



**TOWN OF SUMMERVILLE
COMMERCIAL DESIGN REVIEW BOARD – AGENDA
Summerville Municipal Complex
Annex Building 2nd Floor Training Room
February 20, 2020 4:00 p.m.**

Approval of January 16, 2020 meeting Minutes

APPLICANTS –

For additional information regarding this public meeting please contact the Planning Department at 843.851.5200. All applications and related documents for this public meeting are available for review at the Planning Department during regular business hours, Monday–Friday, 8:30–5:00 excluding Town of Summerville holidays.

OLD BUSINESS:

- 1. 4234 Ladson Road – New Caliber Collision car repair facility (UC-MX)**
The applicant is requesting Preliminary Approval
- 2. 605 Old Trolley Road – Redevelopment of existing carwash facility into office space (UC-MX)**
The applicant is requesting Final Approval

NEW BUSINESS:

- 1. 101 N Main Street – Redevelopment of existing restaurant (D-MX)**
The applicant is requesting Conceptual Review

MISCELLANEOUS:

1. None

ADJOURN:

Posted February 10, 2020

Special Commercial Design Review Board Minutes
Thursday, January 16, 2020
Summerville Municipal Complex –Annex Building Training Room

Members Present:

Bill Beauchene
Mildred Blanton
Chris Campeau
Michael Gregor

Candace Pratt - Absent
Carolyn Rogerson

Staff Present:

Tim Macholl, Zoning Administrator
Jessi Shuler, Director of Planning
Bonnie Miley, Assistant Town Engineer
Rich Palmer, Building Official

Items on the agenda:

OLD BUSINESS:

1. **JP Morgan Chase – Development of a new Chase Bank Branch at 1300 N Main Street (G-B)**
2. **605 Old Trolley Road – Redevelopment of existing carwash facility into office space (UC-MX)**

NEW BUSINESS:

1. **823 W 5th North Street – Dorchester County Sheriff’s Office placement of 3 Modular Units (UC-MX)**
2. **4234 Ladson Road – New Caliber Collision car repair facility (UC-MX)**
3. **Signs**

MISCELLANEOUS:

1. **Election of Officers**
-

The meeting was called to order at 4:01 pm by the Chairman.

Mr. Campeau asked for consideration of the December 19, 2019 meeting minutes. Mr. Beauchene made a motion for approval of the minutes as presented and Ms. Pratt seconded. The motion carried 5-0.

OLD BUSINESS

1. **JP Morgan Chase** – The first item under Old Business is a request for Preliminary approval for the proposed redevelopment of the property located at 1300 N. Main Street into a Chase Bank Branch. Mr. Paul Gorenflo of BDG Architects and Ms. Marianne Moseley of Kimley-Horn came to the table to discuss the project. Mr. Macholl addressed staff comments concerning the parking situation and the SCDOT easement. Ms. Moseley asked what number of parking spaces the Town Staff would approve. Mr. Macholl replied that 20 parking spaces total would be acceptable. She indicated that they would need to run it past the client. Ms. Moseley addressed some of the issues that had been mentioned at the last meeting. Mr. Campeau told the applicants that the proposed Palm trees should be removed from the overall plan, not just the ones proposed at the front of the property. It was suggested that some shrubs be added to the lower left plan area that doesn’t have any shown, and to specify that only pine straw mulch will be used. Mr. Gorenflo addressed the brick issue. He showed the board the detailing that was added to the facades of the building, including soldier course at the windows. He presented a couple brick options. The Board preferred the Acme Brick Barberry (King size) with a Coosa buff mortar. The Board directed the applicant to screen all roof top mechanicals, and add canopies over all doors. Mr. Campeau asked if a canopy would be constructed over the ATM. Mr. Gorenflo stated that it had been included in prior submittals, but it was not included as part of the Final. The details of the ATM Canopy were discussed, it will have four brick columns, the fascia will be clad in hardi plank, and it will have a flat roof.

Mr. Gregor made a motion for Final Approval with comments noted. The motion was seconded by Ms. Rogerson. The motion passed unanimously 5-0

2. 605 Old Trolley Road – The second item under Old Business is a request for Preliminary Approval of a proposal to redevelop the existing carwash located at 605 Old Trolley Road into a professional office building. Mr. Gene Brislin of Eugene Brislin Jr. and Ms. Christine Garcia of Trolley Car Wash LLC. Came to the table to present the project. Mr. Macholl presented the staff comments. There was extensive discussion concerning the parking lot, and the need for the landscaping. Mr. Macholl explained that it was his final determination that because this was establishing a new parking lot that the parking lot screening requirements would be required to be implemented. Mr. Campeau suggested that the applicant work with staff to finalize those requirements based on the existing material on the property. Mr. Brislin explained that they intend to reuse the existing structure but will be adding about 14 feet onto the back. To provide for the required fire lane they will need to carve out some of the curb and reshape the aisle to allow for the required 20 feet. He indicated that he didn't feel that removal of the aisle connecting the front and back needed to be removed, and that they would be willing to try to address the request for an island or other traffic device. Mr. Brislin explained that drainage inlet was located near the requested location and that he was still looking at those details. It was suggested that instead of a raised island a visual break would suffice, wither through paint or change of materials. The board asked about the lighting. Mr. Brislin explained that they had not yet received the plans at the time of submittal, but that they were only planning on adding two new LED poles to the site and some gooseneck accent lighting to the building. Mr. Gregor advised that because they are adding windows to the side elevations they should provide some details, including a soldier course or rowlock at the head and sill of the windows. It was also advised that the horizontal trim boards should be 12' at the base, 6" at the middle trim board and an 8" trim cap. Canopies or rain caps should be added to the rear man doors. The vinyl siding shown on the plan should be removed and a square gable vent added to the front facing gable. It was requested that the windows have mullions to break up the glass.

Mr. Beauchene made a motion for Preliminary Approval with comments noted. The motion was seconded by Ms. Rogerson. The motion passed unanimously 5-0

NEW BUSINESS

1. 823 W. 5th North Street – The first item under New Business is a request for Conceptual Review of a proposal to allow Dorchester County to place four temporary office trailers on the property for no more than two years. Mr. Macholl addressed staff comments. The Board discussed the proposal and felt that there was enough information provide to give Final Approval.

Mr. Beauchene made a motion for Final Approval with the following Conditions; Access to Wassamassaw Road be added; The trailers are not to be on the property for longer than two years; That an eight (8) foot tall screening fence be added on both sides to screen the trailers from view, and that the fence detail will be approved by Town Staff. . The motion was seconded by Ms. Blanton. The motion passed unanimously.

2. 4234 Ladson Road – The second item under New Business is a conceptual review for the proposed development of a new Calber Collision car repair facility on Ladson Road. Mr. Kyle Hoyt of Hoyt + Berenyi came to the table to discuss the proposal. Mr. Macholl addressed the staff comments. Mr. Hoyt responded and explained that they had already made some of the revisions to the plans, and that they understood the zoning requirements and had brought a couple options to go over with the board. SCDOT had already directed them that their access would need to align with the road across the street. They had revised the layout to meet that requirement. The three different layouts were presented to the Board, and the Board chose option #2 as the preferred layout. The addition of buffers was discussed, as well as centering the development and providing more symmetry and balance to the layout. Mr. Hoyt agreed that all storage parking would be screened from view. He provided an image of the Mt. Pleasant location which had recently been approved. The Board advised that they should not cheapen the design for the Town of Summerville. It was strongly recommended that brick be used, and that stacked stone is specifically prohibited by the UDO.

This being a Conceptual Review there was no vote taken.

SIGNS:

No Signs for discussion

MISCELLANEOUS:

1. Election of Officers – The Board discussed the officer situation and it was suggested that they should maintain the existing officers.

Mr. Beauchene made a motion to maintain Mr. Campeau as Chairman and Mr. Gregor as Vice Chairman. The Motion was seconded by Ms. Rogerson. The Motion passed unanimously.

ADJOURN:

There being no further business, the meeting was adjourned at 5:57 PM on a motion by Mr. Beauchene and a second by Ms. Rogerson. The motion passed unanimously

Respectfully Submitted,

Date: _____

Tim Macholl
Zoning Administrator

Approved: Chris Campeau, Chairman _____; or,
Michael Gregor, Vice Chairman _____

**STAFF REPORT
CDRB Meeting
February 20, 2020 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: February 11, 2020

GENERAL INFORMATION

Applicant: Hoyt + Berenyi
Property Owner: Beebe Family LP
Requested Action: The applicant is requesting Preliminary Approval of the proposed construction of a Caliber Collision body shop
Requested Approval: Preliminary Approval
Existing Zoning: UC-MX
Adjacent Zoning: **North:** MF-R
South: Out in Dorchester County
East: Out in Dorchester County
West: UC-MX
Location: 4234 Ladson Road
Existing Land Use: Vacant Land
Prior Approvals: Conceptual Review 01/16/2020

Ordinance Reference: Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based upon staff review, the following are staff's site related comments. The submittal still does not address all of the issues addressed at Conceptual Review.

Vehicle Services are a Conditional Use in UC-MX. The conditions are as follows: (Section 3.4.8.D)

1. Buffer: Parking and/or service areas shall be separated from adjoining residential properties by a planting screen, fence, or wall at least 6 feet in height.
2. Noise: No objectionable sound, vibration, heat, glare or electrical disturbance shall be created which creates a nuisance beyond the premises.
3. Outdoor Activities Prohibited: All operations and storage of parts shall be within a fully enclosed building.
4. Screening: any vehicles stored on the site during nonbusiness hours shall be located within a fully enclosed building or shall be stored behind the front building line and shall be completely screened (100%) opacity from the street and adjoining properties using natural buffers, fencing, buildings, or a combination thereof. Chain link fencing shall not be permitted as a screening material if the fence will be visible from any street or parking area.

Staff has determined that the "parking" in the rear is not actually parking but storage, therefore the applicant is not exceeding the parking requirement. Because this area is storage, Section 8.6.2 Landscape Screens is required to be met, and at this time it appears that the proposed plan does not meet the screening requirement on the pond side of the property. Staff does not recommend a full underbrush and mulching of the wooded area on the west side of the plan. This area will act as a buffer of the outdoor storage area and will better serve this purpose if left undisturbed. The buffer note on sheet L.1.0 states that the applicant is trying to utilize shrubs for the buffer planting requirement that are beyond the property boundary. This is not permitted and only those materials located on the subject property

