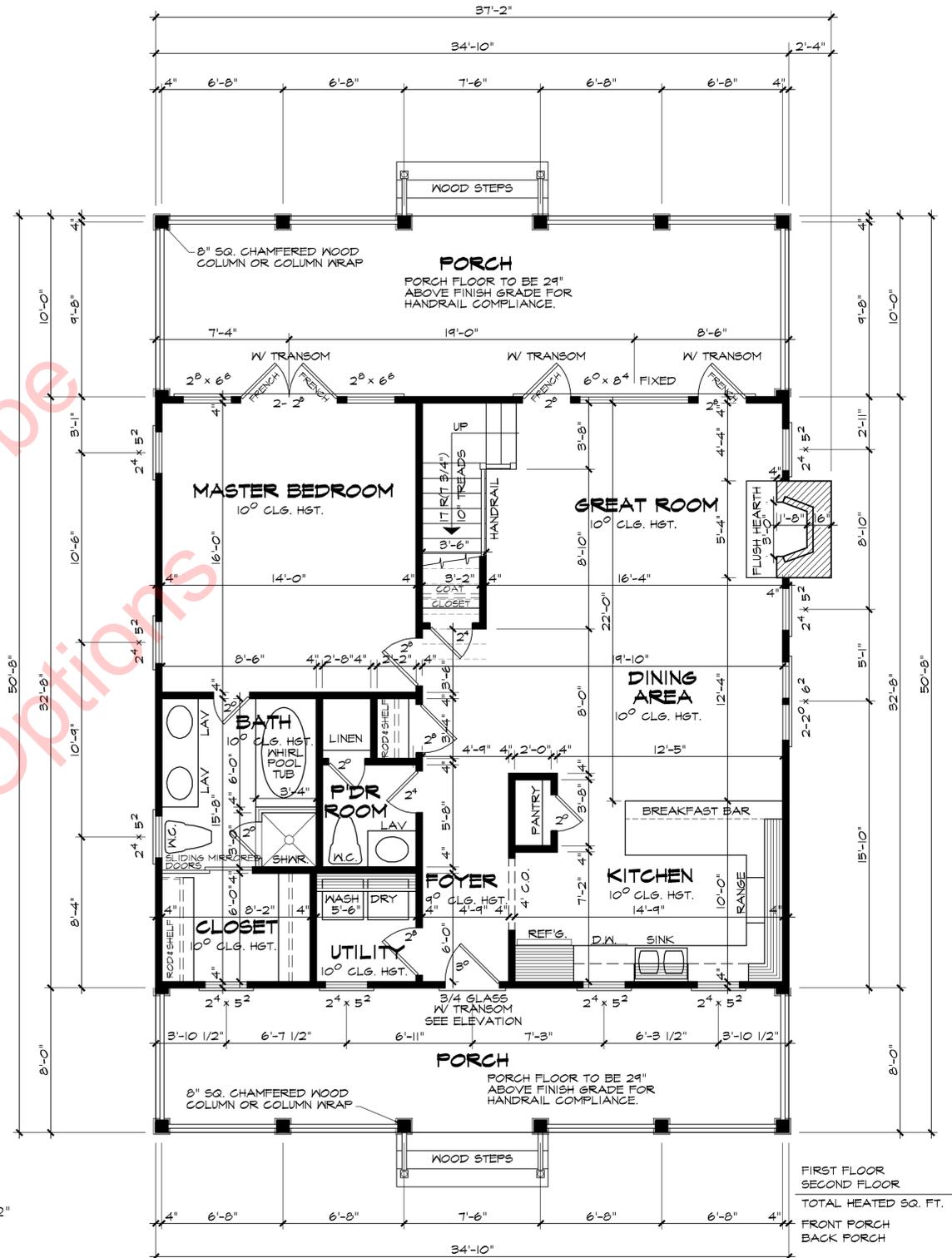


SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. ALL HEADERS ARE TO BE (2) 2X10'S W/ 1/2" PLYWOOD SPACER, UNLESS OTHERWISE NOTED. FINAL ENGINEERING BY LOCAL LICENSED ENGINEER.
2. ALL WALLS ABOVE PARALLEL TO JOIST SYSTEM TO HAVE DOUBLE JOIST (DJ) BELOW.
3. ALL BEAMS LABELED & OF BEAM MAY BE SUBSTITUTED W/ EITHER ANGLAM, POWERLAM, OR MICROLAM UPON BEING RE-ENGINEERED.
4. ALL BEAMS MUST HAVE SOLID BEARING TO FOUNDATION.



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

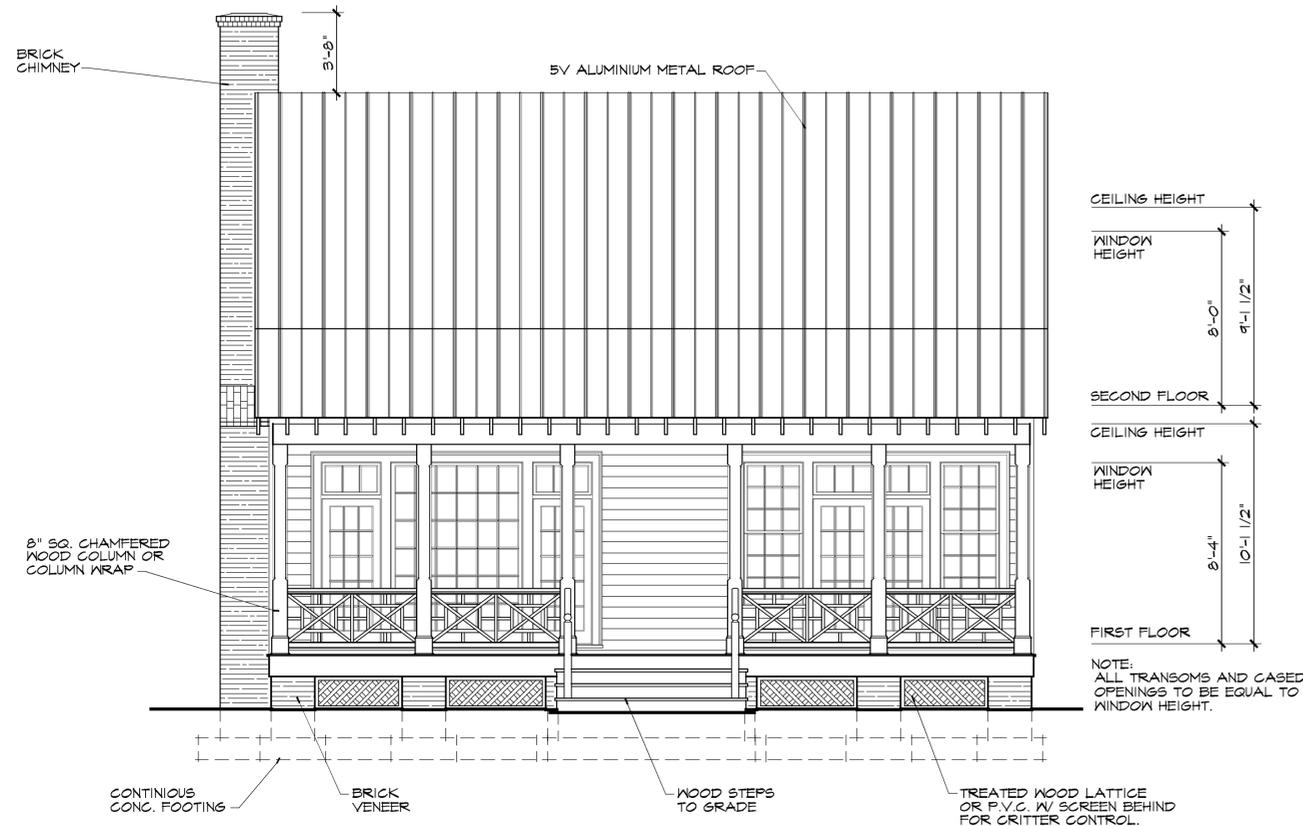
FIRST FLOOR	1138 SQ. FT.
SECOND FLOOR	600 SQ. FT.
TOTAL HEATED SQ. FT.	1738 SQ. FT.
FRONT PORCH	279 SQ. FT.
BACK PORCH	349 SQ. FT.

© COPYRIGHT 2009 BY WILLIAM E. POOLE DESIGNS, INC. ALL RIGHTS RESERVED. THESE PLANS MAY NOT BE REPRODUCED, MODIFIED, OR USED TO CONSTRUCT MORE THAN ONE HOME WITHOUT PERMISSION OF WILLIAM E. POOLE DESIGNS, INC. DERIVATIVE WORKS OF THESE PLANS ARE PROHIBITED.

1. PURCHASER IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES.
2. WILLIAM E. POOLE DESIGNS, INC. MAY NOT BE HELD RESPONSIBLE FOR SITE CONDITIONS, OR FOR THE USE OF THESE DRAWINGS DURING CONSTRUCTION.
3. EXACT SIZE AND REINFORCEMENT OF ALL CONCRETE FOOTINGS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTANCE PRACTICES OF CONSTRUCTION. VERIFY BEFORE WITH LOCAL ENGINEER.
4. BOTTOM OF ALL FOOTINGS SHALL EXTEND BELOW FROST LINE - VERIFY DEPTH.
5. PRIOR TO PROCEEDING WITH CONSTRUCTION, BUILDER IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF WILLIAM E. POOLE DESIGNS, INC.
6. PURCHASER IS RESPONSIBLE FOR HAVING PLANS REVIEWED BY A QUALIFIED BUILDING CONTRACTOR.
7. VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND BUILDING OFFICIAL. STRUCTURAL SIZES FOR FRAMING, FOUNDATION, RETAINING WALLS, ETC. ARE TO BE USED AS A GUIDE ONLY.

WILLIAM E. POOLE DESIGNS, INC.
 HISTORIC WILMINGTON, NC 910-251-8980
RASPBERRY COTTAGE

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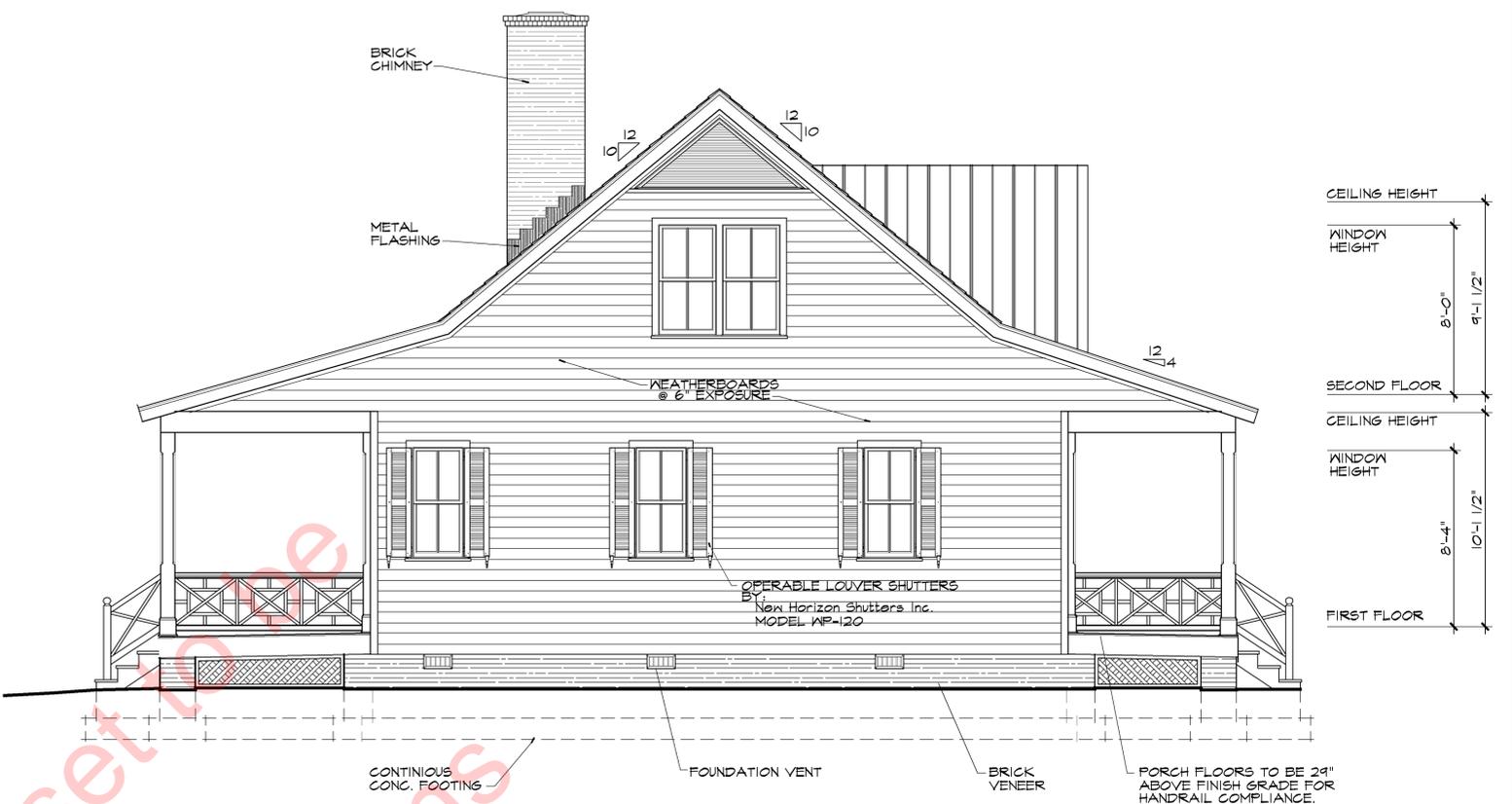


CEILING HEIGHT
WINDOW HEIGHT
8'-0" 9'-1 1/2"

SECOND FLOOR
CEILING HEIGHT
WINDOW HEIGHT
8'-4" 10'-1 1/2"

FIRST FLOOR

NOTE:
ALL TRANSOMS AND CASED OPENINGS TO BE EQUAL TO WINDOW HEIGHT.

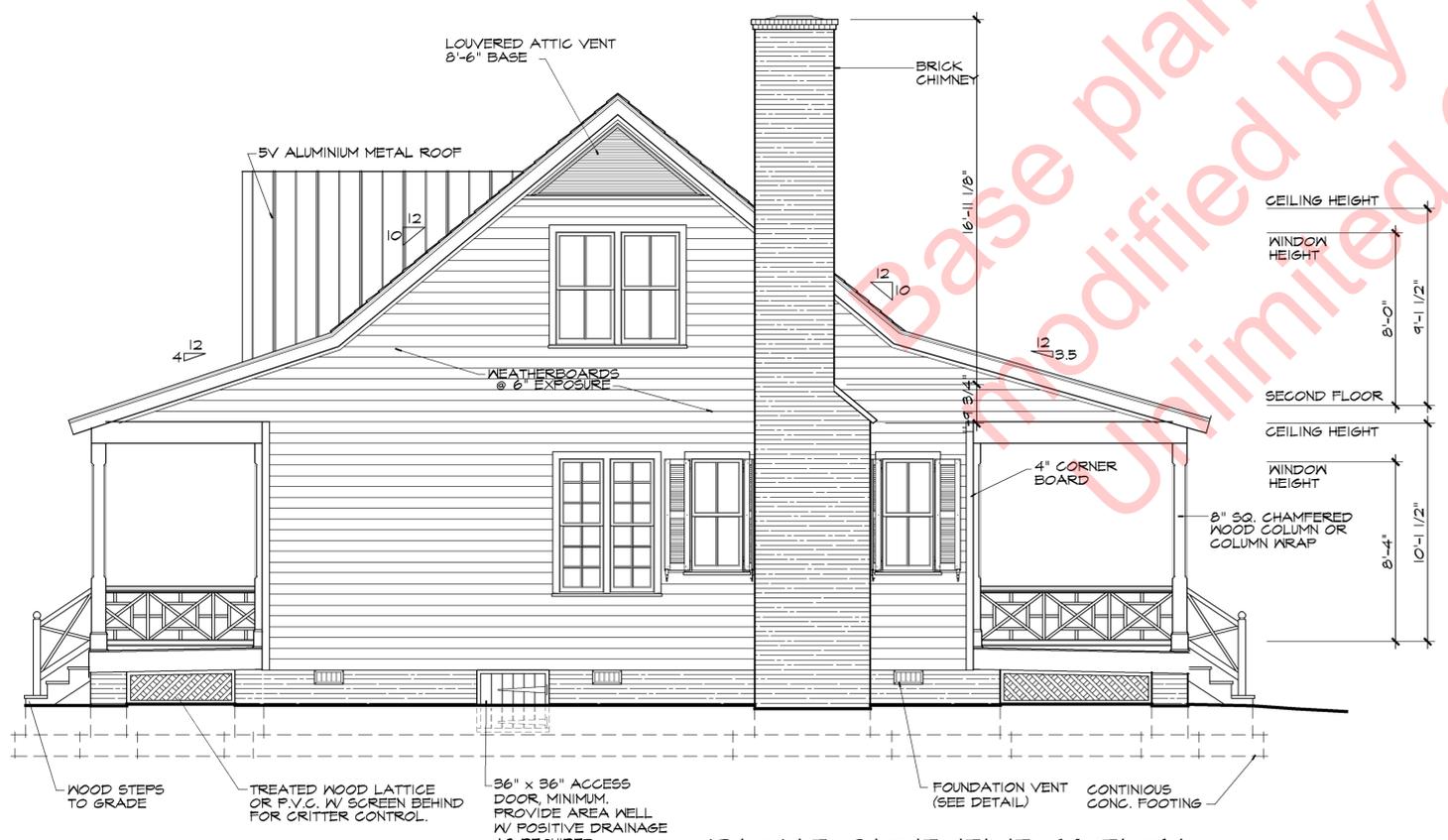


CEILING HEIGHT
WINDOW HEIGHT
8'-0" 9'-1 1/2"

SECOND FLOOR
CEILING HEIGHT
WINDOW HEIGHT
8'-4" 10'-1 1/2"

FIRST FLOOR

LEFT SIDE ELEVATION
SCALE : 1/4"=1'-0"



CEILING HEIGHT
WINDOW HEIGHT
8'-0" 9'-1 1/2"

SECOND FLOOR
CEILING HEIGHT
WINDOW HEIGHT
8'-4" 10'-1 1/2"

RIGHT SIDE ELEVATION
SCALE : 1/4"=1'-0"



CEILING HEIGHT
WINDOW HEIGHT
8'-0" 9'-1 1/2"

SECOND FLOOR
CEILING HEIGHT
WINDOW HEIGHT
8'-4" 10'-1 1/2"

FIRST FLOOR

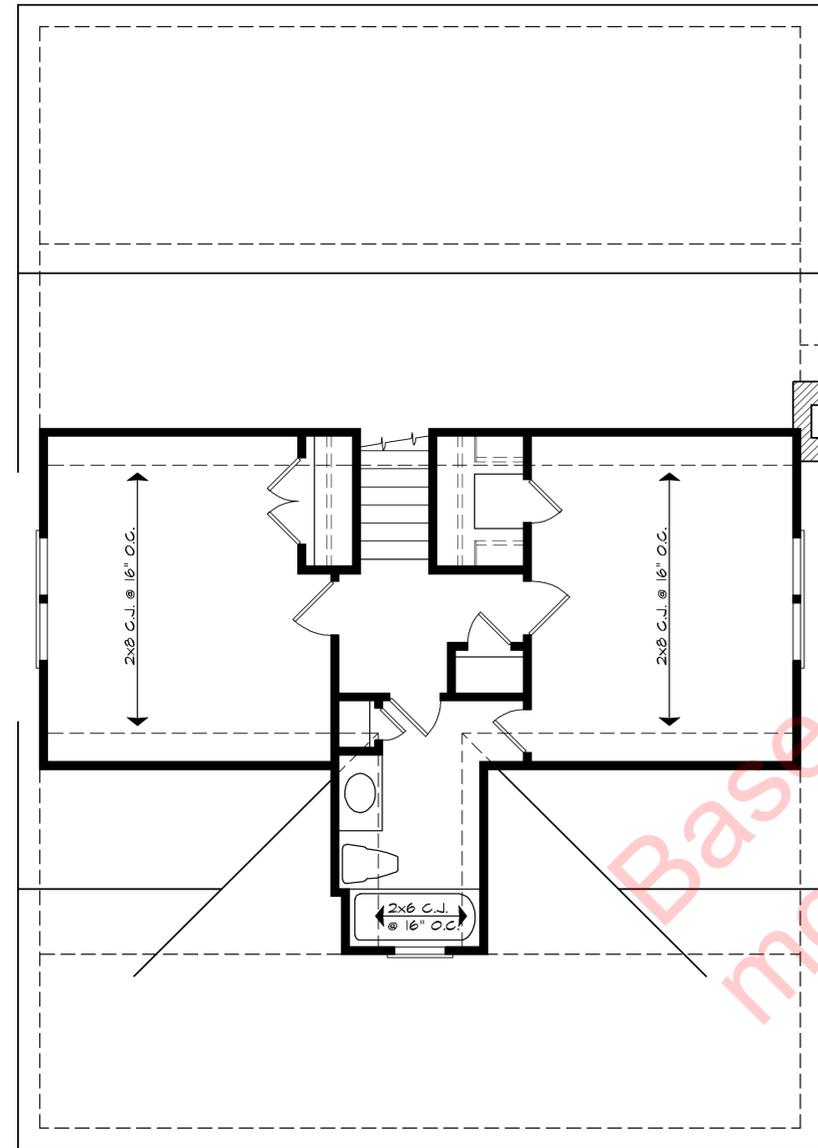
FRONT ELEVATION
SCALE : 1/4"=1'-0"

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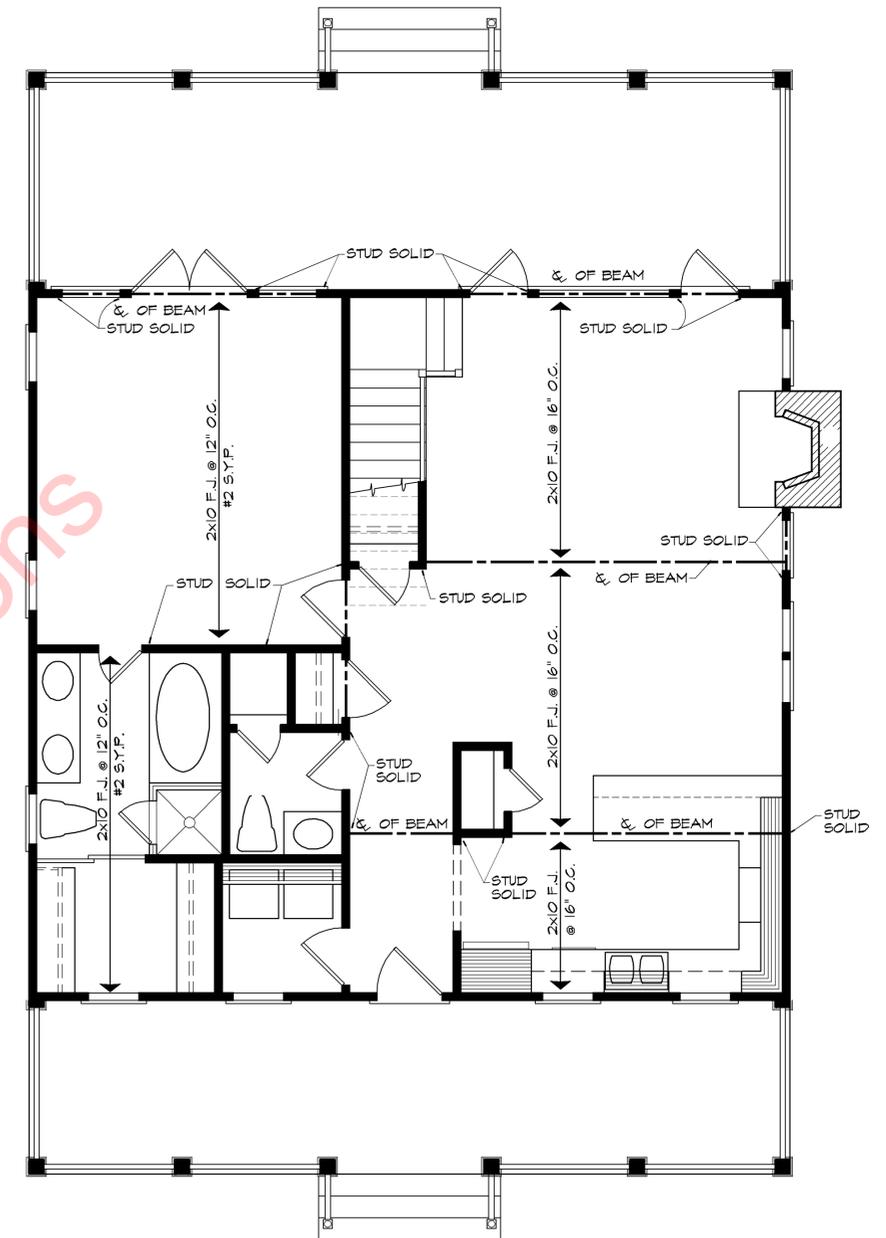
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RASPBERRY COTTAGE

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SECOND FLOOR STRUCTURAL PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR STRUCTURAL PLAN

SCALE: 1/4"=1'-0"

Base plan set to be modified by Unlimited Options

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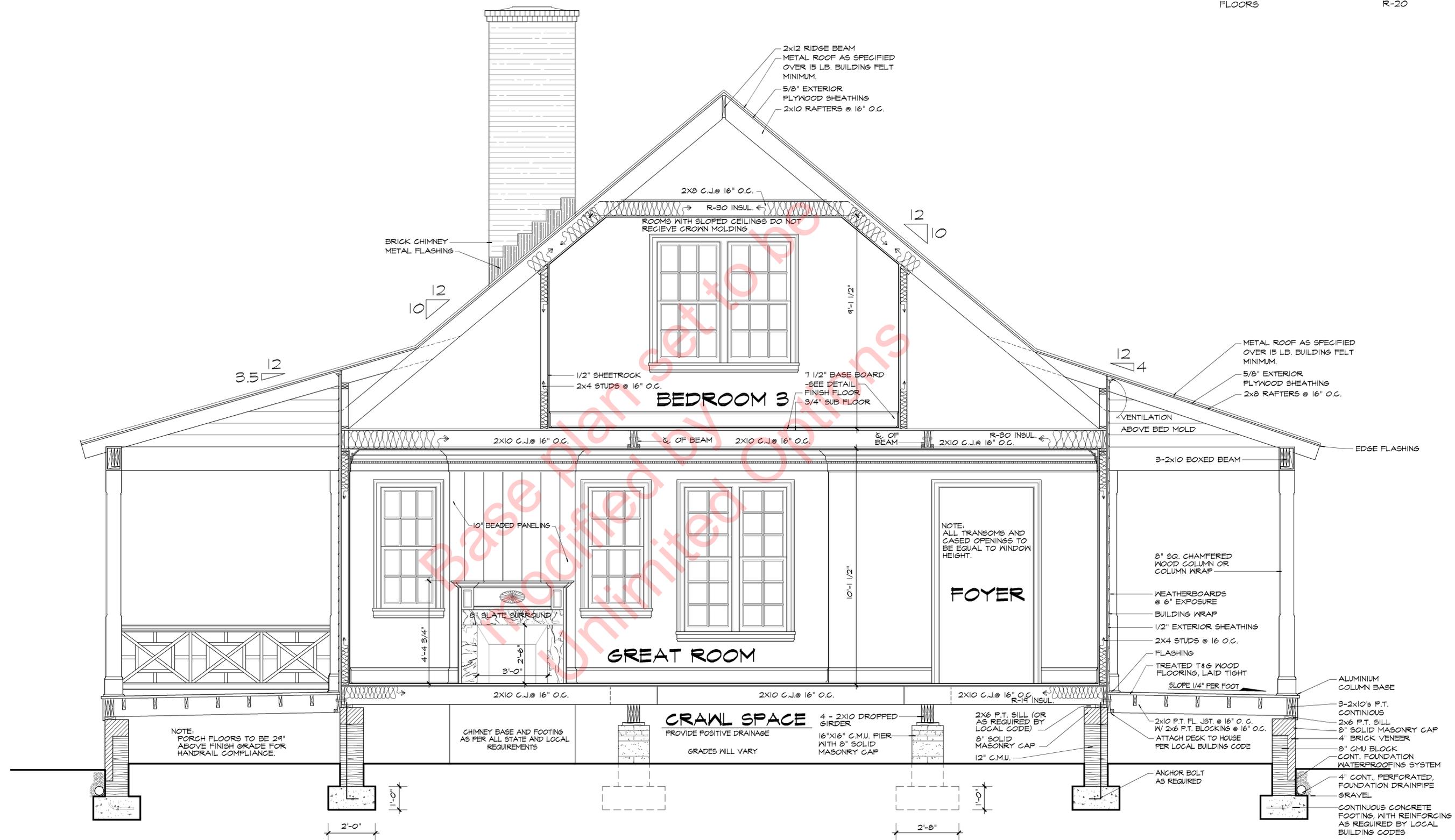
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MINIMUM TOTAL R-VALUES:	
CATHEDRAL CEILING	R-23
CEILING	R-31
WALLS	R-16
FLOORS	R-20



BUILDING SECTION
SCALE: 1/2"=1'-0"

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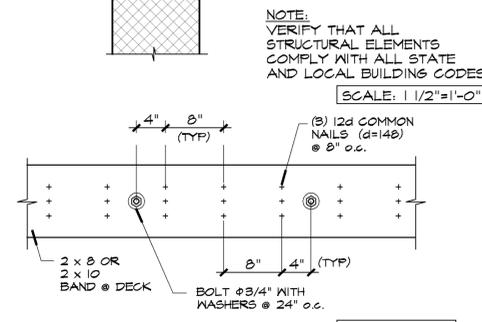
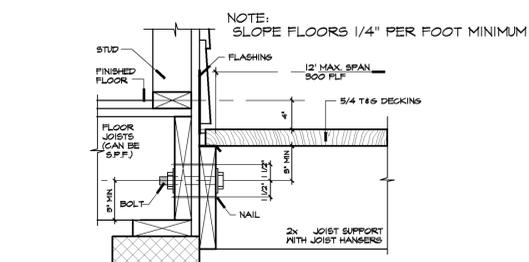
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CS-114

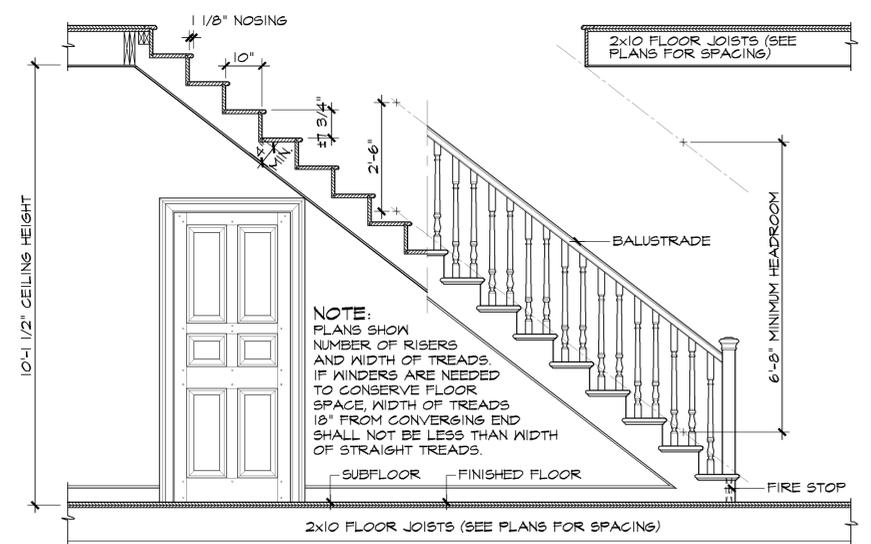
MINIMUM TOTAL R-VALUES:

CATHEDRAL CEILING	R-23
CEILING	R-31
WALLS	R-16
FLOORS	R-20



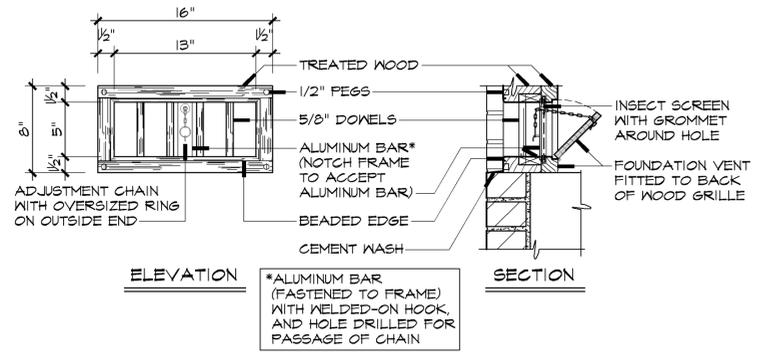
DECK SUPPORT DETAIL @ SIDING

12' SPAN



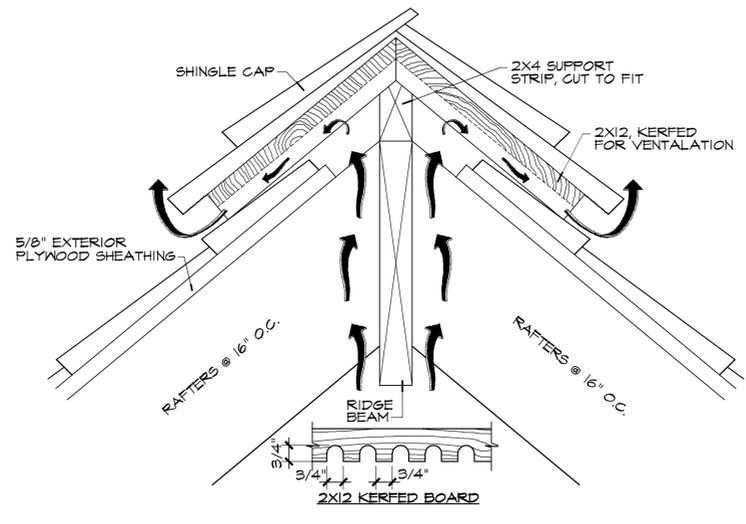
GENERAL STAIR DETAIL

(ACTUAL CONFIGURATION OF HANDRAILS, BALUSTERS, NEWELS, VOLLUTES, ETC. IN THESE PLANS MAY VARY.) SCALE: 1/2"=1'-0"



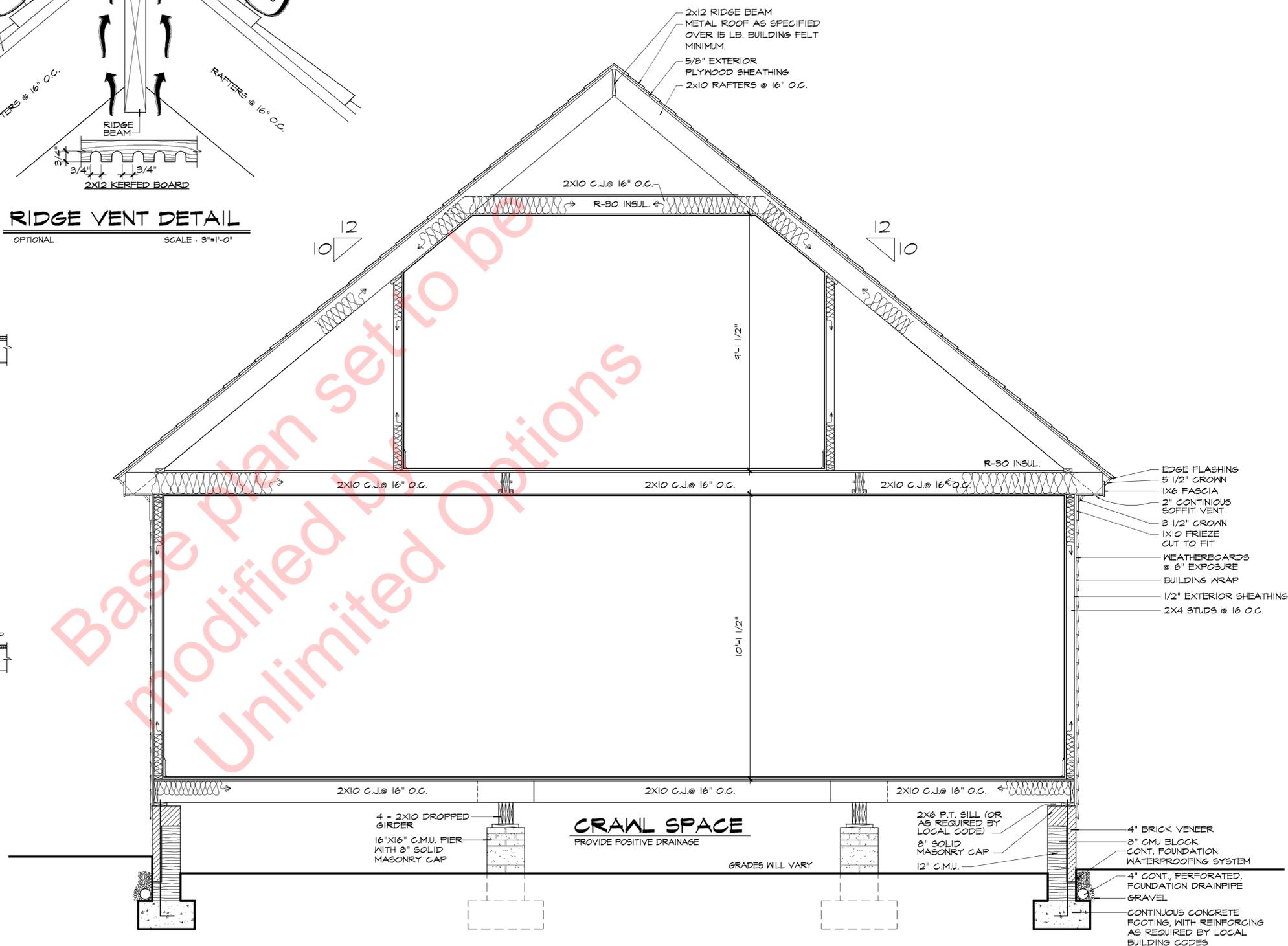
FOUNDATION VENT DETAIL

SCALE: 1/2"=1'-0"



RIDGE VENT DETAIL

OPTIONAL SCALE: 3/8"=1'-0"



CRAWL SPACE

BUILDING SECTION

SCALE: 1/2"=1'-0"

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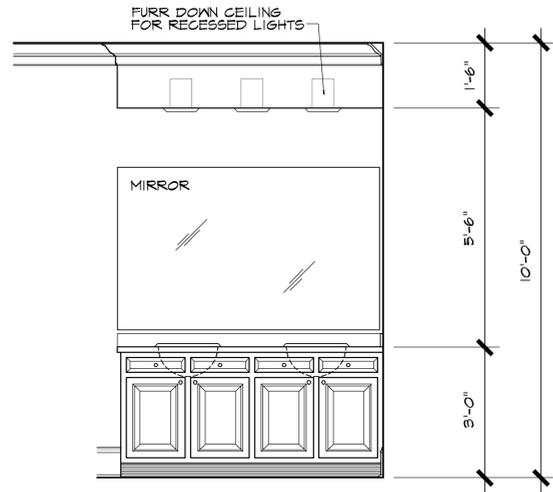
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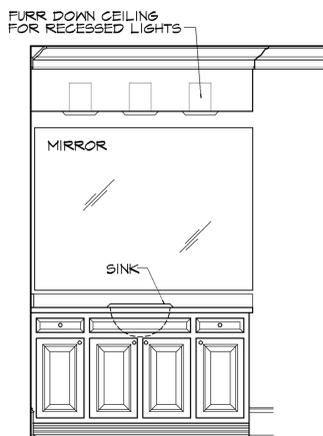
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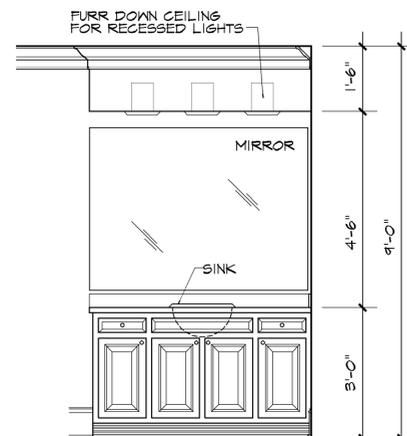
P'DR. RM.
SCALE: 1/2" = 1' - 0"



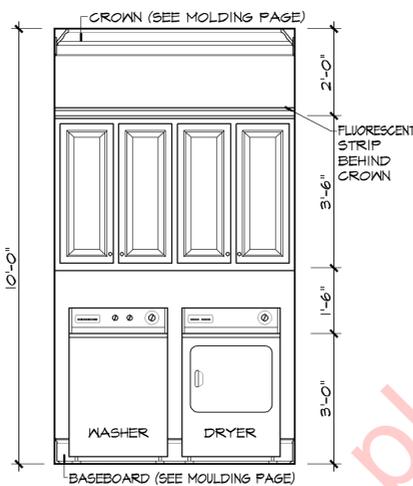
MASTER BATH
SCALE: 1/2" = 1' - 0"



BATH 3
SCALE: 1/2" = 1' - 0"

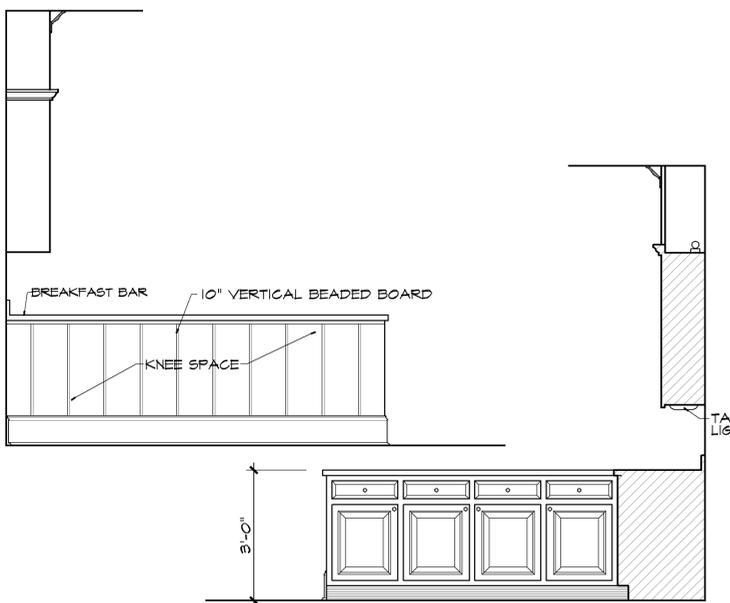


BATH 2
SCALE: 1/2" = 1' - 0"



UTILITY ROOM
SCALE: 1/2" = 1' - 0"

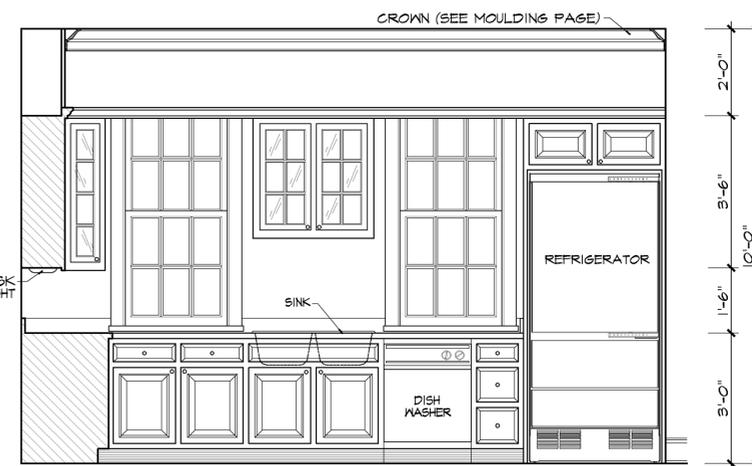
KITCHEN CABINET ELEVATIONS
SCALE: 1/2" = 1' - 0"