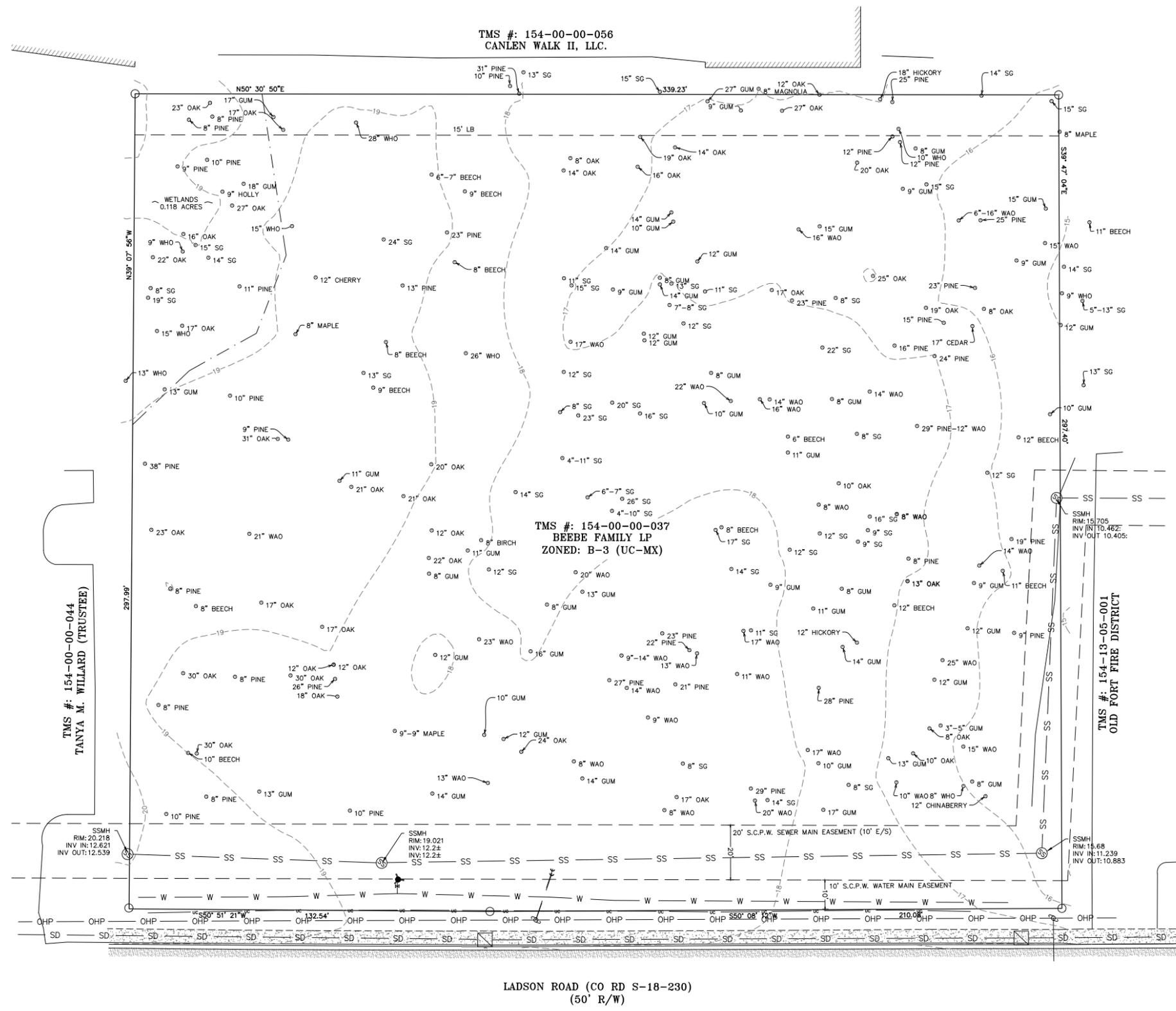
can count towards the planting requirement. Provide a materials list that details the total quantity of plants to be planted and their planting size at the time of installation.

Parking requirement is 1 per 1,000 sf for the shop floor and 2 per 1,000 sf for the office. The minimum parking requirement is 15 parking spaces, no more than 30 can be constructed as impervious. Based on the determination that the rear is a storage yard and not a parking lot, the proposed parking is not in excess of the 200%, and no pervious parking will be required. The parking located in front of the canopy is not in compliance with the parking requirements of UC-MX, parking is only permitted in the side and rear yards. The four parking spaces forward of the canopy will need to be removed and placed in a different location if the applicant feels that they are necessary. Staff recommends that the fence on the right side of the plan be moved back to the back of curb to provide additional maneuvering space for the handicap parking space located on that side of the property.

No lighting plan has been submitted. A Tree Removal Permit for all protected trees is required. Remove all references to B-3 on all sheets of the plans.

Building: The front façade is not meeting the required 65% façade transparency (Sect. 4.2.9). All rooftop mechanicals must be screened from view.

Engineering: A 10' buffer is recommended from the fill slope to the property line. The plans are currently showing the detention outfall discharging onto the property line. DHEC requires a 20' buffer from the point of discharge to the property line.



TMS #: 154-00-00-056
CANLEN WALK II, LLC.

TMS #: 154-00-00-037
BEEBE FAMILY LP
ZONED: B-3 (UC-MX)

TMS #: 154-00-00-044
TANYA M. WILLARD (TRUSTEE)

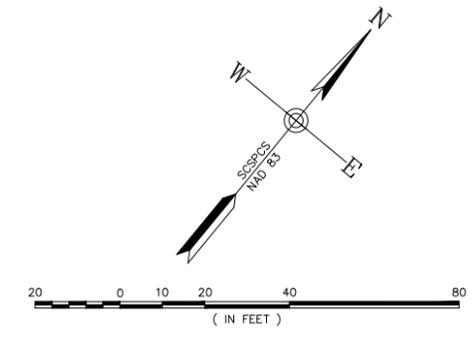
LADSON ROAD (CO RD S-18-230)
(50' R/W)

REFERENCES:

1. "PLAT SHOWING A 10' WATER MAIN EASEMENT, FOR THE COMMISSIONERS OF PUBLIC WORKS OF THE TOWN OF SUMMERVILLE, ACROSS PROPERTY OF WESTVACO DEVELOPMENT CORPORATION", DATED JUNE 5, 2000, BY WESTVACO DEVELOPMENT CORPORATION, AS RECORDED IN PLAT BOOK J, PAGE 165 AT THE DORCHESTER COUNTY REGISTER OF DEEDS OFFICE.
2. "PLAT SHOWING A NEW 20' SEWER EASEMENT ON PROPERTY OWNED BY OLD FOR FIRE DIST., TRACY A. & C. KENNETH WILLARD & WESTVACO DEVELOPMENT CORP.", DATED MAY 9, 2001, BY ASHLEY SURVEYING, INC., AS RECORDED IN PLAT BOOK J, PAGE 190 AT THE DORCHESTER COUNTY REGISTER OF DEEDS OFFICE.
3. "BOUNDARY SURVEY OF LAND OWNED BY WESTVACO DEVELOPMENT CORPORATION", DATED AUGUST 9, 2001, BY ASHLEY SURVEYING, INC., AS RECORDED IN PLAT BOOK K, PAGE 2 AT THE DORCHESTER COUNTY REGISTER OF DEEDS OFFICE.
4. DEED BOOK 2494, PAGE 238 AS RECORDED AT THE DORCHESTER COUNTY REGISTER OF DEEDS OFFICE.
5. DEED BOOK 2872, PAGE 69 AS RECORDED AT THE DORCHESTER COUNTY REGISTER OF DEEDS OFFICE.
6. SCDOT FILE NO. 18.623.2.

NOTES:

1. THIS PROPERTY IS LOCATED IN FLOOD ZONE X, PER FEMA MAP NUMBER 4500680245C, EFFECTIVE APRIL 15, 1994.
2. AREA WAS DETERMINED BY THE COORDINATE METHOD.
3. DORCHESTER COUNTY TMS: 154-00-00-037.
4. ELEVATIONS REFERENCE NAVD 88.
5. PROPERTY IS SUBJECT TO APPLICABLE ZONING ORDINANCES AND BUILDING CODES, INCLUDING, WITHOUT LIMITATION, PERMITTED USES, SETBACKS, AND BUILDING HEIGHT RESTRICTIONS.
6. UNDERGROUND UTILITIES SHOWN ARE BASED UPON THE LISTED REFERENCES, A PUPS UTILITY LOCATE, ABOVE GROUND OBSERVATIONS, AND COUNTY GIS. ALL UTILITIES SHOULD BE PHYSICALLY LOCATED PRIOR TO ANY CONSTRUCTION.
7. NO SUBSURFACE EXPLORATION WAS PERFORMED, THEREFORE THIS SURVEY DOES NOT REFLECT THE PRESENCE OR ABSENCE OF WETLANDS, OR CONTAMINATED SOILS.
8. PROPERTY IS ZONED UC-MX (URBAN CORRIDOR MIXED-USE) IN SUMMERVILLE, SC.
9. DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
10. THE PROPERTY ADDRESS IS NOT ASSIGNED AT THIS TIME.
11. THIS SURVEY DOES NOT INCLUDE ANY PLANNED OR POTENTIAL FUTURE IMPROVEMENTS TO SCDOT RIGHT OF WAY.
12. THIS SURVEY REFLECTS EXISTING CONDITIONS AS SURVEYED JANUARY 2020.
14. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
15. THERE ARE NO KNOWN PROPOSED CHANGES IN RIGHT OF WAY LINES, OR EVIDENCE OF RECENT STREET SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
16. REQUIRED SETBACKS:
FRONT: 5' **
REAR: 5'
SIDE: 5' **
** GARAGE DOORS WHICH FACE A PUBLIC RIGHT-OF-WAY, EXCEPT FOR REAR ALLEYS, MUST BE SETBACK A MINIMUM OF 20' FROM THAT RIGHT-OF-WAY



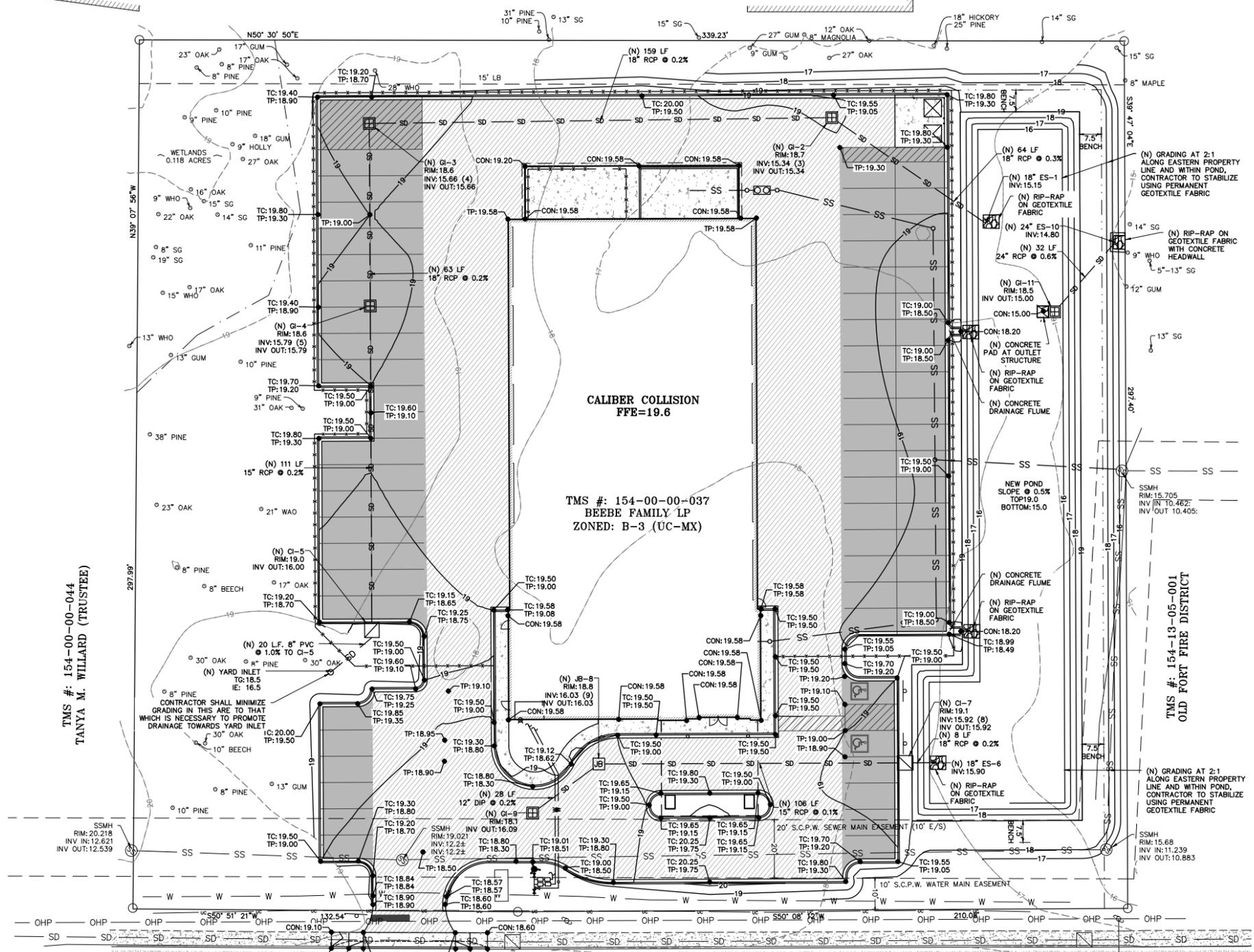
Caliber Collision Ladson Road

REV	DATE	DESCRIPTION	BY

DRAWN BY: Rob Zahurak, P.E.
CHECKED BY: Kyle M. Hoyt, P.E.
DATE: January 31, 2020
PROJECT #: 19-095
SCALE: 1" = 20'
SHEET TITLE:
Existing
Conditions

SHEET NUMBER:
C.2.0
OF 6

TMS #: 154-00-00-056
CANLEN WALK II, LLC.

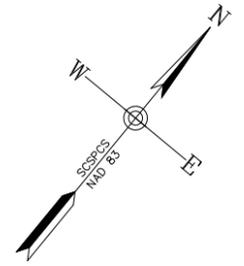
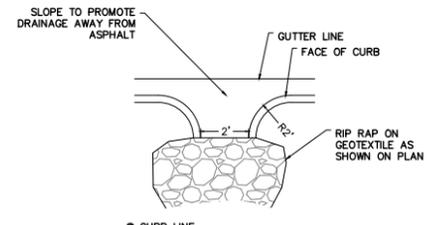


TMS #: 154-00-00-037
BEEBE FAMILY LP
ZONED: B-3 (UC-MX)

TMS #: 154-00-00-044
TANYA M. WILLARD (TRUSTEE)

TMS #: 154-13-05-001
OLD FORT FIRE DISTRICT

LADSON ROAD (CO RD S-18-230)
(50' R/W)



LEGEND

HEAVY DUTY ASPHALT	
STANDARD ASPHALT	
CONCRETE	

POST CONSTRUCTION STORMWATER MAINTENANCE PLAN

- ALL GRASSED/PLANTED AREAS SHALL BE MAINTAINED IN A MANNER TO PROVIDE VEGETATIVE COVER BUT NOT IMPEDE THE FUNCTION OF THE OUTFALL STRUCTURES OR STORMWATER DEVICES. THIS MAY INCLUDE PESTICIDE/NUTRIENT MANAGEMENT, VOLUNTEER SHRUB TREE REMOVAL, MONTHLY MOWING OF GRASSED AREAS MINIMUM, ETC.
- MONITOR ONSITE EROSION SEMI-ANNUAL MINIMUM. REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.
- TRASH TO BE REMOVED FROM WITHIN AND AROUND POND ON A WEEKLY BASIS.
- POND BANKS, BOTTOM, OUTLET STRUCTURE AND OUTLET PIPE TO BE CLEANED, INSPECTED, AND REPAIRED (IF NECESSARY) WITHIN 24 HOURS OF A STORM EVENT.
- SEDIMENT ACCUMULATION WITHIN THE POND SHALL BE INSPECTED AT LEAST ONCE PER YEAR. SEDIMENT ACCUMULATION GREATER THAN 6" IN ANY AREA SHALL REQUIRE CLEANING AND RE-ESTABLISHMENT OF DESIGN GRADE ELEVATIONS. OWNER SHALL MAINTAIN RECORD OF YEARLY INSPECTION AND ANY CLEANING PERFORMED.
- CONTROL STRUCTURE IS TO BE INSPECTED ROUTINELY TO ENSURE IT REMAINS UNBLOCKED.

PUBLIC WORKS TABLE

TOTAL PROJECT AREA:	2.33 ACRES
TOTAL DISTURBED AREA:	1.90 ACRES
TOTAL ONSITE IMPERVIOUS AREA	PRE = 0.000 AC. POST = 1.240 AC.
TOTAL ONSITE PERVIOUS AREA	PRE = 2.33 AC. POST = 1.09 AC.

DRAINAGE NOTE

THE OWNER SHALL COMPLETE THE STORM DRAINAGE SYSTEM IN ACCORDANCE WITH THE APPROVED PLANS. IN THE EVENT THE DEVELOPMENT CANNOT BE COMPLETED, DUE TO CIRCUMSTANCES BEYOND THE OWNER'S CONTROL, THE OWNER SHALL ENSURE THE COMPLETED STORM DRAINAGE SYSTEM WILL ACCOMMODATE THE STORMWATER RUNOFF GENERATED FROM THE PROJECT AND ADJOINING PHASES OF DEVELOPMENT AND IS COLLECTED AND DISCHARGED IN A PROPER MANNER. IN THIS CASE, THE OWNER SHALL SUBMIT A PLAN TO PUBLIC WORKS FOR REVIEW/APPROVAL OF THE TEMPORARY DRAINAGE PLAN.

GENERAL NOTES

- INTEGRAL SIDEWALK CURBING SHALL BE INSTALLED ALONG FRONTS OF BUILDINGS PER CIVIL DETAILS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL TAKE NOTE OF GRADES INDICATING FLUSH VERSUS SIDE VURB AND WHERE TRANSITIONS OCCUR ALONG BUILDING.
- ALL NEW STORM DRAINAGE PIPING SHALL BE CLASS III O-RING JOINT RCP UNLESS OTHERWISE NOTED.
- 18" MINIMUM COVER SHALL BE PROVIDED AT ALL UTILITY CROSSINGS.
- CONTRACTOR SHALL COORDINATE ALL SITE UTILITIES AND STORM DRAINAGE INSTALLATION SCHEDULES TO AVOID POTENTIAL UTILITY CONFLICTS. GRAVITY DEPENDENT UTILITIES SHALL BE INSTALLED PRIOR TO NON-GRAVITY DEPENDENT UTILITIES.
- CONTRACTOR SHALL REMOVE SEDIMENT AND DEBRIS FROM ALL EXISTING AND PROPOSED STORM DRAINAGE STRUCTURES AND PIPES SHOWN WITHIN PROPERTY PRIOR TO PROJECT CLOSEOUT.
- CONTRACTOR SHALL PROVIDE STORMWATER AS-BUILTS PRIOR TO PROJECT CLOSEOUT.

CLOSE OUT NOTE

UPON COMPLETION OF CONSTRUCTION, THE OWNER SHALL PROVIDE THE TOWN OF SUMMERVILLE WITH AN AS-BUILT OF THE COMPLETED STORM DRAINAGE SYSTEM, A FINAL INSPECTION REPORT (PREPARED BY A REGISTERED PROFESSIONAL ENGINEER), AND A PROJECT CLOSEOUT APPLICATION FORM, IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2.2.3 OF THE TOWN OF SUMMERVILLE STORMWATER DESIGN MANUAL. THE OWNER SHALL PROVIDE A CERTIFICATION ON THE PROJECT CLOSEOUT APPLICATION FORM.

AS-BUILT NOTE

THE ENGINEER/OWNER SHALL PROVIDE THE TOWN OF SUMMERVILLE WITH AN AS-BUILT SURVEY OF THE SITE (TIED TO STATE PLAN COORDINATE SYSTEM), TO INCLUDE ALL STORM DRAIN LINES AND PONDS BOTH EXISTING AND NEWLY INSTALLED. SURVEY SHALL ALSO INCLUDE PIPE SIZE, MATERIAL, AND INVERT ELEVATIONS, IN COMPLIANCE WITH THE TOWN OF SUMMERVILLE STORMWATER DESIGN MANUAL AND NPDES PERMIT.

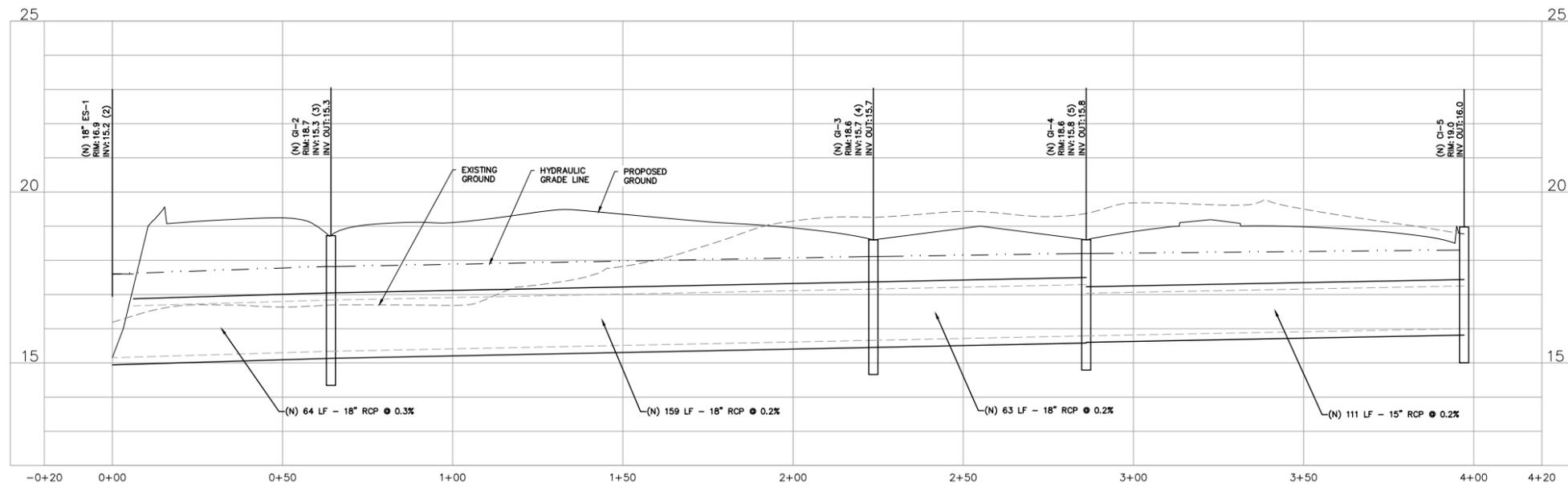


Caliber Collision Ladson Road
TMS #154-00-00-037
Town of Summerville, SC

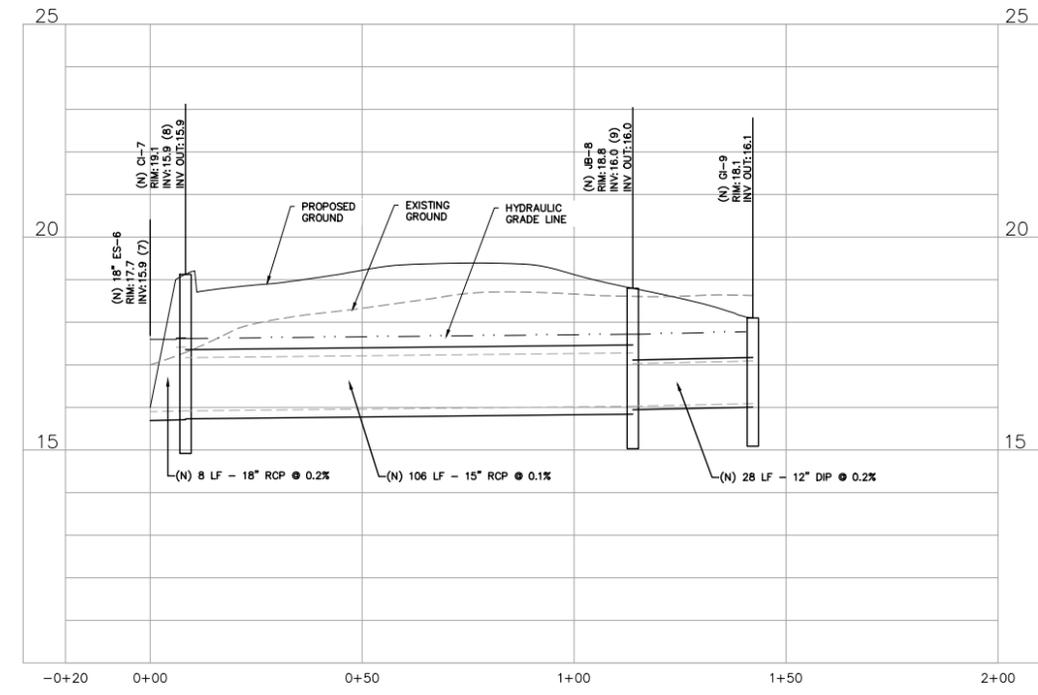
NO.	DATE	DESCRIPTION	BY

DRAWN BY: Rob Zuharak, P.E.
CHECKED BY: Kyle M. Hoyt, P.E.
DATE: January 31, 2020
PROJECT #: 19-095
SCALE: 1" = 20'
SHEET TITLE: Paving, Grading, and Drainage Plan
SHEET NUMBER: C.5.0