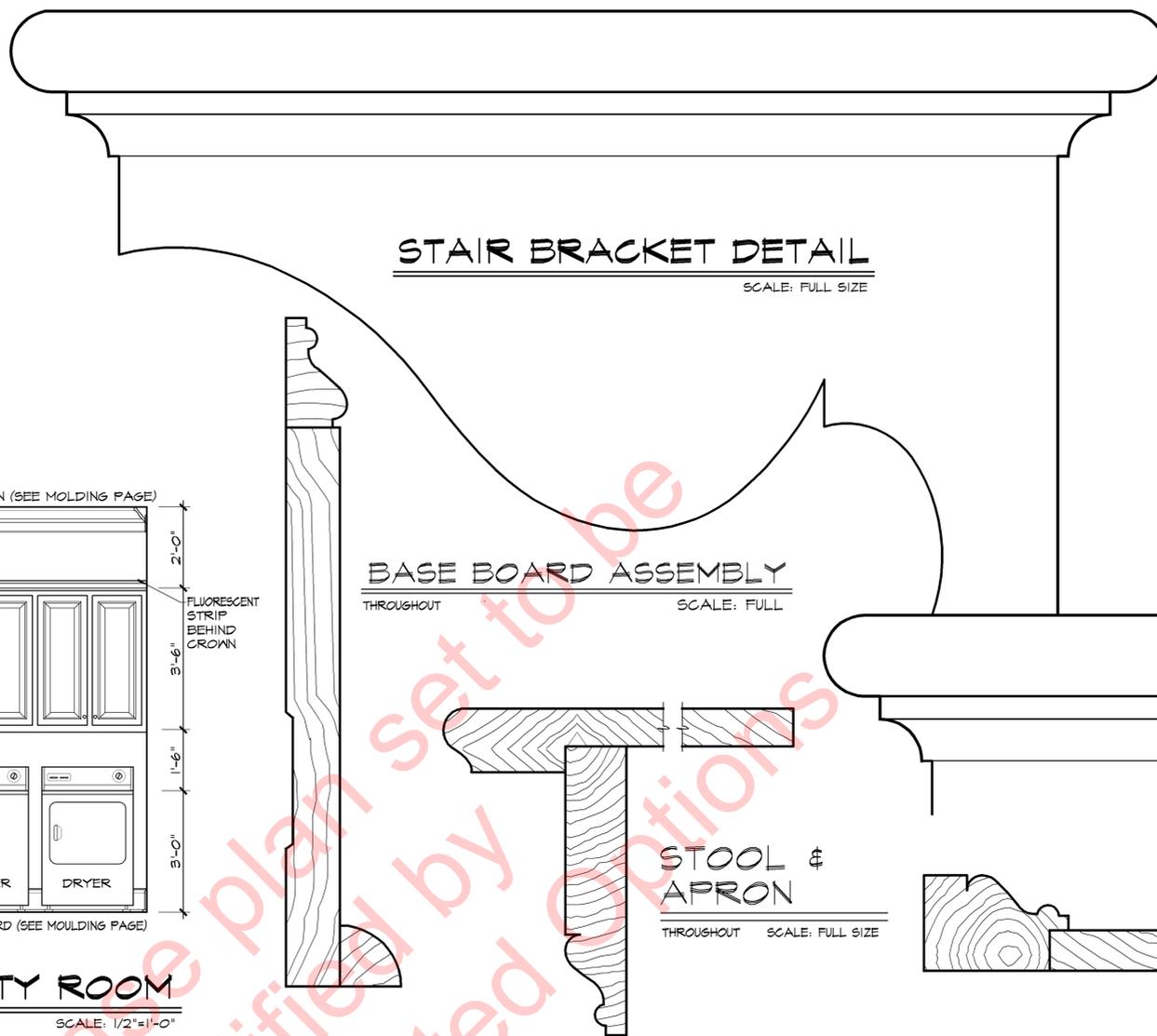
KITCHEN ELEVATION @ BREAKFAST BAR



KITCHEN ELEVATION @ RANGE



KITCHEN ELEVATION @ SINK



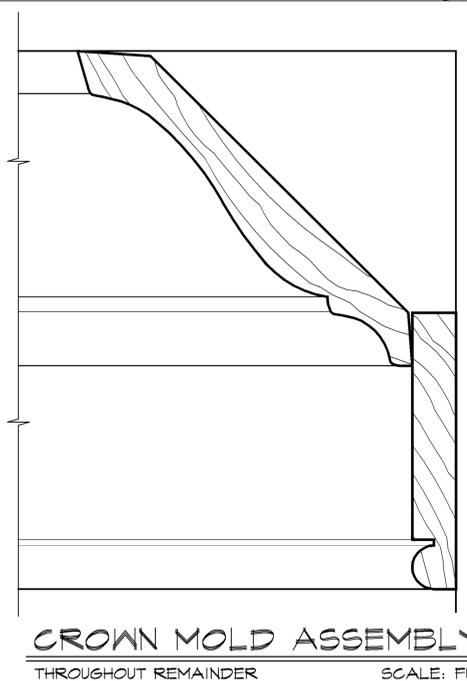
STAIR BRACKET DETAIL
SCALE: FULL SIZE

BASE BOARD ASSEMBLY
THROUGHOUT SCALE: FULL

STOOL & APRON
THROUGHOUT SCALE: FULL SIZE

CASING
THROUGHOUT SCALE: FULL

CROWN MOLD ASSEMBLY
SCALE: FULL
FOYER, FAMILY ROOM, DINING AREA,
KITCHEN, MASTER BEDROOM AND BATH



CROWN MOLD ASSEMBLY
THROUGHOUT REMAINDER SCALE: FULL

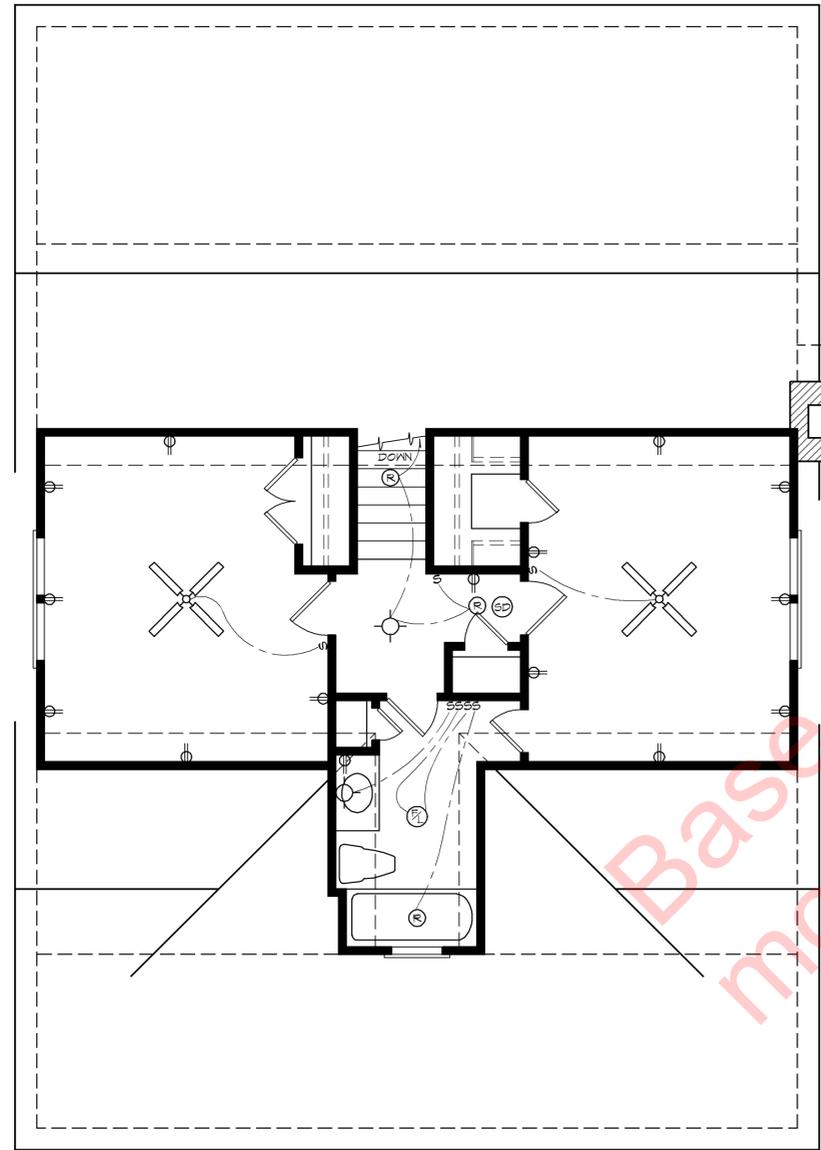
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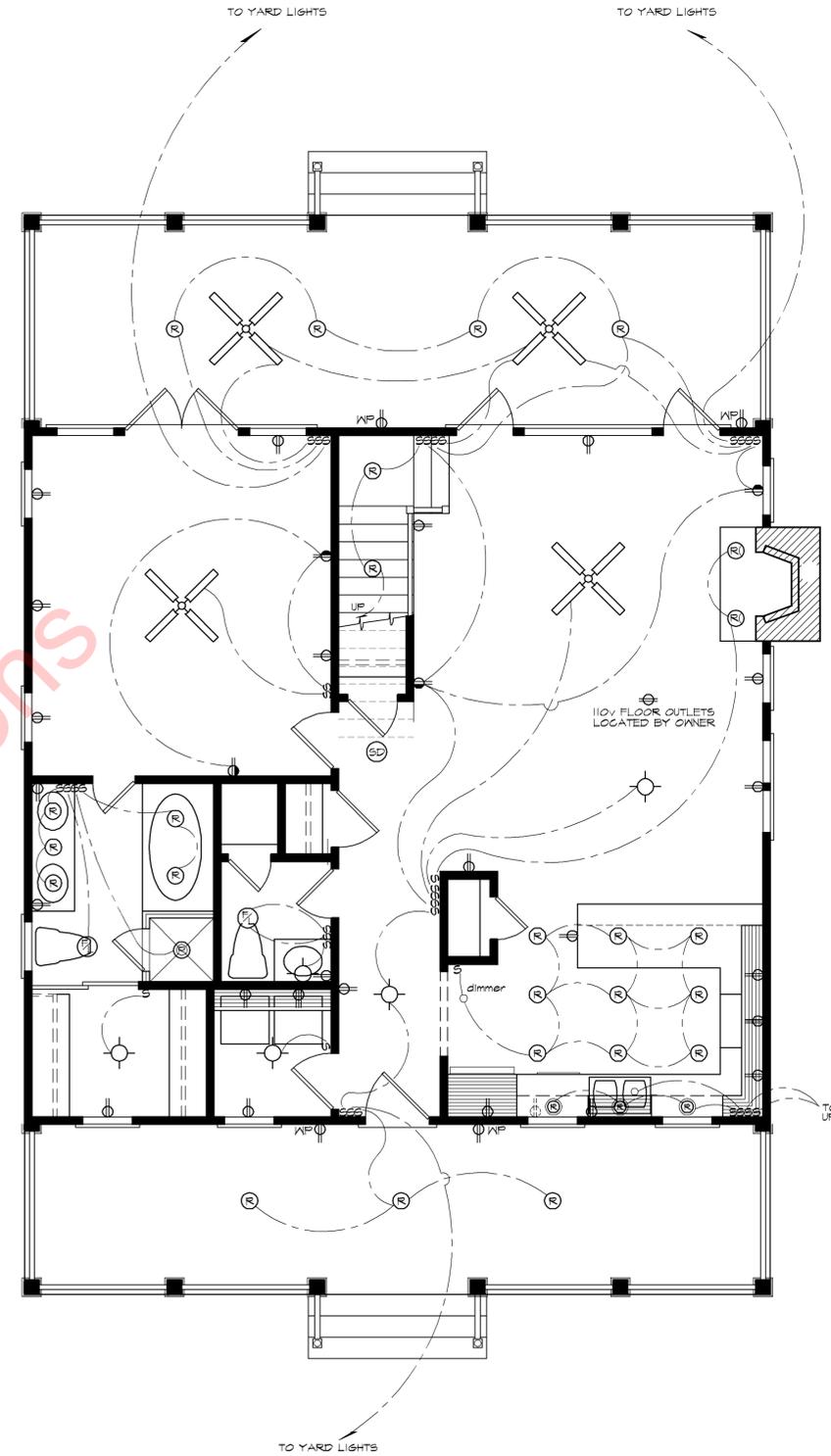


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SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

Base plan set to be modified by Unlimited Options

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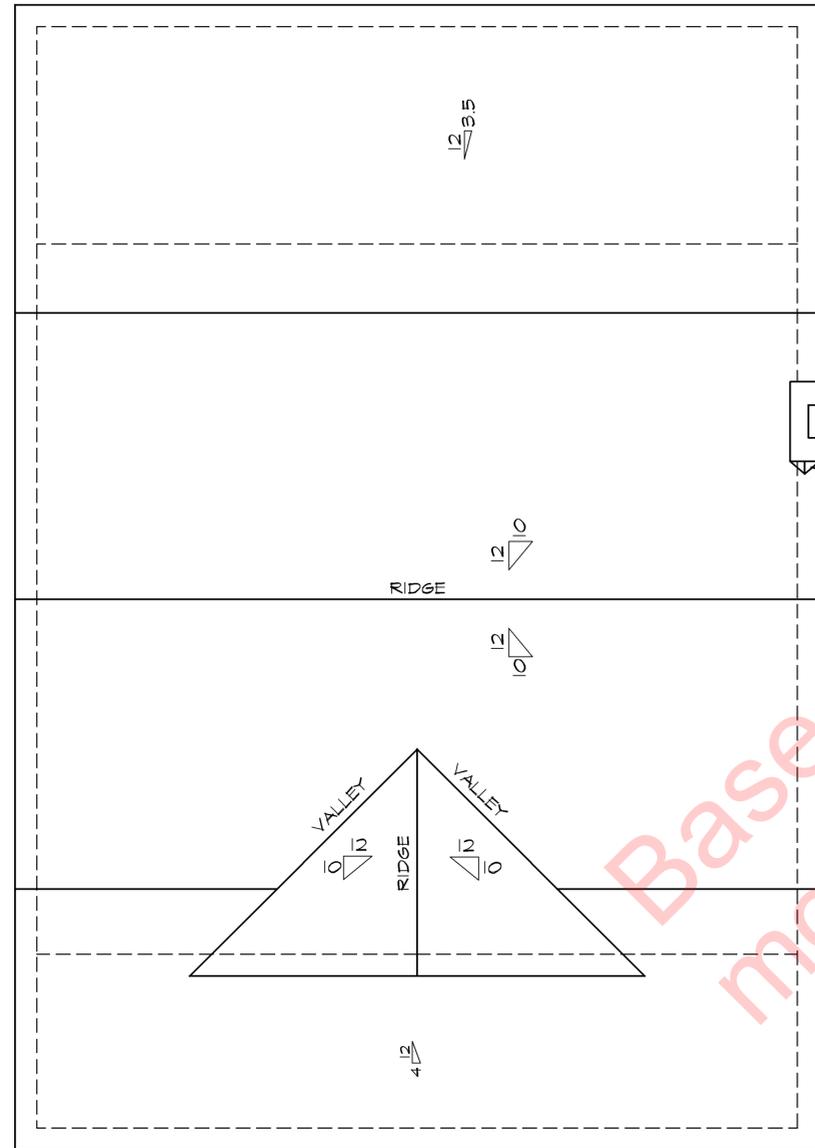
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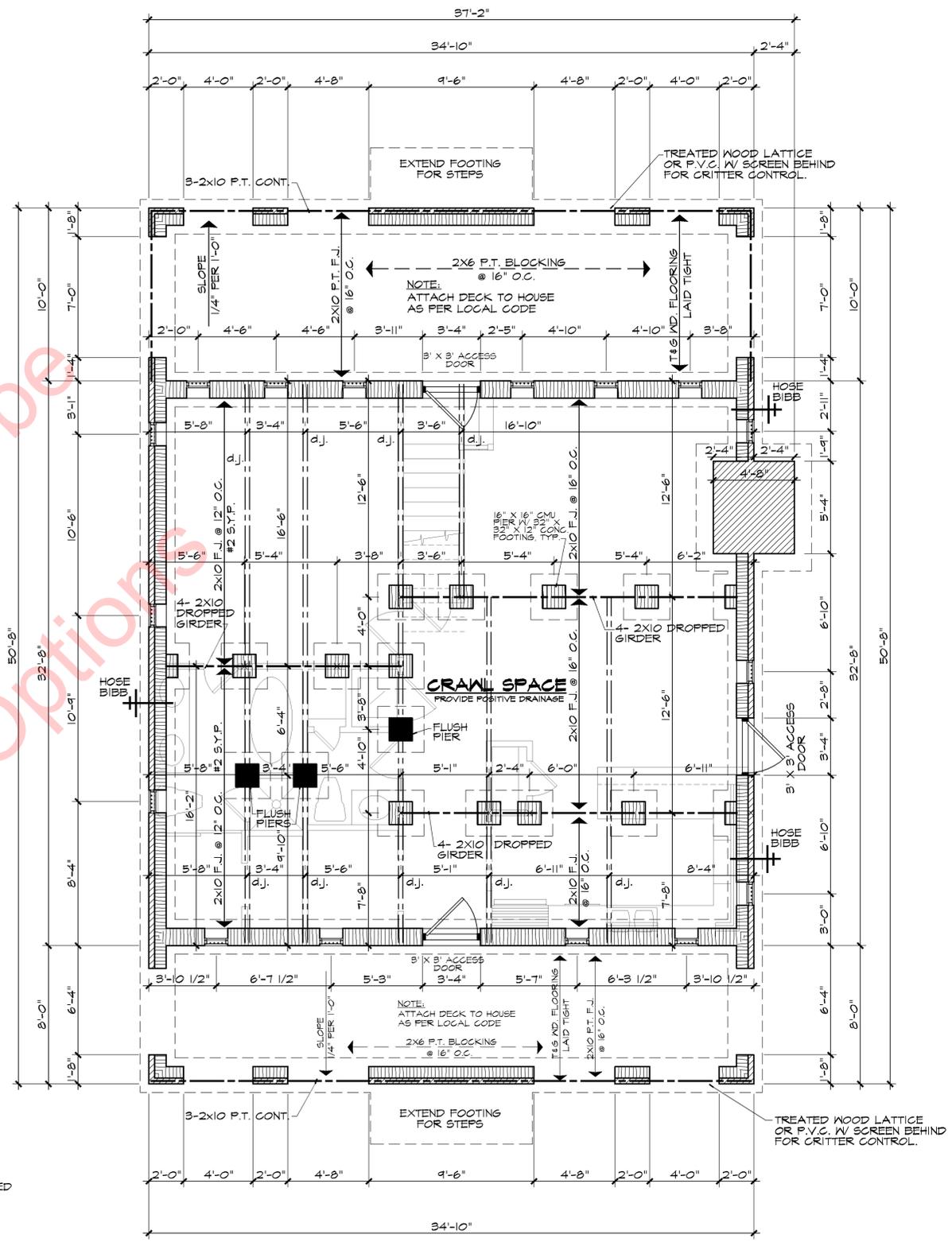
BRICK CHIMNEY
CRICKET

ATTIC VENTILATION
 APPROX. 1766 SQ. FT. OF ATTIC SPACE
 $\frac{1766}{150} = 11.77$ SQ. FT. OF VENT REQUIRED
 64.66 L.F. CONT. SOFFIT VENT @ 0.063/L.F. = 4.30 S.F.
 10.416 L.F. CONT. RIDGE VENT @ 0.125/L.F. = 1.30 S.F.
 1-LOUVER 8'-6" BASE x 3.25 HEIGHT = $\frac{19.53}{2} = 9.76$ S.F.
 1-LOUVER 8'-6" BASE x 3.25 HEIGHT = $\frac{19.53}{2} = 9.76$ S.F.
 TOTAL VENTILATION PROVIDED = 19.2 S.F.

ROOF PLAN
 SCALE: 1/4"=1'-0"

- GENERAL NOTES:**
1. ALL GIRDERS AND FLOOR JOISTS TO BE #2 S.Y.P.
 2. ALL WALLS ABOVE, PARALLEL TO JOIST SYSTEM, TO HAVE DOUBLE JOISTS (d.j.) BELOW, UNLESS DESIGNATED TO HAVE TRIPLE JOISTS (t.j.).
 3. WATERPROOF FOUNDATION WALLS AND PROVIDE 4" DRAIN & GRAVEL AT PERIMETER.
 4. LARGER FOOTINGS FOR CONCENTRATED LOADS FROM ABOVE (SEE FOUNDATION PLAN FOR LOCATION(S) - VERIFY DIMENSIONS AND REINFORCING REQUIREMENTS WITH LOCAL, LICENSED ENGINEER.
 5. CHIMNEY FOOTINGS SHALL EXTEND 12" BEYOND ALL MASONRY & BE 12" THICK.

CRAWL SPACE VENTILATION
 1138 SQ. FT. OF CRAWL SPACE
 $\frac{1138}{300} = 3.8$ SQ. FT. OF VENTILATION REQUIRED
 MIN. 75% OF CRAWL SPACE COVERED WITH 6 MIL VAPOR BARRIER



FOUNDATION PLAN
 SCALE: 1/4"=1'-0"

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CONGRESS ST. STREET SCENE.

https://mail.google.com/mail/u/0/#inbox/1N64C0N1G2PFC527vovawhce=1



1/2/2020

IMG_3888.jpg



108 CONGRESS ST.



111 CONGRESS ST.



103 CONGRESS ST.



102 CONGRESS ST.



106 CONGRESS ST.



**STAFF REPORT
BAR Meeting
April 23rd, 2020**

To: Town of Summerville BAR
From: Becca Zimmerman, Planner II
Date: 4/13/20

GENERAL INFORMATION

Property Applicant: G Tupper III Construction, Inc.