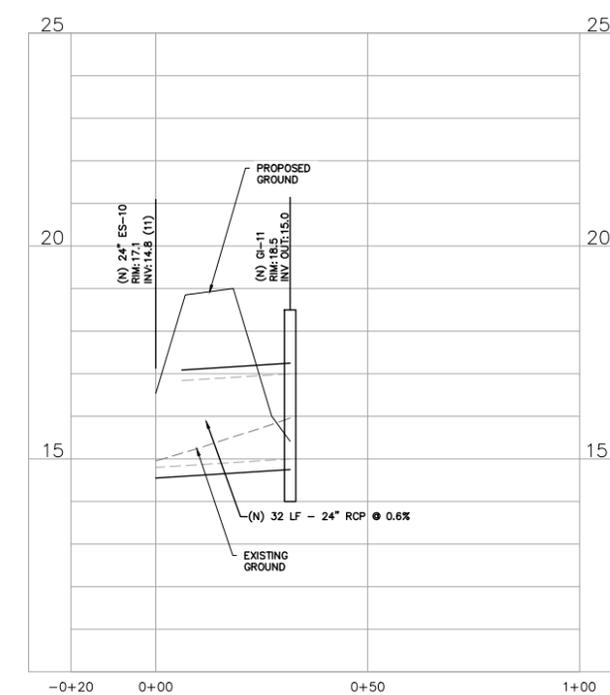
C.5.0



PROFILE VIEW OF ES1-CI5
SCALE
H: 1"=20
V: 1"=2



PROFILE VIEW OF ES6-GI9
SCALE
H: 1"=20
V: 1"=2



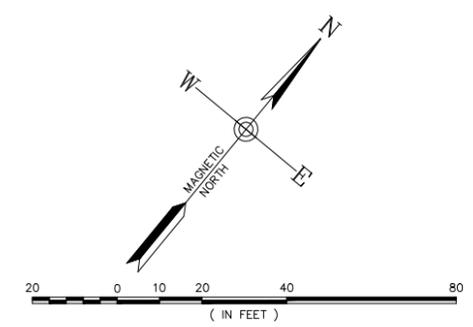
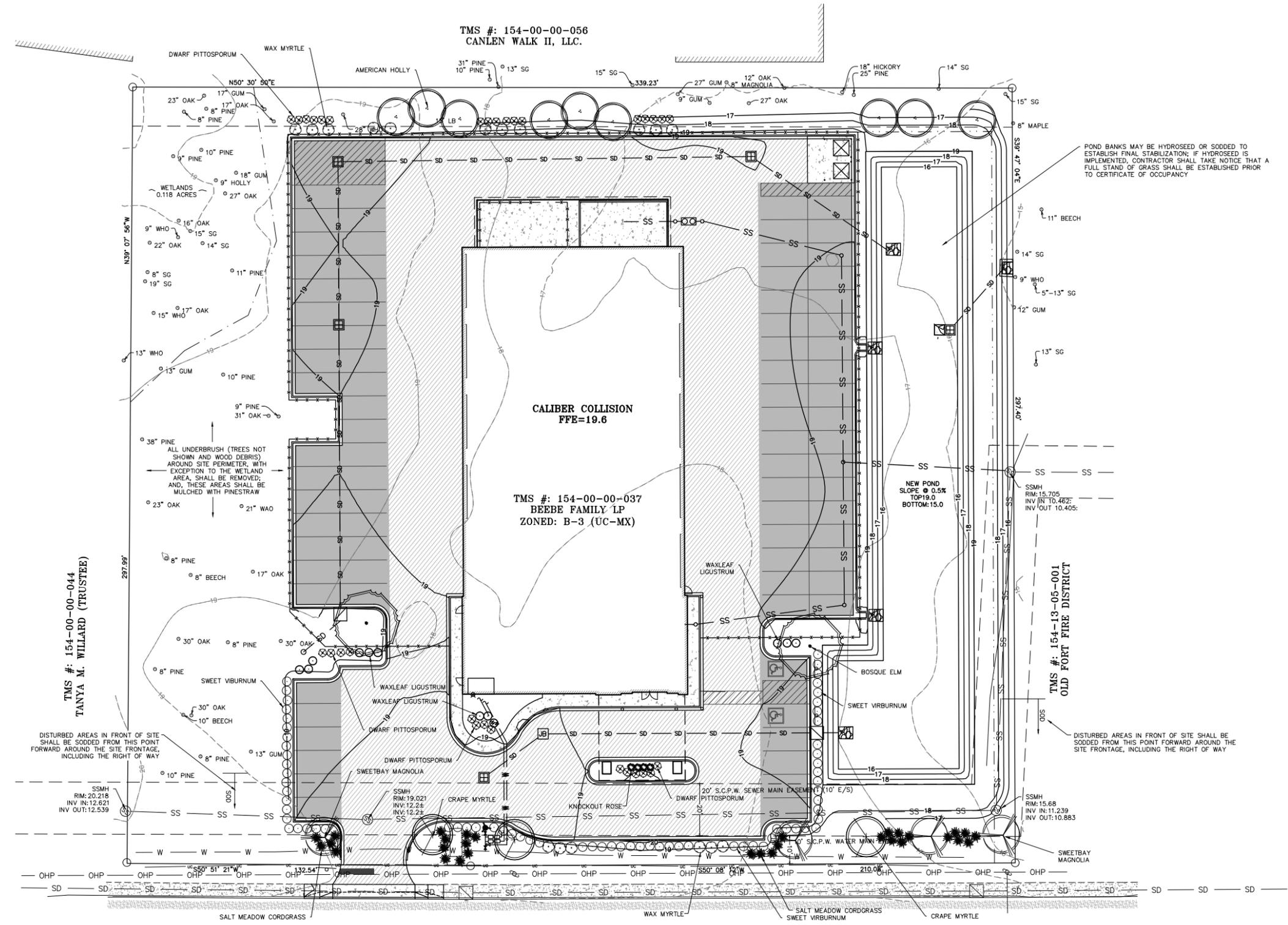
PROFILE VIEW OF ES10-GI11
SCALE
H: 1"=20
V: 1"=2

REV	DATE	DESCRIPTION	BY

DRAWN BY: Rob Zahurak, P.E.
CHECKED BY: Kyle M. Hoyt, P.E.
DATE: January 31, 2020
PROJECT #: 19-095
SCALE: 1" = 20'
SHEET TITLE:
Drainage Profiles

REV	DATE	DESCRIPTION

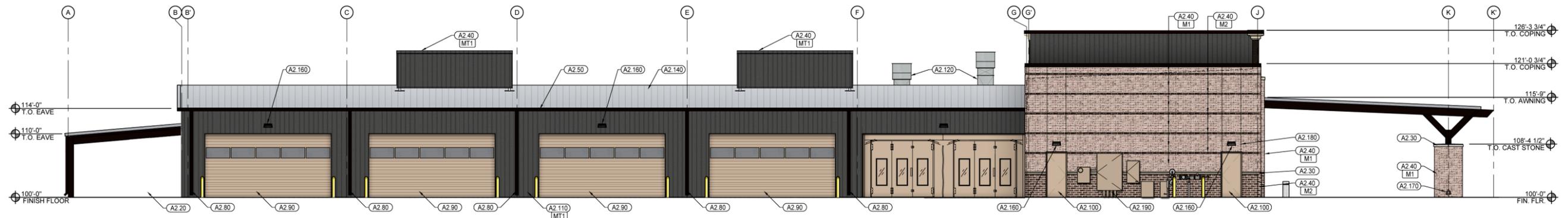
DRAWN BY: Rob Zahurak, P.E.
CHECKED BY: Kyle M. Hoyt, P.E.
DATE: January 31, 2020
PROJECT #: 19-096
SCALE: 1" = 20'
SHEET TITLE: Landscape Plan
SHEET NUMBER:



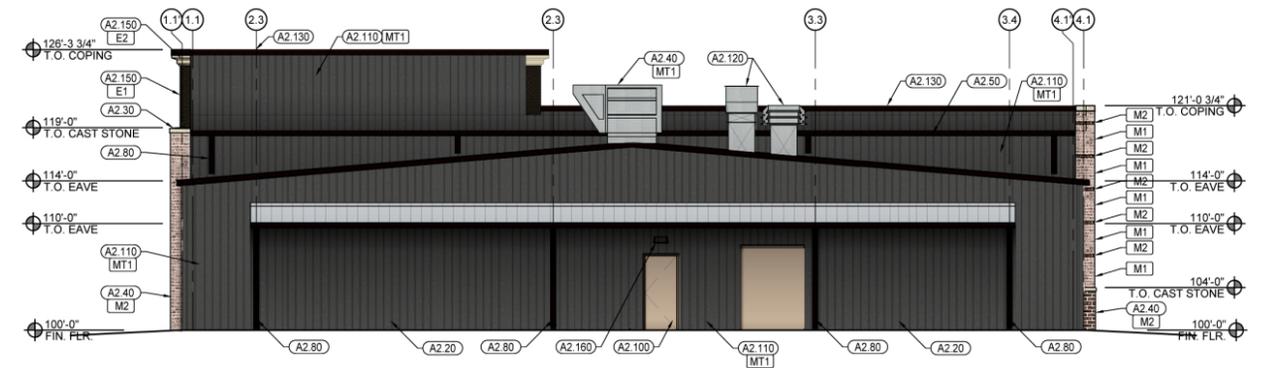
POND BANKS MAY BE HYDROSEED OR SODDED TO ESTABLISH FINAL STABILIZATION; IF HYDROSEED IS IMPLEMENTED, CONTRACTOR SHALL TAKE NOTICE THAT A FULL STAND OF GRASS SHALL BE ESTABLISHED PRIOR TO CERTIFICATE OF OCCUPANCY

DISTURBED AREAS IN FRONT OF SITE SHALL BE SODDED FROM THIS POINT FORWARD AROUND THE SITE FRONTAGE, INCLUDING THE RIGHT OF WAY

DISTURBED AREAS IN FRONT OF SITE SHALL BE SODDED FROM THIS POINT FORWARD AROUND THE SITE FRONTAGE, INCLUDING THE RIGHT OF WAY



04 LEFT ELEVATION
SCALE: 1/8" = 1'-0"
SOUTH



03 REAR ELEVATION
SCALE: 1/8" = 1'-0"
WEST

GENERAL NOTES:

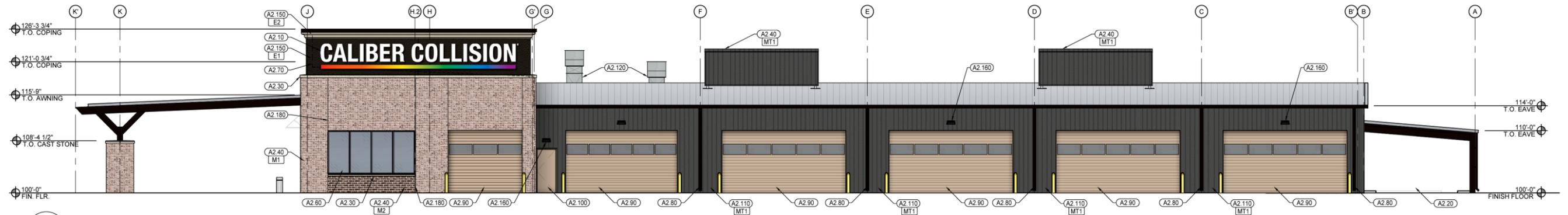
1. DOWNSPOUTS ARE INDICATED FOR SIZE, QUANTITY, AND APPROXIMATE LOCATION ONLY.
2. HOLLOW METAL STEEL DOORS, FRAMES, EXPOSED METAL FLASHING AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR UNLESS NOTED OTHERWISE.
3. CONTRACTOR TO PROVIDE FIRE RETARDANT PLYWOOD BACKING FOR SIGNAGE AS SHOWN. PLYWOOD BACKING TO EXTEND TO WALL EXTENTS.
4. REFER SHEET A1.3 FOR FINISH AND MATERIAL DESIGNATIONS.

FINISH LEGEND:

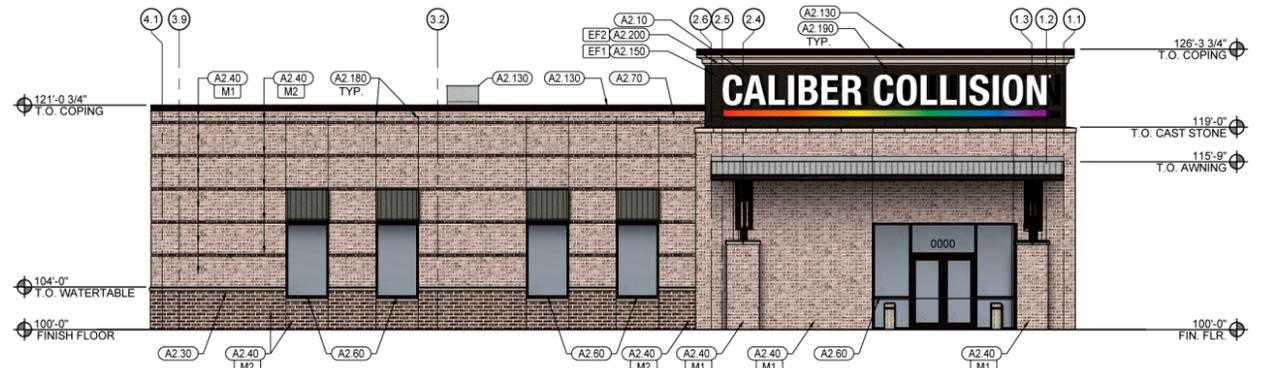
[M1] SAVANNAH GREY (OLD CAROLINA BRICK CO.)
 [M2] BESSEMER GREY (OLD CAROLINA BRICK CO.)
 [EF1] TRICORN BLACK (SW6258)
 [EF2] AMARILLO WHITE (DRYVIT #113)
 [MT1] PRE-FINISHED METAL SIDING "CHARCOAL GRAY-SIGNATURE 200"

KEY NOTES:

[A2 10] SIGNAGE (BY OTHERS)	[A2 110] PRE-FINISHED METAL BUILDING SIDING
[A2 20] CHAINLINK FENCING WITH PRIVACY SLATS, HEIGHT NOTED BESIDE KEYNOTE	[A2 120] EXHAUST AND AIR INTAKE (REF. GARMAT SHEETS)
[A2 30] CAST STONE SILL/ WATER TABLE	[A2 130] PRE-FINISHED METAL COPING - SURREY BEIGE (PROVIDED BY METAL BUILDING AND GC INSTALLED)
[A2 40] BRICK VENEER	[A2 140] PRE-FINISHED METAL BUILDING "R" PANEL ROOFING
[A2 50] METAL GUTTER - SURREY BEIGE (PROVIDED BY METAL BUILDING AND GC INSTALLED)	[A2 150] EIFS CLADDING
[A2 60] STOREFRONT/GLAZING	[A2 160] WALL MOUNTED LIGHT FIXTURE (REFER MEP)
[A2 70] ROOF LINE BEYOND	[A2 170] INTERNAL DOWNSPOUT
[A2 80] PRE-FINISHED 6" W x 4" D (SQUARE) METAL DOWNSPOUT - SURREY BEIGE (PROVIDED BY METAL BUILDING AND GC INSTALLED)	[A2 180] CONTROL JOINT
[A2 90] FACTORY FINISHED OVERHEAD DOOR	[A2 190] ELECTRICAL EQUIPMENT
[A2 100] HOLLOW METAL DOOR AND FRAME	[A2 200] EIFS CORNICE
	[A2 210] NATURAL STONE VENEER
	[A2 220] MECHANICAL EQUIPMENT SCREENING

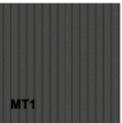


02 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
NORTH



01 FRONT ELEVATION
SCALE: 1/8" = 1'-0"
EAST

FACADE FINISH PALLETTE

 EF1 SW 6258 TRICORN BLACK	 EF2 PRE-FINISHED EIFS 113 AMARILLO WHITE	 DOOR SW 6106 KILIM BEIGE
 M2 OLD CAROLINA BRICK CO. "BESSEMER GREY"	 M1 OLD CAROLINA BRICK CO. "SAVANNAH GREY"	 MT1 PRE-FINISHED METAL SIDING "CHARCOAL GRAY-SIGNATURE 200"

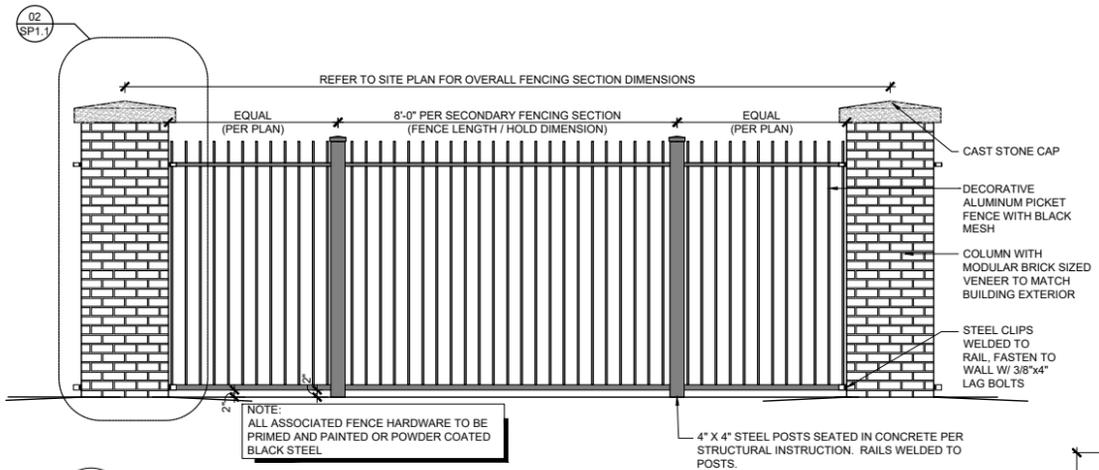
Brian RUMSEY
 BRIAN RUMSEY
 879 JUNCTION DR.
 ALLEN, TEXAS 75013
 PH: 972.398.6644

CALIBER COLLISION

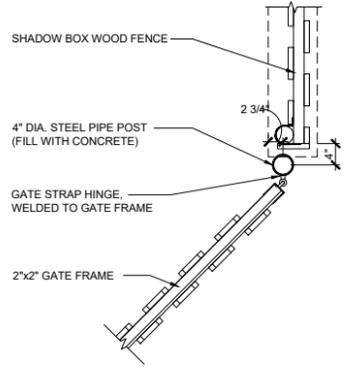
CONCEPTUAL ELEVATIONS

4234 LADSON RD.
 SUMMERVILLE, SC

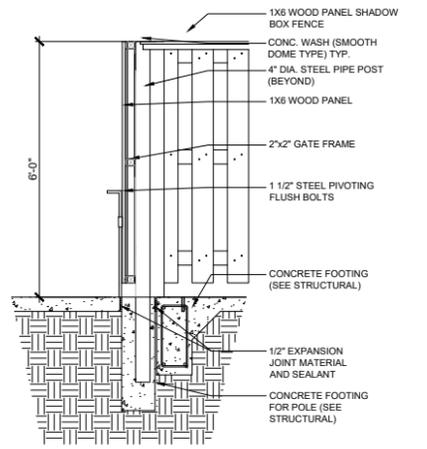
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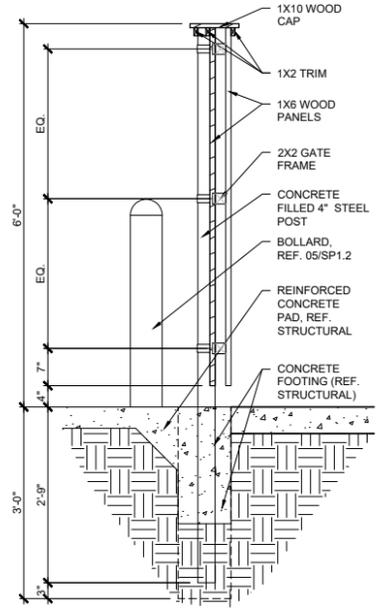
9 FENCE DETAIL
SCALE: 3/4" = 1'-0" SOUTH



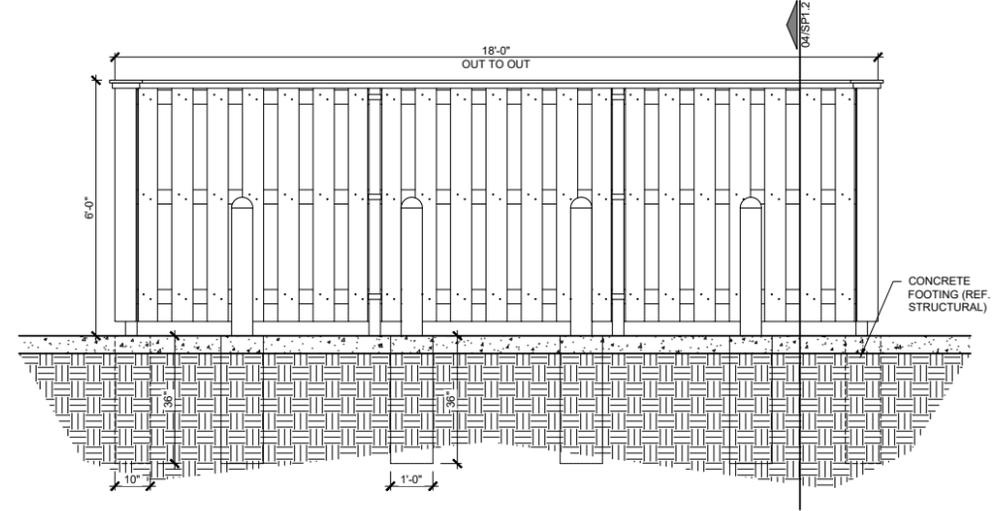
07 DETAIL @ GATE HINGE
SCALE: 3/4" = 1'-0"



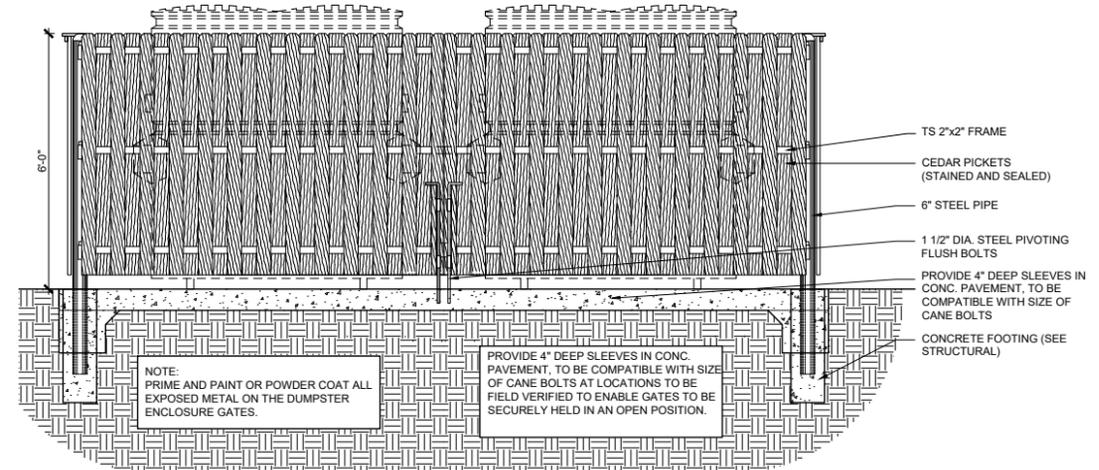
06 SECTION @ TRASH ENCLOSURE
SCALE: 3/4" = 1'-0"



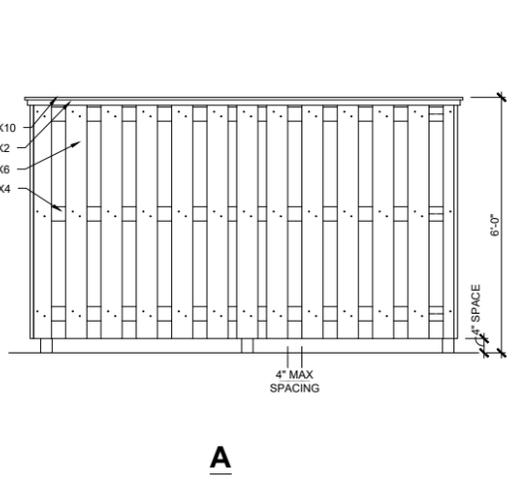
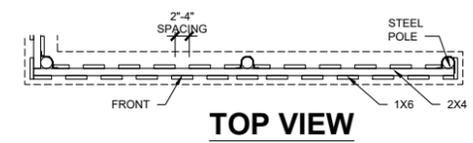
05 SECTION @ TRASH ENCLOSURE
SCALE: 3/4" = 1'-0"