Owner: Thomas Hart

Requested Action: Final Approval

Existing Zoning/Land Use: GR-2, Residential

Location: 210 S. Gum Street

Building Rating: N/A

Proposed Alterations: New construction of carport attached to an existing detached garage

Guideline Citation: **5. Design Guidelines:** 5.9 Universal Guidelines Additions-
Guidelines 24-28

Evaluation: The proposed carport appears to meet Zoning requirements. A site plan showing the carport and other accessory structures on the property will need to be submitted prior to permit release. The carport plan is simple and appears to be cohesive with the primary structure to be built on the property.

HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "B" SURVEY AS SPECIFIED THEREIN, ALSO THERE ARE NO ENCROACHMENTS, PROJECTIONS OR SETBACKS AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN.

THIS LOT IS NOT LOCATED IN A FLOOD ZONE.

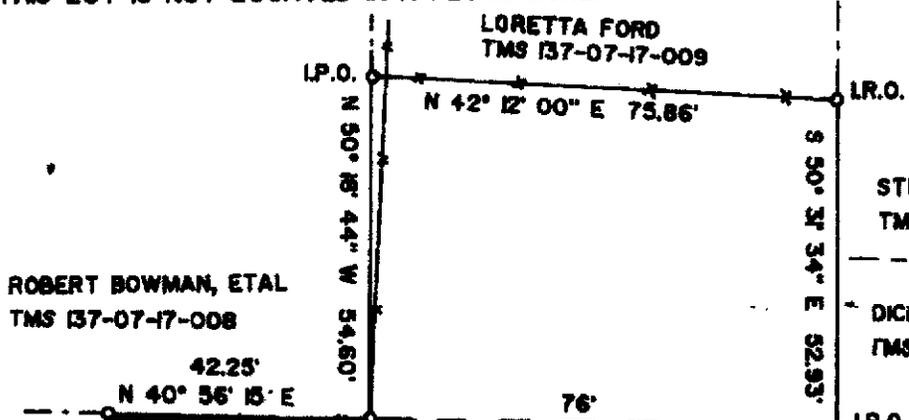
E 2ND S
LOT X

S. GUM ST.

RICHARDSON AVE.

NOT TO SCALE
Aug 28 9 37 AM '95
FILED-RECORDED
5-6

LIMEHOUSE SURVEY
WESNES CONVEYANCES
DORCHESTER COUNTY, SC



ROBERT BOWMAN, ETAL
TMS 137-07-17-008

STEPHEN & ELIZABETH
TMS 137-07-17-010

DICKET DINGLE, SR.
TMS 137-07-17-003

42.25'
N 40° 56' 15" E 76'

LR.S. F. POST AT CORNER
PLAT APPROVED
M.E. Blackwell
GERALD E. BLACKWELL
TOWN ENGINEER/ZONING OFFICER
TOWN OF SUMMERVILLE, SC
DATE 9-28-95
TMS 137-07-17-006

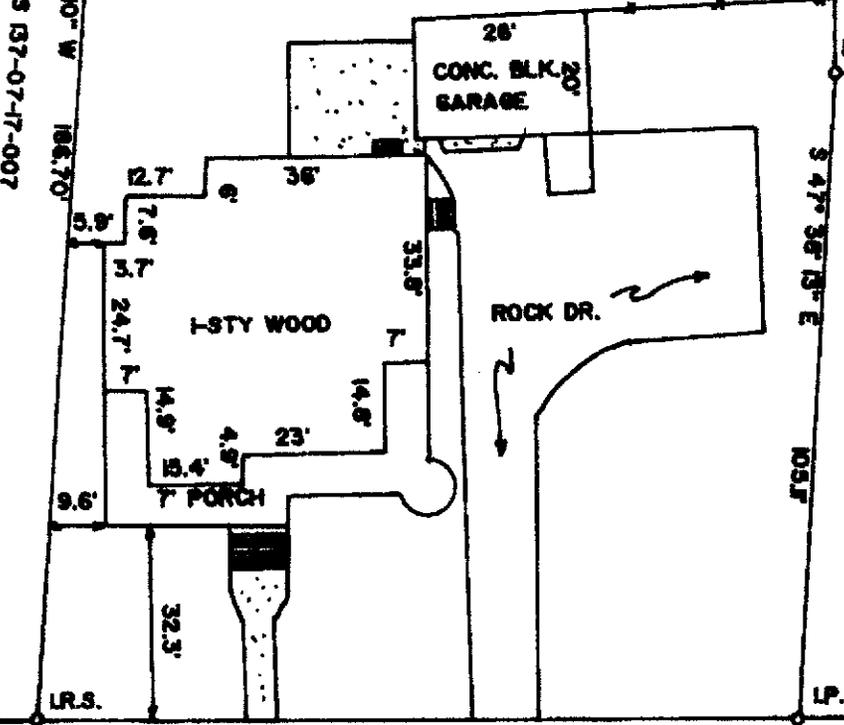
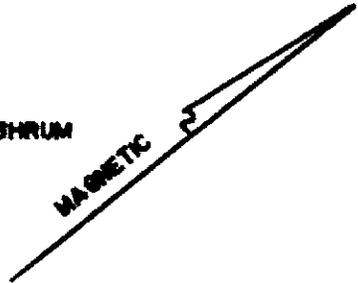
LEGEND
LP.O. 1" IRON PIPE OLD
LR.O. 1/2" IRON ROD OLD
LR.S. 1/2" IRON ROD SET

PLAT REFERENCE:
PLAT BOOK 23 PAGE 141
ALSO UNRECORDED PLAT BY T. R. DION,
P.E. & R.L.S. DATED 8-01-78 SURVEYED
FOR JOEL BENSE CONTAINING 0.097 AC.

MARIAM KURBAJUM TMS 137-07-17-007
N 47° 07' 10" W 186.70'

LP.O.
S 50° 28' 15" E 75.87'

SIDNEY & ELIZABETH SHRUM
TMS 137-07-17-005



CLOSING SURVEY OF A LOT CONTAINING
0.608 AC LOCATED AT 210 SOUTH GUM
STREET IN THE TOWN OF SUMMERVILLE
SURVEYED FOR WALTER E. LIMEHOUSE,
JR. AND CAPERS H. LIMEHOUSE

DORCHESTER COUNTY
AUGUST 24, 1995

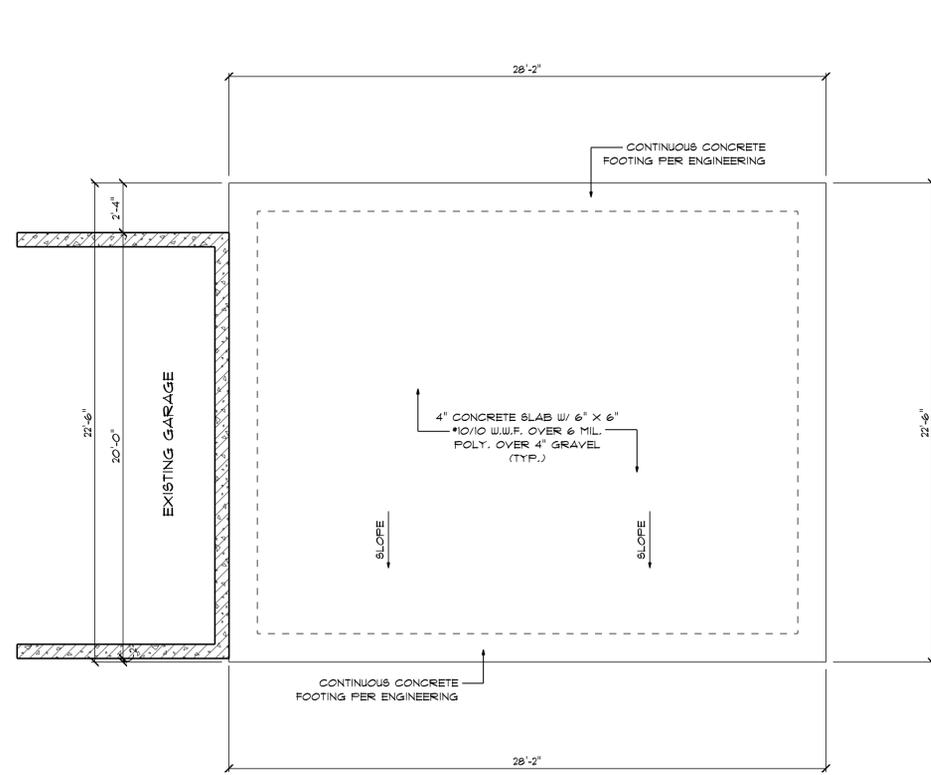
SOUTH CAROLINA
SCALE: 1" = 30'
0' 10' 20' 30'

S 38° 18' 47" W 124.00' TO RICHARDSON AVE.
SOUTH GUM STREET 100' R/W

Prudential Carolina Realty
7957 Dorchester Road
Charleston, SC 29418 H. Taylor Meeks

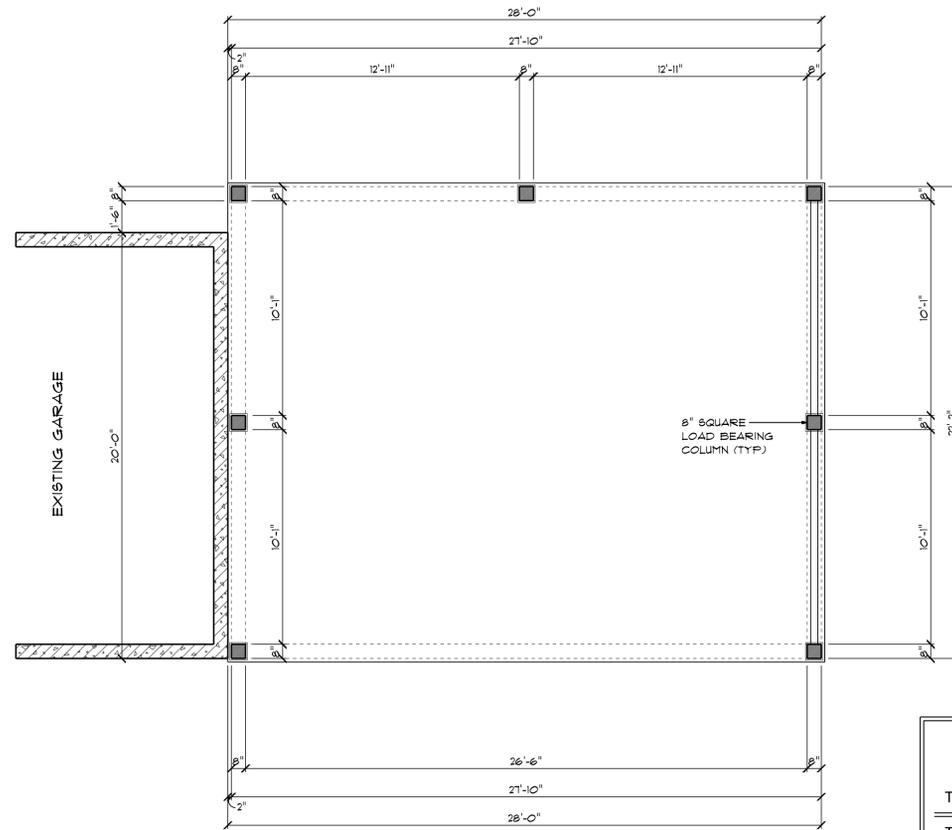
J. Hugh Canfield Jr.
R.L.S. NO. 7815

P. O. BOX 104
MONCK'S CORNER, S. C. 29461
PHONE: 899-2306 OR 761-8645
FAX 899-5460



CARPORT- MONO-SLAB FOUNDATION PLAN

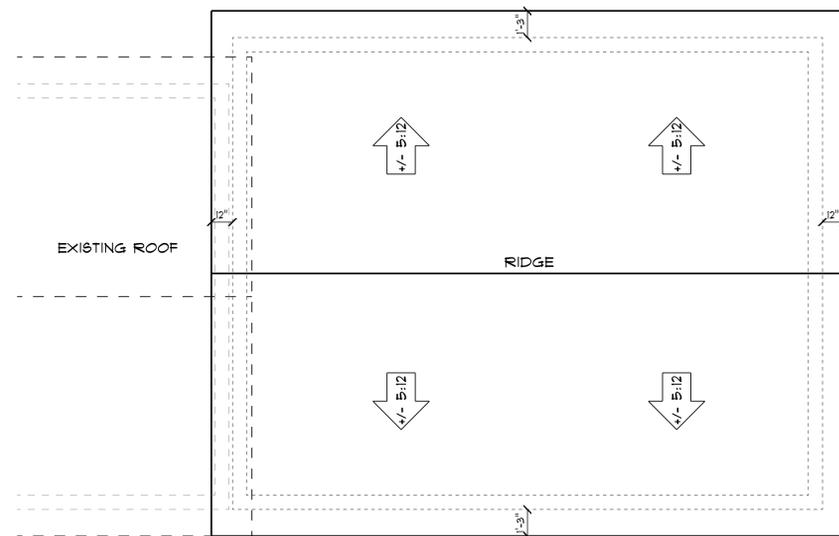
SCALE: 1/4" = 1'-0"



CARPORT- FLOOR PLAN

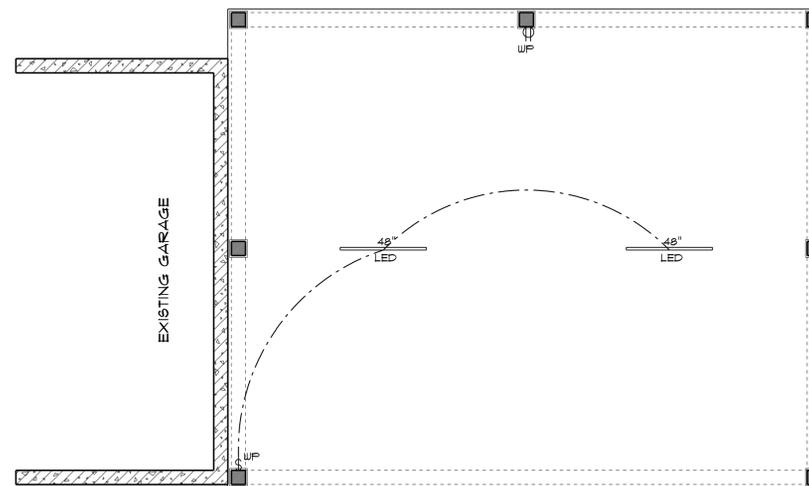
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	
Two Car Carport	617
Total Under Roof	617



CARPORT- ROOF PLAN

SCALE: 1/4" = 1'-0"



CARPORT- ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
	SINGLE POLE SWITCH (WEATHER- PROTECTED)
	110 VOLT DUPLEX OUTLET (WEATHER- PROTECTED)
	LED FIXTURE (SEE PLAN FOR SIZE)

ELECTRICIAN IS TO CHECK EXISTING CONDITIONS AND MAKE APPROPRIATE ADJUSTMENT FOR CURRENT CONDITIONS INVOLVING SWITCH AND OUTLET PLACEMENT, NEW CIRCUIT REQUIREMENTS, BUILDING CODE REQUIREMENTS

ROOF VENTILATION CALCULATIONS
TOTAL AREA UNDER ROOF = 617 SQUARE FEET (88848 SQUARE INCHES)
88848 / 150 = 593 TOTAL REQUIRED VENTILATION
593 / 2 = 297 TOTAL REQUIRED VENTILATION FOR SOFFIT
297 TOTAL REQUIRED VENTILATION FOR RIDGE
(BUILDER TO SEE MANUF. FOR NEED RIDGE VENT & SOFFIT VENT PER CALCULATIONS)

ENGINEER:

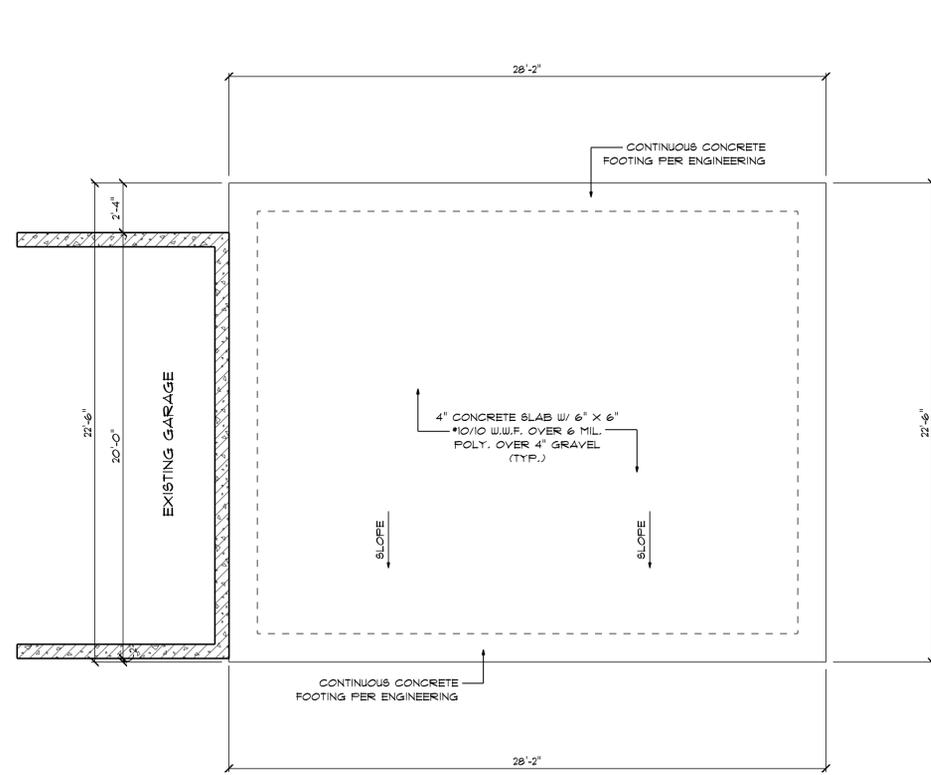
DRAWN BY: HAA6

APPROVED BY: TUFFER

FINAL: 01.23.2020

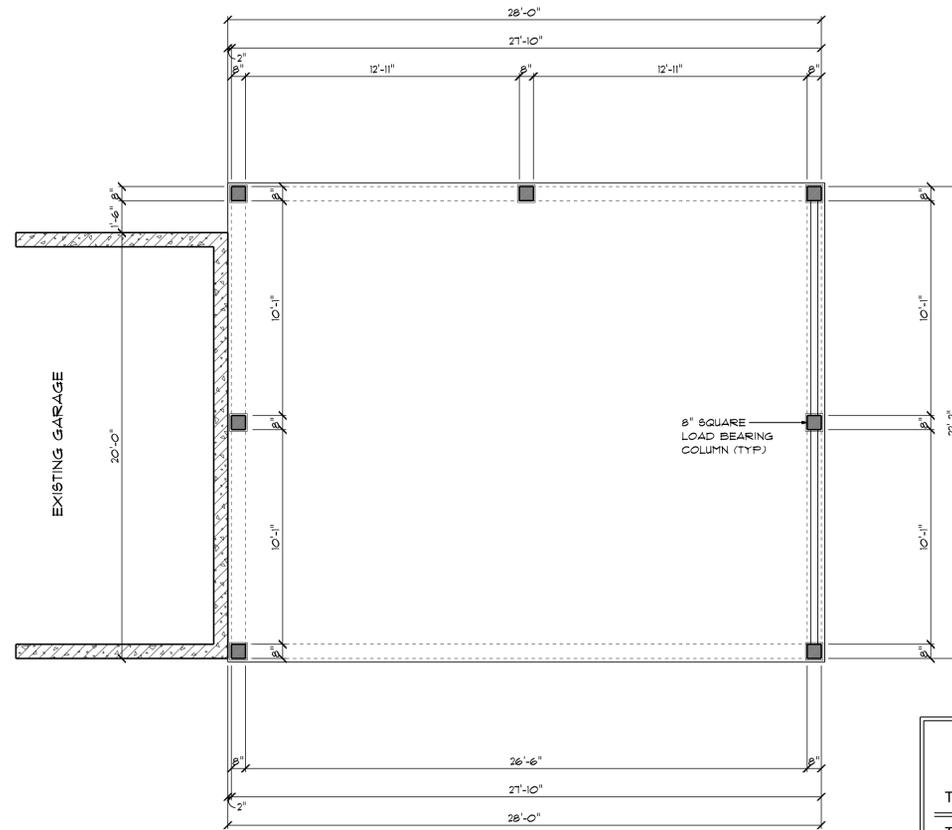
REVISION:

REVISION:



CARPORT- MONO-SLAB FOUNDATION PLAN

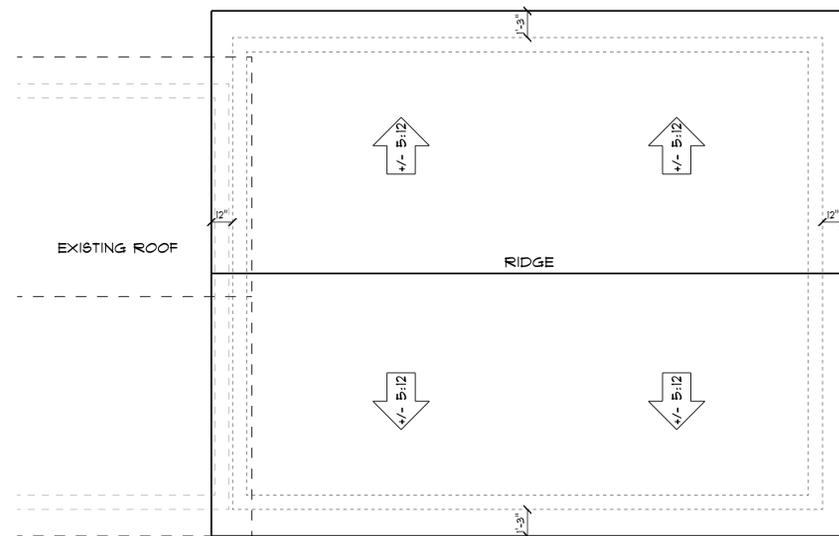
SCALE: 1/4" = 1'-0"



CARPORT- FLOOR PLAN

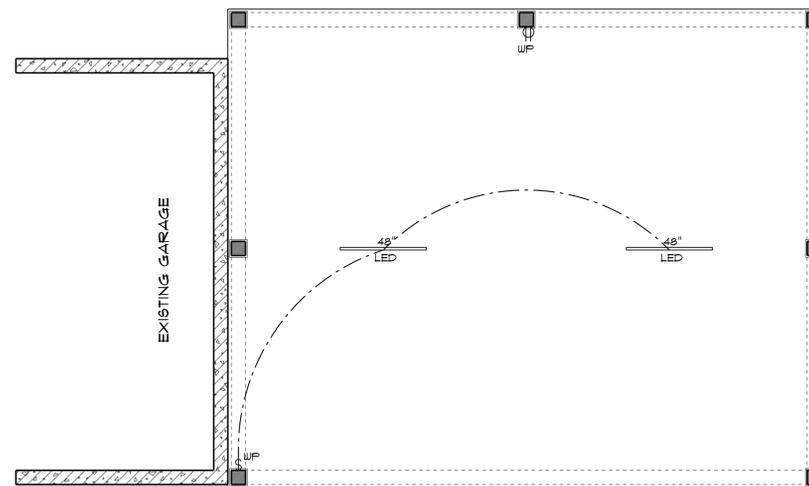
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	
Two Car Carport	617
Total Under Roof	617



CARPORT- ROOF PLAN

SCALE: 1/4" = 1'-0"



CARPORT- ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

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297 TOTAL REQUIRED VENTILATION FOR RIDGE
(BUILDER TO SEE MANUF. FOR NEED RIDGE VENT # SOFFIT VENT PER CALCULATIONS)

HART CARPORT

210 S. GUM ST.,
 SUMMERSVILLE, SOUTH CAROLINA 29483

NOTE: GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ANGLES IN FIELD.

ENGINEER:

DRAWN BY: HAA6

APPROVED BY: TUFFER

FINAL: 01.23.2020

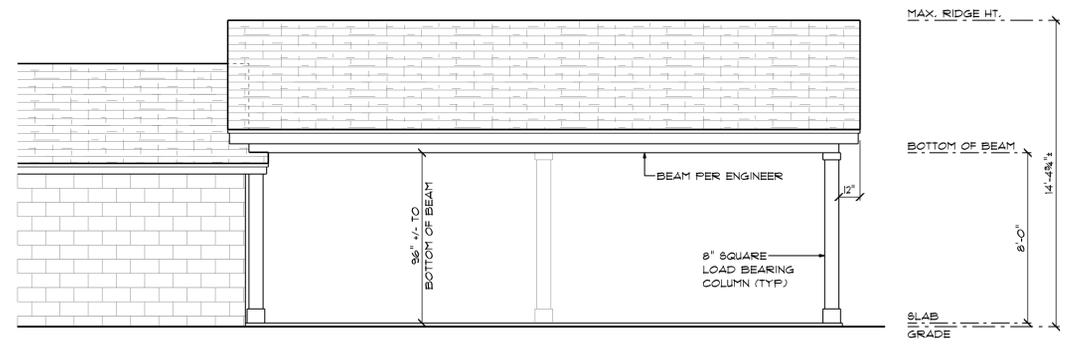
REVISION:

REVISION:

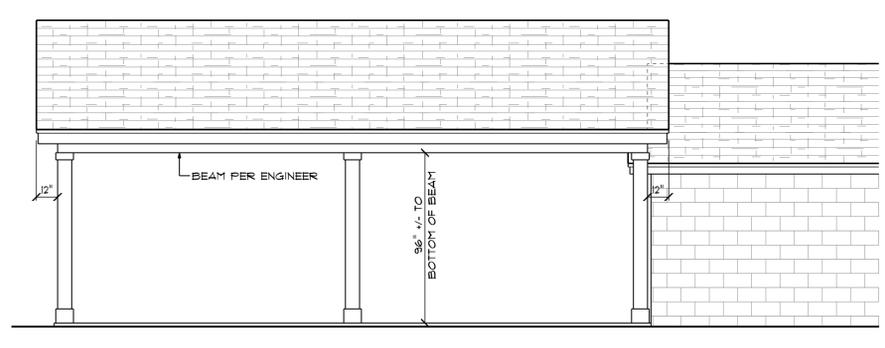
SHEET

1
 2

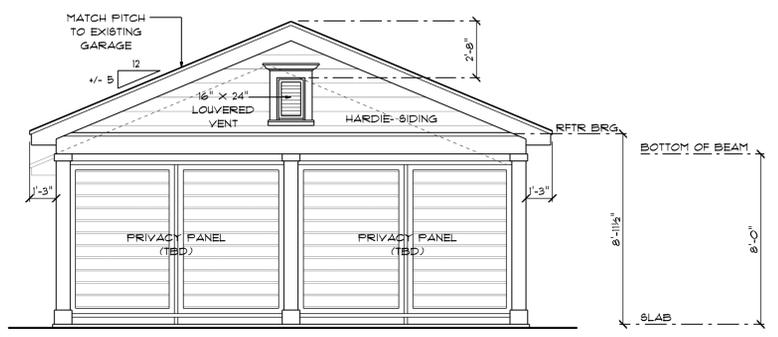
THESE PLANS ARE PROTECTED UNDER THE FEDERAL COPYRIGHT LAWS. THE ORIGINAL PURCHASER OF THIS PLAN IS AUTHORIZED TO CONSTRUCT ONE AND ONLY ONE HOME USING THIS PLAN. MODIFICATION OR REUSE OF THIS PLAN IS PROHIBITED.



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

HART CARPORT

210 S. GUM ST.
 SUMMERVILLE, SOUTH CAROLINA 29483

NOTE: GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ANGLES IN FIELD.

ENGINEER:

DRAWN BY: HAAS
 APPROVED BY: TUPPER
 FINAL: 01.23.2020
 REVISION:
 REVISION:

SHEET
2
2

THESE PLANS ARE PROTECTED UNDER THE FEDERAL COPYRIGHT LAWS. THE ORIGINAL PURCHASER OF THIS PLAN IS AUTHORIZED TO CONSTRUCT ONE AND ONLY ONE HOME USING THIS PLAN. MODIFICATION OR REUSE OF THIS PLAN IS PROHIBITED.









**STAFF REPORT
BAR Meeting
April 23rd, 2020**

To: Town of Summerville BAR
From: Becca Zimmerman, Planner II
Date: 4/13/20

GENERAL INFORMATION

Property Applicant: Ossie Beauchene

Owner: Ossie Beauchene

Requested Action: Final Approval

Existing Zoning/Land Use: GR-2, Vacant Lot (Residential)

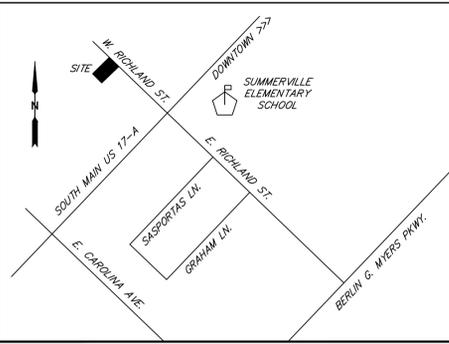
Location: 114 W. Richland Avenue

Building Rating: N/A

Proposed Alterations: New construction of a detached garage

Guideline Citation: **5. Design Guidelines:** 5.10 Universal Guidelines for New Standalone Construction- *Guideline 30. New Garage or Outbuilding Construction*

Evaluation: The proposed detached garage meets Zoning setback and sizing requirements. Impervious surface coverage will need to be confirmed when the project is submitted for permitting (site plan will need to show any walkways or driveways.) The garage plan is simple and appears to be cohesive with the primary structure to be built on the property.



LOCATION MAP

GENERAL NOTES

- THIS IS NOT A VALID, TRUE COPY OF THIS DOCUMENT UNLESS IT BEARS THE ORIGINAL SIGNATURE, SIGNATURE DATE, AND THE RAISED EMBOSSED SEAL OF THE SURVEYOR NOTED HEREON.
- THIS PLAT DELINEATES A PLOT PLAN AND TREE SURVEY UPON AN EXISTING TRACT OF LAND, TMS PARCEL 137-14-04-030. THESE BOUNDARIES WERE ESTABLISHED BY RETRACEMENT OF APPLICABLE DEEDS AND PLATS AS REFERENCED HEREON, AND BY A FIELD SURVEY OF THE EXISTING MONUMENTATION FOUND.
- ALL PLAT AND DEED REFERENCES ARE FROM THE DORCHESTER COUNTY ROD OFFICE UNLESS NOTED OTHERWISE.
- THIS PROPERTY MAY BE SUBJECT TO VARIOUS UTILITY EASEMENTS (i.e. POWER, TELEPHONE, SANITARY &/OR STORM SEWER, etc.) THAT WERE NOT NOTED EITHER IN THE REFERENCE DEED OR REFERENCE PLATS ASSOCIATED WITH THIS PROPERTY. THE UTILITIES SHOWN HEREON ARE BASED ON FIELD SURFACE LOCATIONS, AND WERE NOT VERIFIED AS TO SIZE, DEPTH, MATERIAL, &/OR CONDITION. THIS PLAT DOES NOT ADDRESS THE EXISTENCE OR NON-EXISTENCE OF WETLANDS NOR ANY SUBTERRANEAN CONDITIONS OF ANY NATURE.
- ACCORDING TO F.E.M.A. F.I.R.M. COMMUNITY PANEL 4503500343E, THIS SITE IS LOCATED IN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN; MAP REVISION 7/18/2017.
- DATE OF FIELD SURVEY 8-20-2019.
- WATER AND SEWER WILL BE PROVIDED BY SUMMERVILLE CPW.
- THIS PARCEL IS ZONED R-1 BY THE TOWN OF SUMMERVILLE.
- HORIZONTAL DATUM: NAD 83 (2011 ADJ.); VERTICAL DATUM: NAVD88 (GEOID 12A). CONTOUR INTERVAL IS ONE FOOT.

NOTES REQUIRED BY THE TOWN OF SUMMERVILLE:

- DEVELOPER/BUILDER: ATRIUM BUILDERS, 919 W. RICHARDSON AVE. SUMMERVILLE, SC 29483. PHONE: 843.873.1818; EMAIL: obeuchene1@sc.rr.com.
- ELEVATION OF HOUSE PAD MUST BE 18" HIGHER THAN THE BACK OF THE CURB OR ROAD IF NO CURB PRESENT UNLESS APPROVED BY THE TOWN OF SUMMERVILLE.
- THERE MUST BE A MINIMUM OF 6" OF FALL IN THE FIRST 10' (5.00% SLOPE) FROM THE BUILDING.
- PERVIOUS/IMPERVIOUS AREA:
 TOTAL AREA: 20,000 SF
 IMPERVIOUS: 2,917 SF 15% IMPERVIOUS
 PERVIOUS: 17,083 SF 85% PERVIOUS

LEGEND

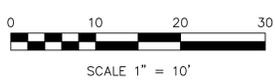
- BOUNDARY
- - - BOUNDARY, ADJOINER
- CENTERLINE
- - - EASEMENT
- - - RIGHT OF WAY
- - - SETBACK
- MONUMENT FOUND (SIZE & TYPE GIVEN)
- MONUMENT SET (5/8" REBAR PIN)
- △ CALCULATED POINT, NO MONUMENT
- ✱ UTILITY POLE
- ✱ LIGHT POLE
- ⊙ WATER METER
- ⊙ SANITARY SEWER MANHOLE
- ⊙ TELEPHONE JUNCTION BOX
- G.U.E. GENERAL UTILITY EASEMENT
- CMU CONCRETE MASONRY UNIT
- SQ. FT. SQUARE FEET (43,560 SQ. FT. PER ACRE)
- AC. ACRE



CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
G1	195.41'	103.27'	102.07'	S 25°43'35" E	30°16'44"

CLAUDE G. & ELLEN M. BURNS
 DEED BK./PG: 2040/36
 PLAT CAB./PG: F/324
 TMS 137-14-04-028



NOT VALID UNLESS SIGNED IN RED INK
 SCPLS #21937 EMBOSSED SEAL

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOUTH CAROLINA SURVEYING MANUAL FOR SURVEYS IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS 'A' SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



PLOT PLAN
 TMS 137-14-04-030.000
 for
 KENNETH O. BEAUCHENE
 114 W. RICHLAND ST., THE TOWN OF SUMMERVILLE
 DORCHESTER COUNTY, SOUTH CAROLINA
 AUGUST 23, 2019

D. Scott Wilson Land Surveyor, LLC
 370 South Main Street
 Summerville, SC 29483
 (843) 708-8065
 dsWSCPLS@aol.com

PROJECT: 19028
 F.B./PG: 8/45
 REVISION:

ATRIUM BUILDERS, INC.

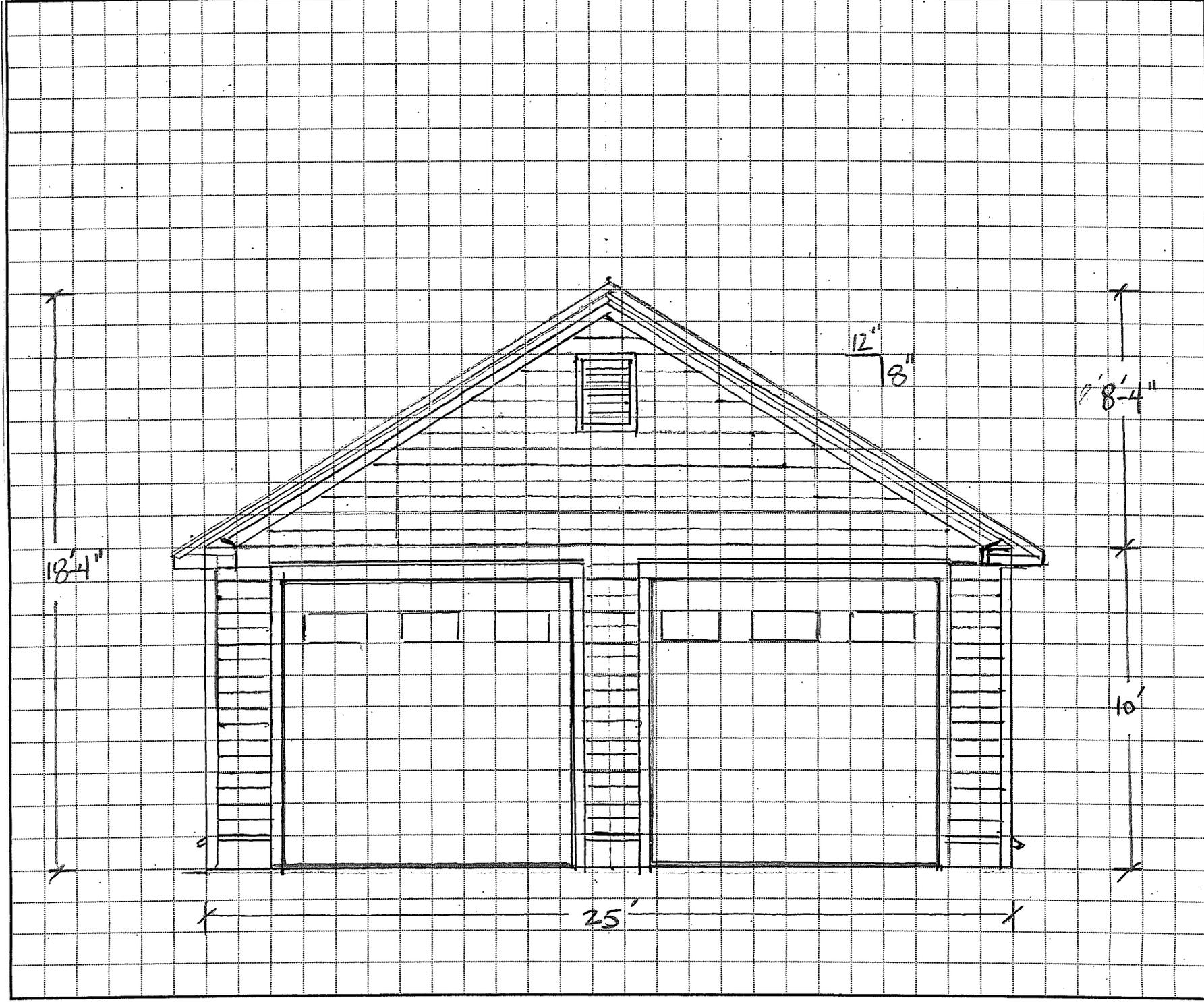
919 West Richardson Ave. • Summerville, SC 29483
(843) 873-1818 • FAX: (843) 873-5015

114 W. Richland Street Garage

South Elevation

K.O. Beauchene March 5, 2020

A1



ATRIUM BUILDERS, INC.

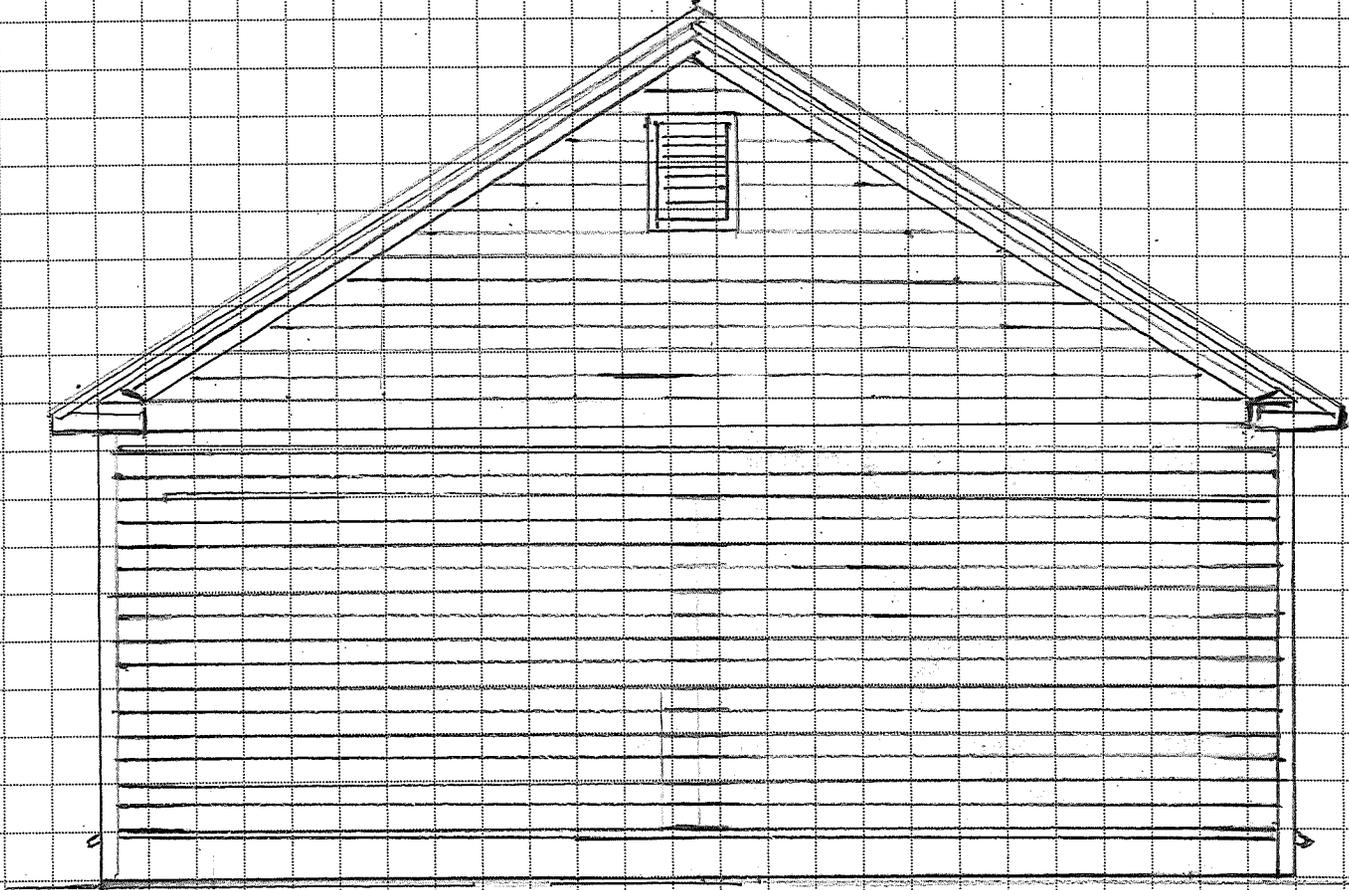
919 West Richardson Ave. • Summerville, SC 29483
(843) 873-1818 • FAX: (843) 873-5015

114 W. Richland Street Garage

North Elevation

A2

K.O. Beauchene March 5, 2020



ATRIUM BUILDERS, INC.

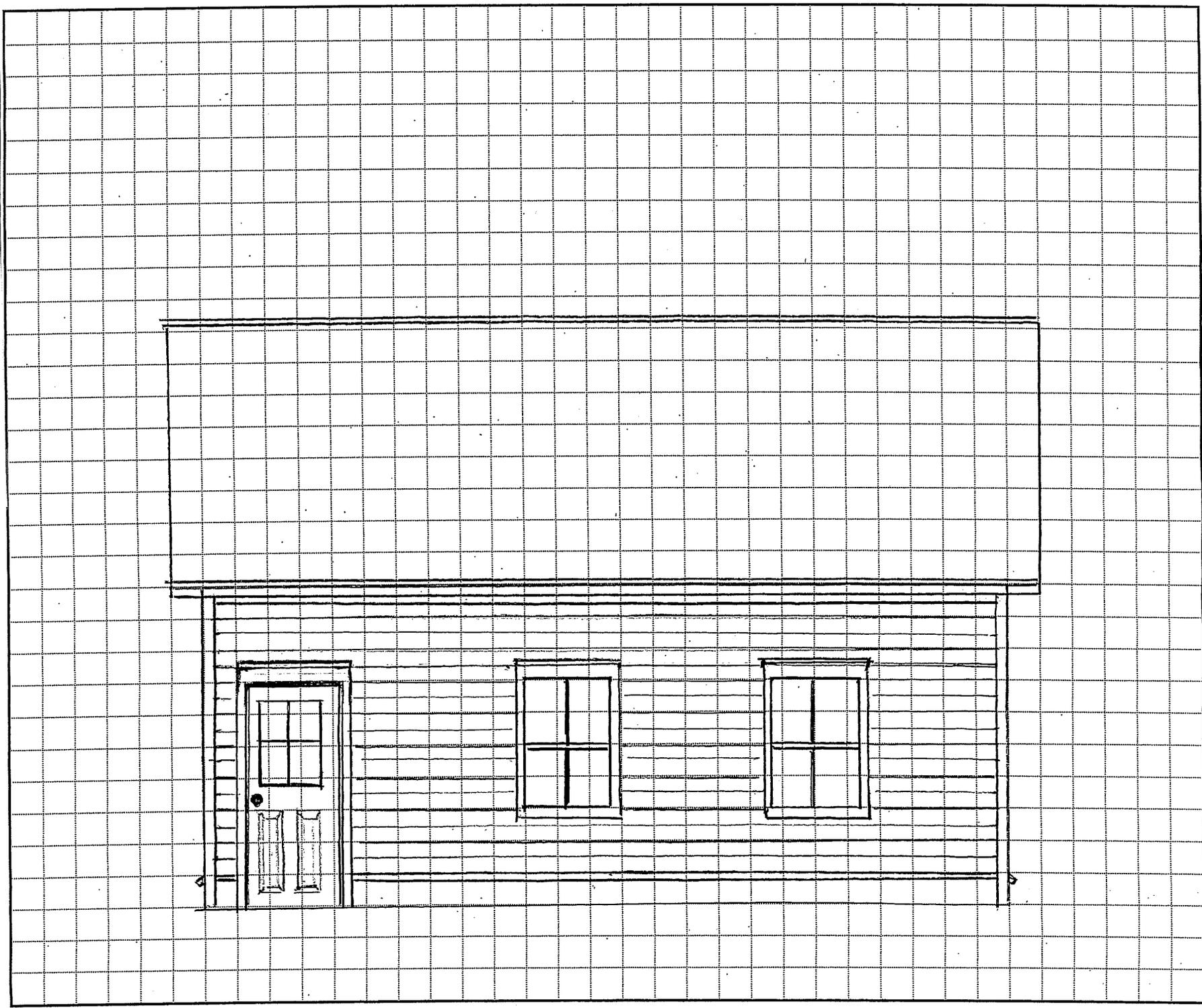
919 West Richardson Ave. • Summerville, SC 29483
(843) 873-1818 • FAX: (843) 873-5015

114 W. Richland Street Garage

East Elevation

A3

K.O. Beauchene March 5, 2020



ATRIUM BUILDERS, INC.

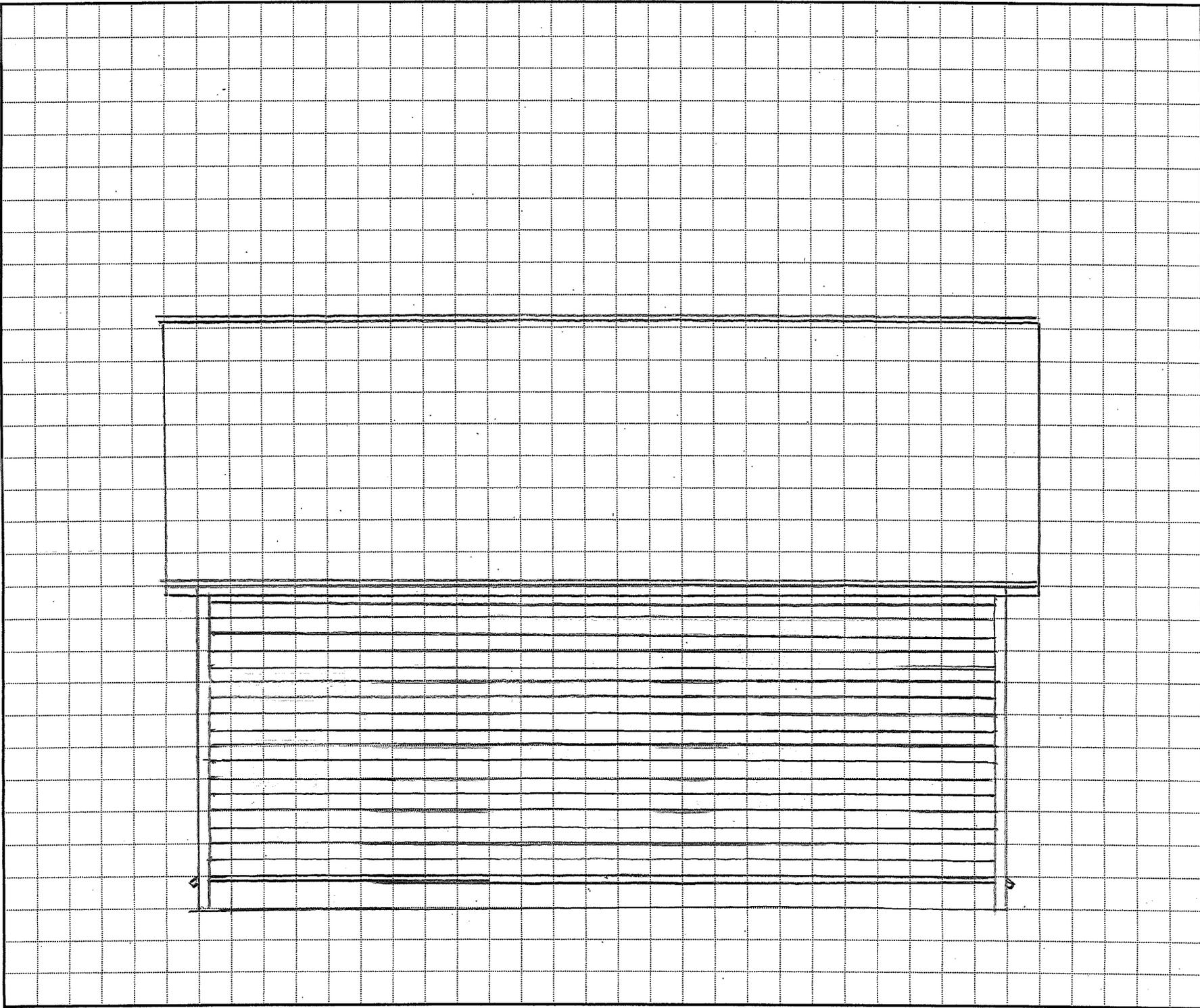
919 West Richardson Ave. • Summerville, SC 29483
(843) 873-1818 • FAX: (843) 873-5015

114 W. Richland Street Garage

West Elevation

A4

K.O. Beauchene March 5, 2020



ATRIUM BUILDERS, INC.