08 DUMPSTER ENCLOSURE FRONT ELEVATION
SCALE: 1/2" = 1'-0"

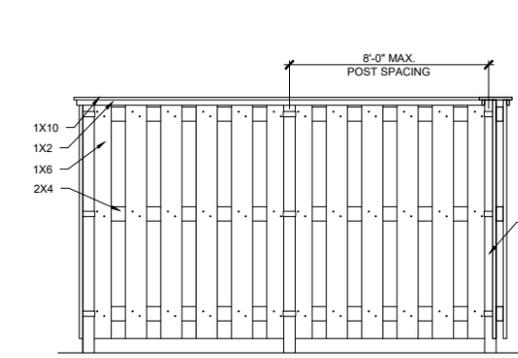


04 DUMPSTER ENCLOSURE FRONT ELEVATION
SCALE: 1/4" = 1'-0"

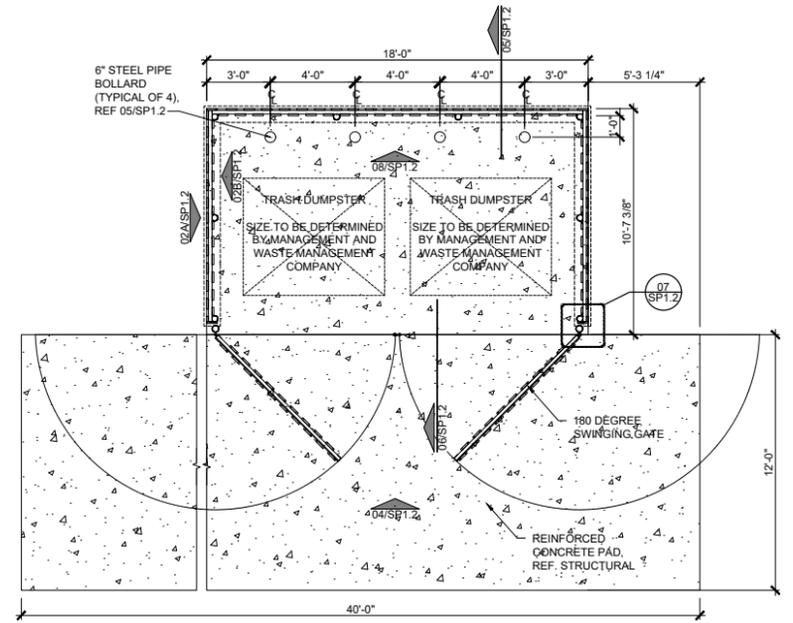


02 DUMPSTER ENCLOSURE SIDE ELEVATION
SCALE: 1/2" = 1'-0"

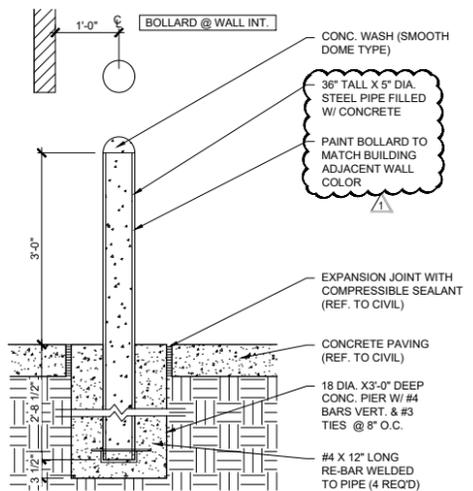
TREATED PINE (USE GALVANIZED NAILS FOR FASTENING). IF ANY PARCEL OF LAND ADJACENT TO THE DEMISED PREMISES IS EITHER ZONED FOR RESIDENTIAL USE OR IS ACTUALLY BEING USED FOR RESIDENTIAL PURPOSES ("RESIDENTIAL PROPERTY"), LESSOR SHALL CONSTRUCT A PRIVACY FENCE IN ACCORDANCE WITH TENANT'S PROTOTYPE PLANS AND ANY APPLICABLE ORNAMENTAL REQUIREMENTS ALONG ANY PORTION OF THE DEMISED PREMISES BORDERING UPON SUCH RESIDENTIAL PROPERTY.



NOTE: NUMBER OF BOARDS WILL VARY DEPENDING ON SPACE BETWEEN BOARDS AND ACTUAL WIDTH OF BOARDS.



01 DUMPSTER ENCL. ENLARGED PLAN
SCALE: 1/4" = 1'-0"



03 BOLLARD (TYP.)
SCALE: 3/4" = 1'-0"

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
01/28/20

Brian RUMSEY

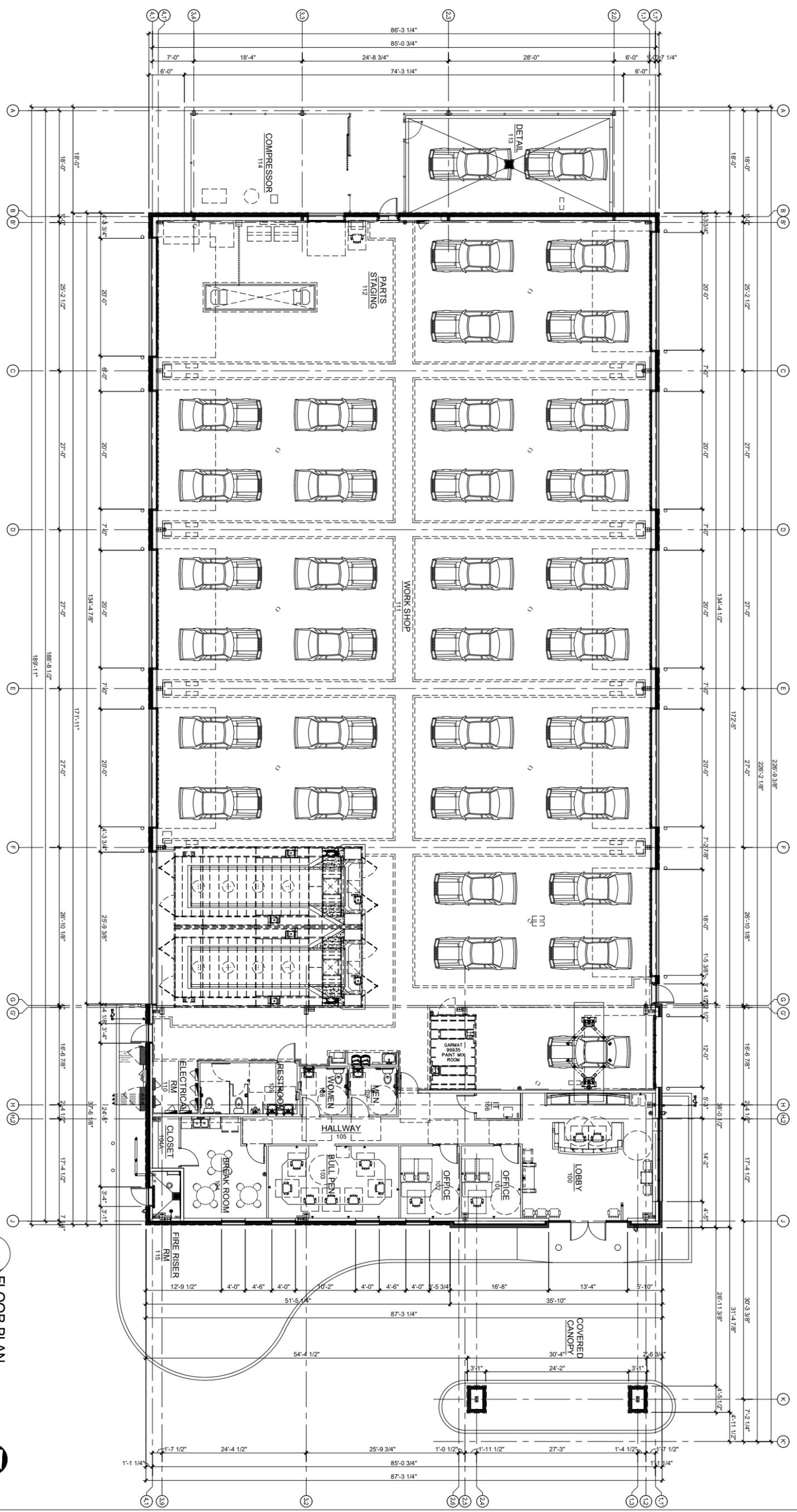
ARCHITECT:
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CALIBER COLLISION
4234 LADSON RD.
SUMMERVILLE, SOUTH CAROLINA

DATE: 01/28/2020
PROJECT NUMBER: 19106
REVISIONS

NO. DATE
DRAWINGS ISSUED FOR: PLANNING
SHEET NUMBER

SP1.2
TRASH ENCLOSURE DETAILS
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GENERAL NOTES:

1. ALL DIMENSIONS NOTED OR SHOWN ARE TAKEN FROM FACE OF STUDY/CMU UNLESS NOTED OTHERWISE.
2. ALL EQUIPMENT IS NOT SHOWN FOR CLARITY (REFER SHEET A1.4 FOR ALL EQUIPMENT).
3. FIRE SPRINKLER ALARM SYSTEM TO BE DESIGNED BY A LICENSED FIRE PROTECTION CONTRACTOR. INSTALL LATERAL LINES TO STRUCTURE AGAINST THE BOTTOM OF STRUCTURE.
4. GC TO INSTALL FIRE EXTINGUISHERS PER THE FIRE MARSHAL RECOMMENDATIONS AND LOCATIONS.
5. REFER SHEET A3.6 FOR PARTITION TYPE, CONTROL JOINT AND METAL STUD INFORMATION.

PARTITION LEGEND

	1 HOUR RATED UL188B GYPSUM BOARD ON 2x4x8 CEMENT BOARD
	NEW METAL STUD WALL
	ACOUSTICAL INSULATION FULL WALL THICKNESS
	CHAIN LINK FENCE
	INDICATES FRP (REF. FIN. SCHEDULE AND ELEVATIONS)
	INDICATES 8.0' HIGH FIRE RETARDANT 3/4" PLYWOOD WAINSCOT (REF. FIN. SCHEDULE AND ELEVATIONS)
	STONE OR BRICK VENEER
	SOUND ATTENUATION WALL

01 FLOOR PLAN
SCALE: 1/8" = 1'-0"



CALIBER COLLISION
4234 LADSON RD.
SUMMERVILLE, SOUTH CAROLINA

ARCHITECT:
BRIAN RUMSEY
879 JUNCTION DR.
ALLEN, TEXAS 75013
P: 972.398.6644



PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION
01/28/20

DATE:	01/28/2020
PROJECT NUMBER:	19106
NO.	DATE
REVISIONS	
NO.	DATE
REVISIONS	

DRAWINGS ISSUED FOR:
PLANNING

SHEET NUMBER:
A1.0

FLOOR PLAN

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Property Frontage - Southeast Corner



Adjacent Development North Side



Adjacent Development West Side at Property Line



Property Frontage - Southwest Corner



Adjacent Development West Side Street View



Property Frontage - Street View



Adjacent Development East Side Street View



Existing Development Opposite Side of Ladson Road



Adjacent Development East Side at Property Line

**STAFF REPORT
CDRB Meeting
February 20, 2020 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: February 11, 2020

GENERAL INFORMATION

Applicant: Christine Garcia
Property Owner: Trolley Car Wash LLC
Requested Action: The applicant is requesting Final Approval of the proposed renovation and reuse of the existing carwash into office space
Requested Approval: Final Approval
Existing Zoning: UC-MX
Adjacent Zoning: **North:** MF-R
South: UC-MX
East: MF-R
West: UC-MX and Out – Dorchester County
Location: 605 Old Trolley Road
Existing Land Use: Closed Car Wash
Last Meeting: Preliminary Approval 01/2020
Conceptual Review 12/2019

Ordinance Reference: Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

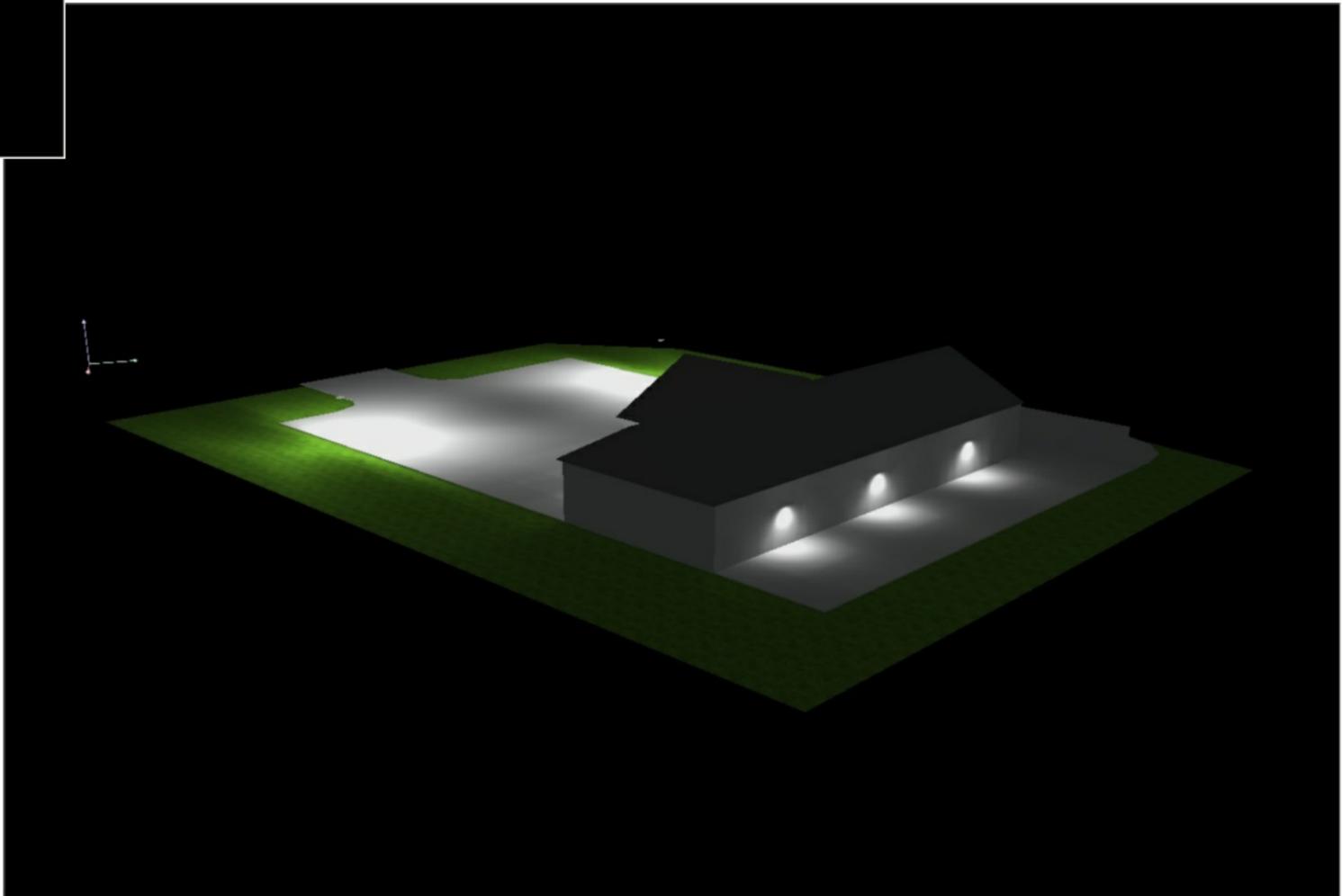
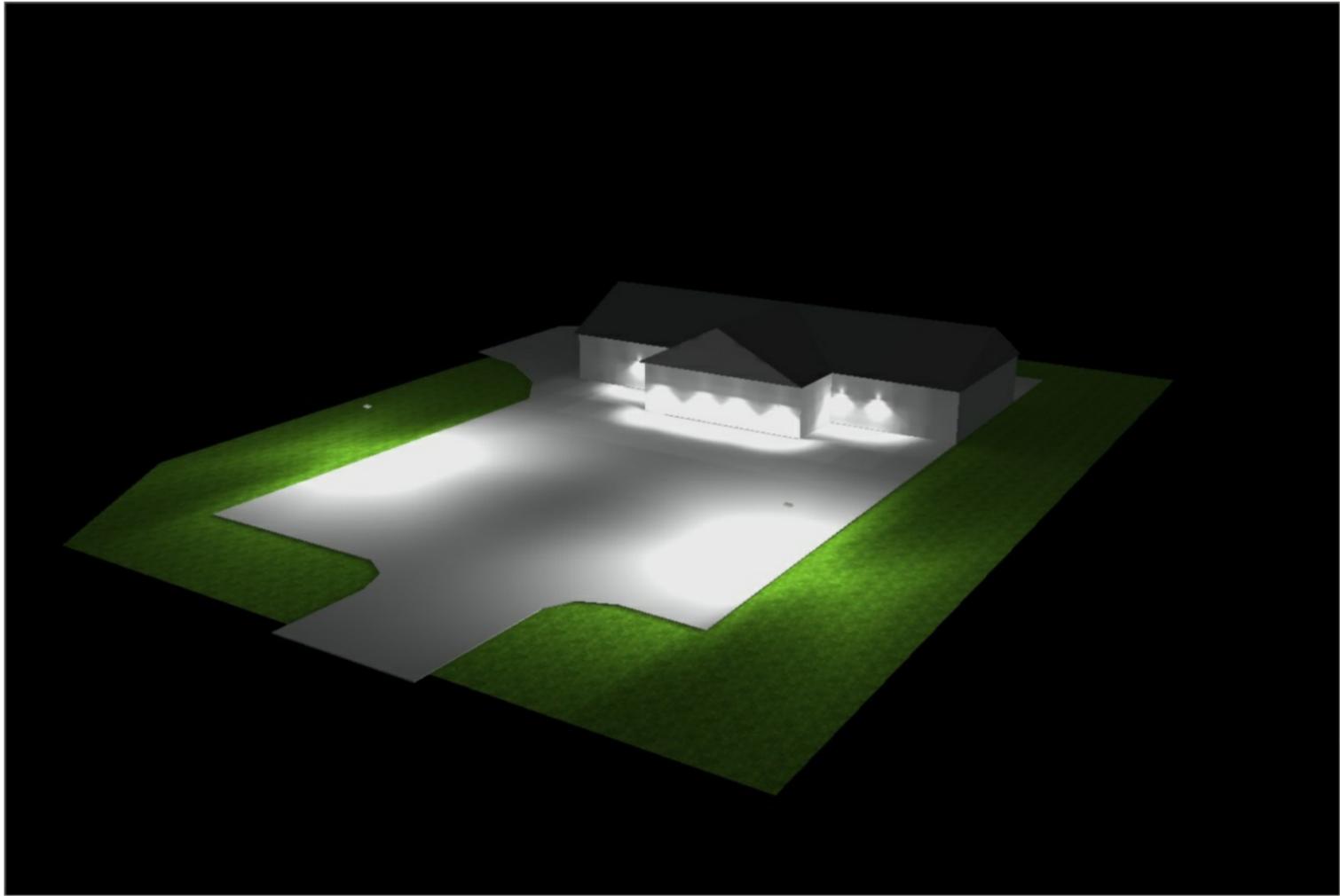
Based upon staff review, staff feels that all conditions from the prior meeting have been met. Additionally the landscaping plan identifies more materials that are existing on-site. Staff's concern is that the existing vegetation does not meet the height requirements, and being mature plantings will never meet the height requirements. Staff recommends the planting of a hedgerow adjacent to the parking facing Martins Creek Boulevard per section 8.5.2.D.



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 606 Old Trolley Road
 Suite 202
 Summerville, SC 29485
 843-821-1678



LANDSCAPE PLAN

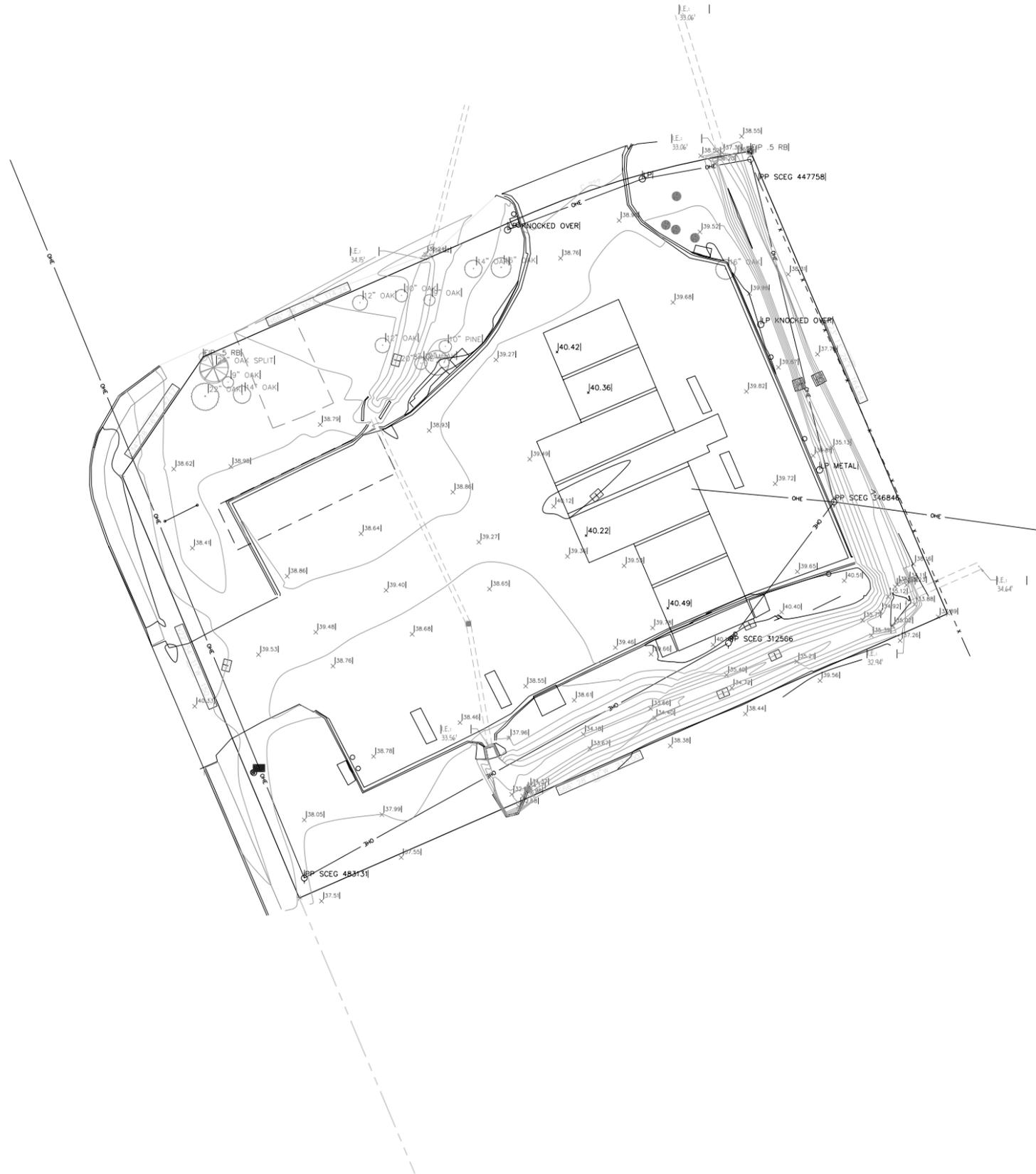




LEGEND

=====	BUILDING OUTLINE
=====	CONCRETE CURB & GUTTER
-----	EXISTING MAJOR CONTOUR
-----	EXISTING MINOR CONTOUR
-----	EXISTING R/W
-----	EXISTING PROPERTY LINE
-----	EXISTING EASEMENT
-----	UNDERGROUND ELECTRICAL (LEVEL B)
-----	UNDERGROUND COMMUNICATIONS (LEVEL B)
-----	WATER LINE (LEVEL B)
-----	HIGH PRESSURE STEAM (LEVEL B)
-----	GAS LINE (LEVEL B)
-----	SANITARY LINE
-----	STORM DRAIN
-----	UNDERGROUND ELECTRICAL (LEVEL C)
-----	OVERHEAD ELECTRIC AND COMMUNICATION LINES
-----	UNDERGROUND COMMUNICATIONS (LEVEL C)
-----	WATER LINE (LEVEL C)
-----	HIGH PRESSURE STEAM (LEVEL C)
-----	GAS LINE (LEVEL C)
-----	TREE LINE