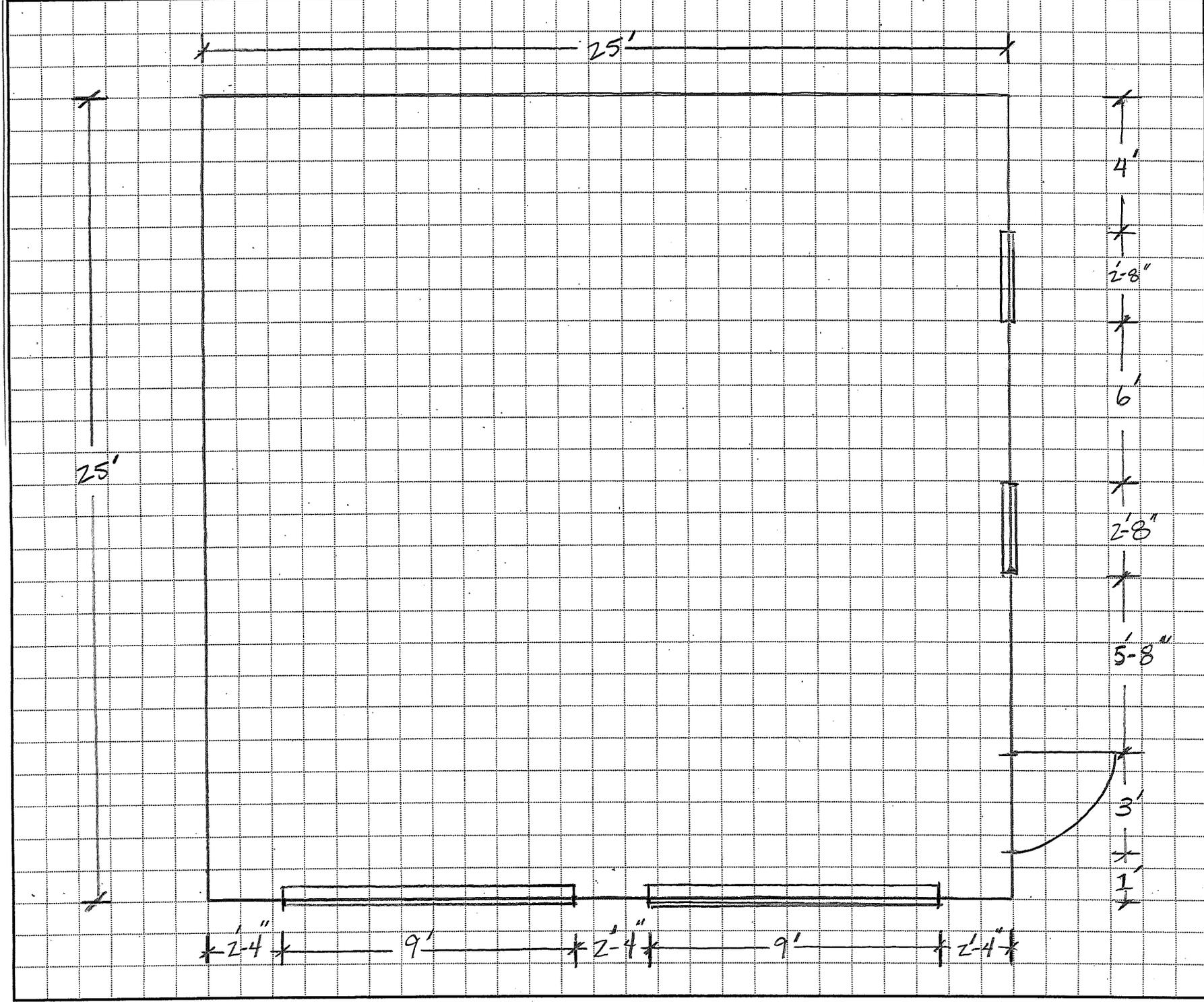
919 West Richardson Ave. • Summerville, SC 29483
(843) 873-1818 • FAX: (843) 873-5015

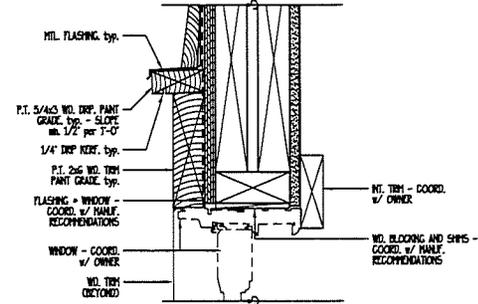
114 W. Richland Street Garage

Floor Plan

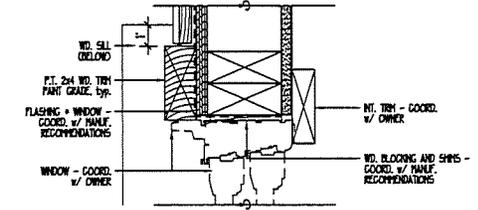
A5

K.O. Beauchene March 5, 2020

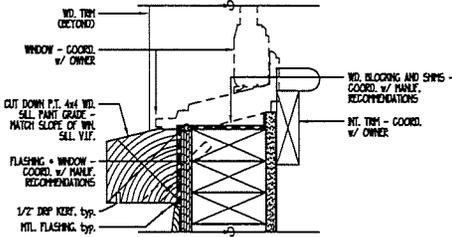




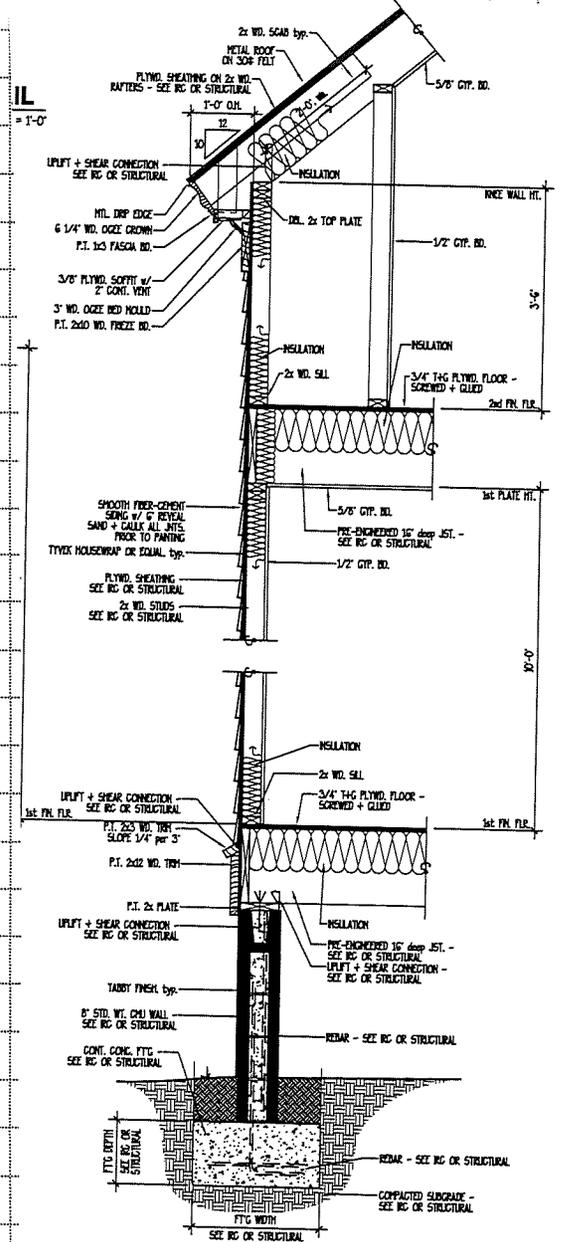
11 TYPICAL WINDOW & DOOR HEAD
SCALE: 3" = 1'-0"



10 TYPICAL WINDOW & DOOR JAMB
SCALE: 3" = 1'-0"



9 TYPICAL WINDOW SILL
SCALE: 3" = 1'-0"



1 TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"

ATRIUM BUILDERS, INC.

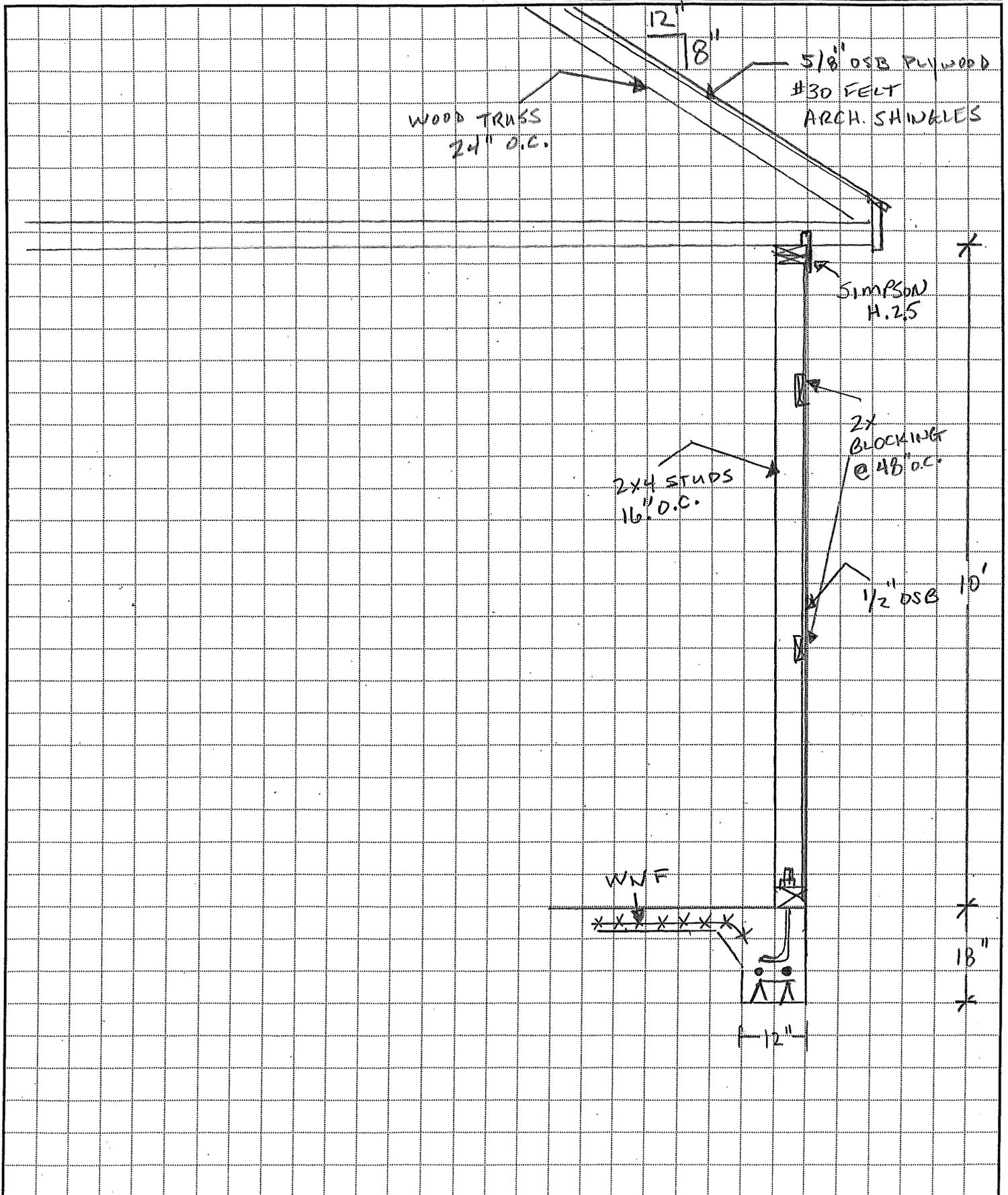
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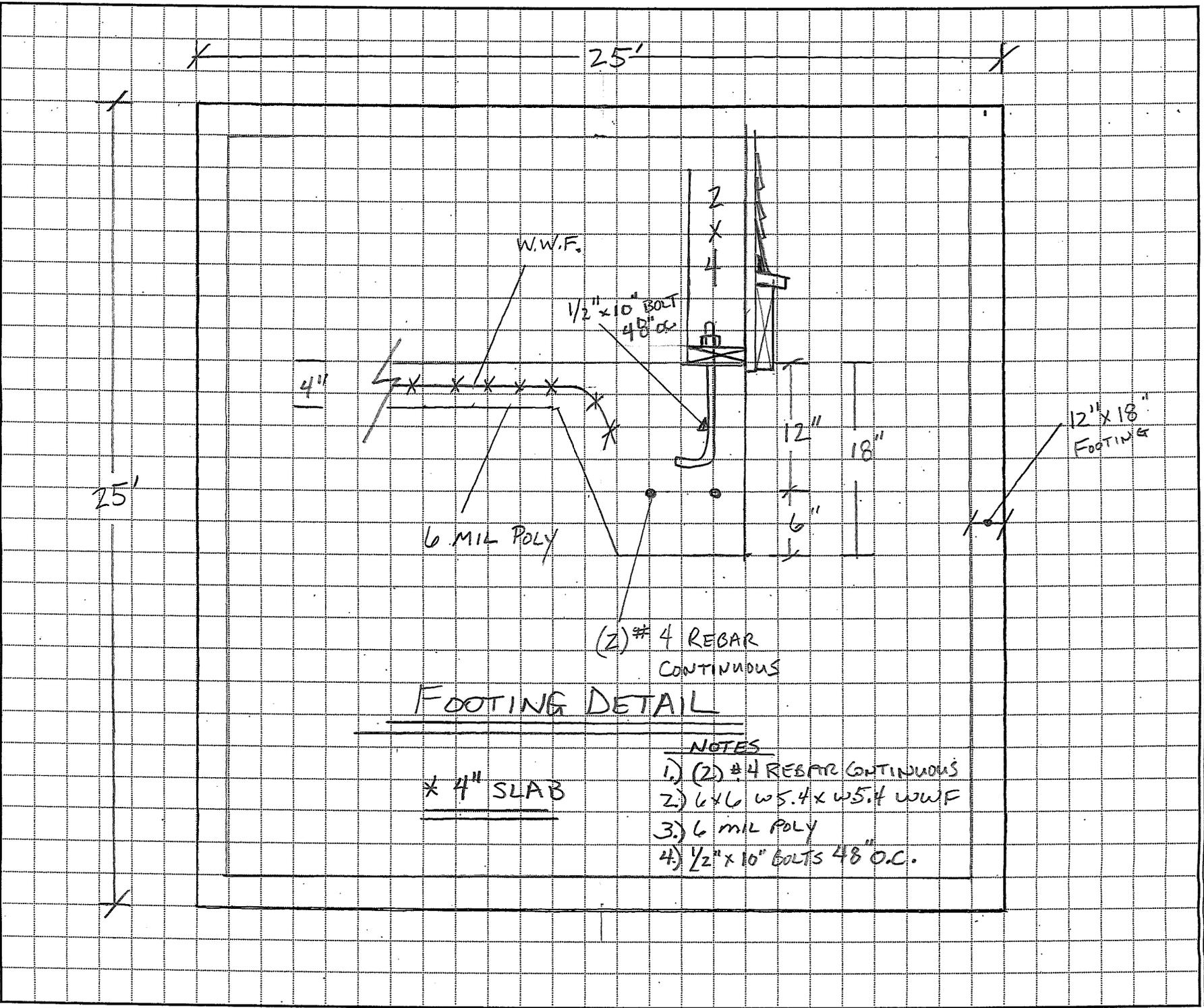
114 W. Richland Street Garage

Wall Section

S1

K.O. Beauchene March 5, 2020

















20
10