●	COMMUNICATION MANHOLE
●	DRAINAGE MANHOLE
■	ELECTRIC TRANSFORMER/ JUNCTION BOX
○	FIRE HYDRANT
○	GAS VALVE
○	GAS METER
○	GAS VENT
○	GUY WIRE
○	LIGHT POLE
○	POST INDICATOR VALVE
○	POWER POLE
○	SEWER CLEANOUT
○	SEWER MANHOLE
■	TELEPHONE PEDESTAL/JUNCTION BOX
■	TELEVISION PEDESTAL/JUNCTION BOX
○	WELL
○	WATER METER
○	WATER VALVE



GENERAL NOTES:

- HORIZONTAL DATUM: NAD 1983/2011(SC)
VERTICAL DATUM: NAVD 1988
- SURVEY BASED ON PHYSICAL EVIDENCE FOUND ON MONTH 2019.
- BOUNDARY INFORMATION TAKEN FROM PLATS AS SHOWN.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT REPORT. M. H. WEATHERFORD, PE, PLS. DOES NOT CLAIM THAT ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.
- BROKEN LINES INDICATE ADJOINER PROPERTY LINES AND ARE NOT PART OF THIS SURVEY.
- THE OFF-SITE RIGHT-OF-WAY/PROPERTY LINE SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAY/PROPERTY LINES SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT-OF-WAY WIDTH/PROPERTY LINE OF ANY ADJACENT PROPERTIES.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN 2000' OF A HORIZONTAL NGS MONUMENT.
- HORIZONTAL COORDINATES BASED UPON RTK GPS OBSERVATIONS USING SPECTRA PRECISION SP 80 UNITS. THE NETWORK POSITIONAL ACCURACY OF THE RTK DERIVED POSITIONAL COORDINATES MEETS OR EXCEEDS THE CLASS A HORIZONTAL POSITIONS. COORDINATES BASED UPON GEOID 12B NSRS 2011 AND HAVE A 95% CONFIDENCE RATING. VERTICAL DATUM HAS BEEN ADJUSTED TO NAVD '88.
- PROPERTY MAY BE SUBJECT TO UNRECORDED RIGHT-OF-WAYS OR EASEMENTS NOT OBSERVED.
- AREAS COMPUTED BY COORDINATE METHOD.
- CURRENT PARCEL ZONING: R-1 & B-2
- THIS PROPERTY IS LOCATED WITHIN A FLOOD AREA "X". ACCORDING TO FLOOD INSURANCE RATE MAPS BY FEDERAL EMERGENCY MANAGEMENT AGENCY PANEL NUMBER 45019C0295J DATED 11/17/2004.

TYPE OF PLAT
DESCRIPTION OF PLAT
PROPERTY ADDRESS/ LOCATION
TOWNSHIP/ PARISH
CITY, STATE

M. H. WEATHERFORD, PE, PLS
514 DOGWOOD CIRCLE
SUMMERVILLE, SC 29485
843-408-8661
PROFESSIONAL ENGINEER, NC, WI
PROFESSIONAL LAND SURVEYOR, GA, SC, NC, VA, MD, KY, PA



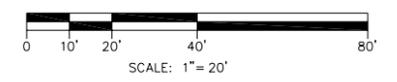
PRELIMINARY
FOR REVIEW ONLY

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

MARION H. WEATHERFORD S.C.P.L.S. #25146

LEGEND

-----	PROPERTY LINE SURVEYED
-----	ADJOINER PROPERTY LINES
-----	EXISTING EASEMENT LINES
-----	WETLANDS/ CRITICAL LINES
-----	EXISTING RIGHT OF WAY
-----	OCRM
-----	CONCRETE MONUMENT
-----	EXISTING IRON PIN (EIP)
●	COMPUTED POINT



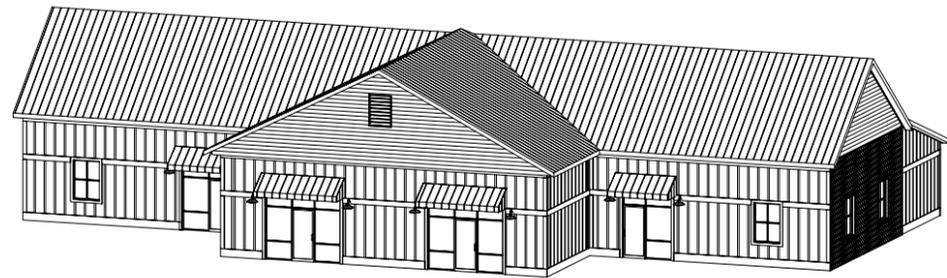
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DRAWN BY: XXX
CHECKED BY: XXX
FILE #: XXX-XXX-SRV
DATE: XX-XX-2019

SHEET
1 OF 1

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PROFESSIONAL OFFICES 605 TROLLEY ROAD SUMMERVILLE, SC



BASIC INFORMATION

MUNICIPALITY TOWN OF SUMMERVILLE
 TMS# 153-00-00-004.00
 ZONING UC-MX URBAN COORIDOR - MIXED USE

EXISTING FOOT PRINT 3585 SF

NEW SPACE
 UNIT A 1295 SF
 UNIT B 2405 SF
 UNIT C 1295 SF
 TOTAL 4995 SF

FLOOD ZONE
 ZONE "X"
 FEMA FIRM MAP 45015C-0338E DATED 7/18/2017

UTILITY PROVIDERS

ELECTRIC - SOUTH CAROLINA ELETRICE & GAS
 WATER/WASTE - DORCHESTER COUNTY WATER AUTHORITY

SCOPE OF PROJECT

PROJECT CONSISTS OF RENOVATING THE EXISTING CAR WASH INTO A PROFESSIONAL OFFICE BUILDING.

THE FOLLOWING PHASES WILLBE CONDUCTED TO COMPLETE THE RENOVATION

1. SITE PREPARATION

REMOVAL OF CANOPY OVER CAR VACUUM PEDISTALS.
 REMOVAL OF VACUUM EQUIPMENT AND PEDISTALS.
 REMOVAL OF OTHER SITE ELEMENTS USED FOR CAR WASH.
 REMOVAL OF CAR WASH EQUIPMENT LOCATED IN WASH BAYS AND ROOMS OF STRUCTURE.

2. DEMOLITION OF UNREINFORCED ELEMENTS

THE ORIGINAL STRUCTURE CONSISTS OF A STEEL POST, STEEL BEAM STEEL PURLIN SYSTEM. THE ROOF WAS CREATED BY METAL DECK SUPPORTED ON PURLINS. BRICK VENERER WALLS WERE CREATED TO CREATE WASH BAYS AND WRAP STEEL COLUMNS. BRICK VENERER WAS NOT ATTACHED TO THE ROOF SYSTEM AND ONLY PROVIDED LATERAL SUPPORT TO THE STEEL COLUMNS.

STRUCTURE WAS LATER RENOVATED. THIS RENOVATION PROVIDED ADDITIONAL ROOMS, A NEW FRONT CANOPY AND A GABLE ROOF SYSTEM PLACED ON TOP OF THE EXISTING METAL DECK, STEEL SUPPORT SYSTEM. ALSO WASH BAY WALLS WERE INFILLED WITH ADDITIONAL MASONRY. NO CONNECTIONS WERE MADE BETWEEN THE ROOF SYSTEM AND THE BRICK VENERER WALL SYSTEMS.

THE BAY SYSTEM IS NOT SUITED FOR A PROFESSIONAL OFFICE SPACE AND THE BRICK VENERER SYSTEM DOES NOT PROVIDE ANY LATERAL SUPPORT TO THE ROOF DUE TO THE LACK OF CONNECTIONS. ALSO THE LACK OF REINFORCEMENT MAKES IT UNSUITABLE TO FOR SEISMIC LATERAL RESISTANCE.

THE BRICK VENERER SYSTEM WILL BE REMOVED. THE STEEL FRAME AND ROOF SYSTEM WILL REMAIN. THIS WILL REQUIRE SHORING AND BRACING OF THE ROOF SYSTEM UNTIL NEW LATERAL FORCE ELEMENTS CAN BE CONSTRUCTED.

3. NEW CONSTRUCTION

NEW EXTERIOR WALLS WILL BE CONSTRUCTED TO ENCLOSE THE SPACE BELOW THE EXISTING ROOF SYSTEM. THESE ELEMENTS WILL ALSO PROVIDE THE LATERAL FORCE RESISTANCE TO THE RENOVATED STRUCTURE.

SITE PLAN WILL BE MODIFIED TO ALLOW PARKING AND ACCESSIBILITY.

NEW MECHANICAL AND ELECTRICAL ELEMENTS WILL BE ADDED FOR USABLE SPACES.

GENERAL NOTES

THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.

ALL EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR. FAILURE TO VERIFY THE EXISTING CONDITIONS SHALL RELIEVE GENERAL CONTRACTOR OF ANY EXPENSES OR RESPONSIBILITY RESULTING FROM THAT FAILURE. ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS, AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK.

EACH CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING PERMITS, LICENSES AND CERTIFICATES OF OCCUPANCY. COPIES OF PERMITS ARE TO BE POSTED PRIOR TO COMMENCING WORK. ONE APPROVED SET OF DRAWINGS SHALL BE KEPT ON THE PREMISES AT ALL TIMES.

ALL INSTALLATIONS SHALL COMPLY WITH ALL LOCAL AND NATIONAL CODES AND WITH THE REQUIREMENTS OF THE OWNER.

ALL WORK SHALL INCLUDE THE COMPLETION OF SUCH DETAILS NOT MENTIONED OR SHOWN WHICH ARE NECESSARY FOR THE SUCCESSFUL OPERATION OF ALL SYSTEMS SHOWN.

CONTRACTOR OR SUBCONTRACTORS WISHING TO SUBSTITUTE MATERIALS MUST SUBMIT SPECIFICATIONS FOR SUBSTITUTE MATERIALS TO THE ENGINEER FOR APPROVAL.

ANY MATERIALS OR EQUIPMENT SUBSTITUTIONS WITHOUT PRIOR APPROVAL BY THE ENGINEER WILL RESULT IN REPLACEMENT WITH CORRECT MATERIALS OR EQUIPMENT AS SPECIFIED AT THE SOLE COST OF THE GENERAL CONTRACTOR.

ALL SUB-CONTRACTORS ARE TO RECEIVE FULL WORKING DRAWINGS FROM THE GENERAL CONTRACTOR FOR BIDDING AND CONSTRUCTION.

ALL FIXTURES, MATERIALS, EQUIPMENT AND FINISHES SUPPLIED BY THE CONTRACTOR TO BE NEW UNLESS OTHERWISE SPECIFIED.

THE GENERAL CONTRACTOR SHALL PROVIDE OWNER WITH A COMPLETE SET OF "AS BUILT" PLANS AFTER PROJECT COMPLETION.

THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

'TYP.' MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS NOTED OTHERWISE, DETAILS ARE KEYED AND NOTED 'TYP.' ONLY ONCE WHEN THEY FIRST OCCUR.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER OTHER DRAWINGS FOR LAYOUT DIMENSIONS AND NUMBER OF ITEMS PROVIDED. UPON DISCOVERY OF DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND ENGINEERING DRAWINGS, ENGINEER SHALL BE NOTIFIED.

DIMENSIONS SHOWN ON PLANS ARE TO FACE OF STRUCTURAL WALL MEMBERS UNLESS OTHERWISE NOTED OR DETAILED.

No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE
 606 Old Trolley Road
 Suite 202
 Summerville, SC 29485
 843-821-1678

Sheet Title
GENERAL NOTES

Date
3 FEB 20

Scale
NONE

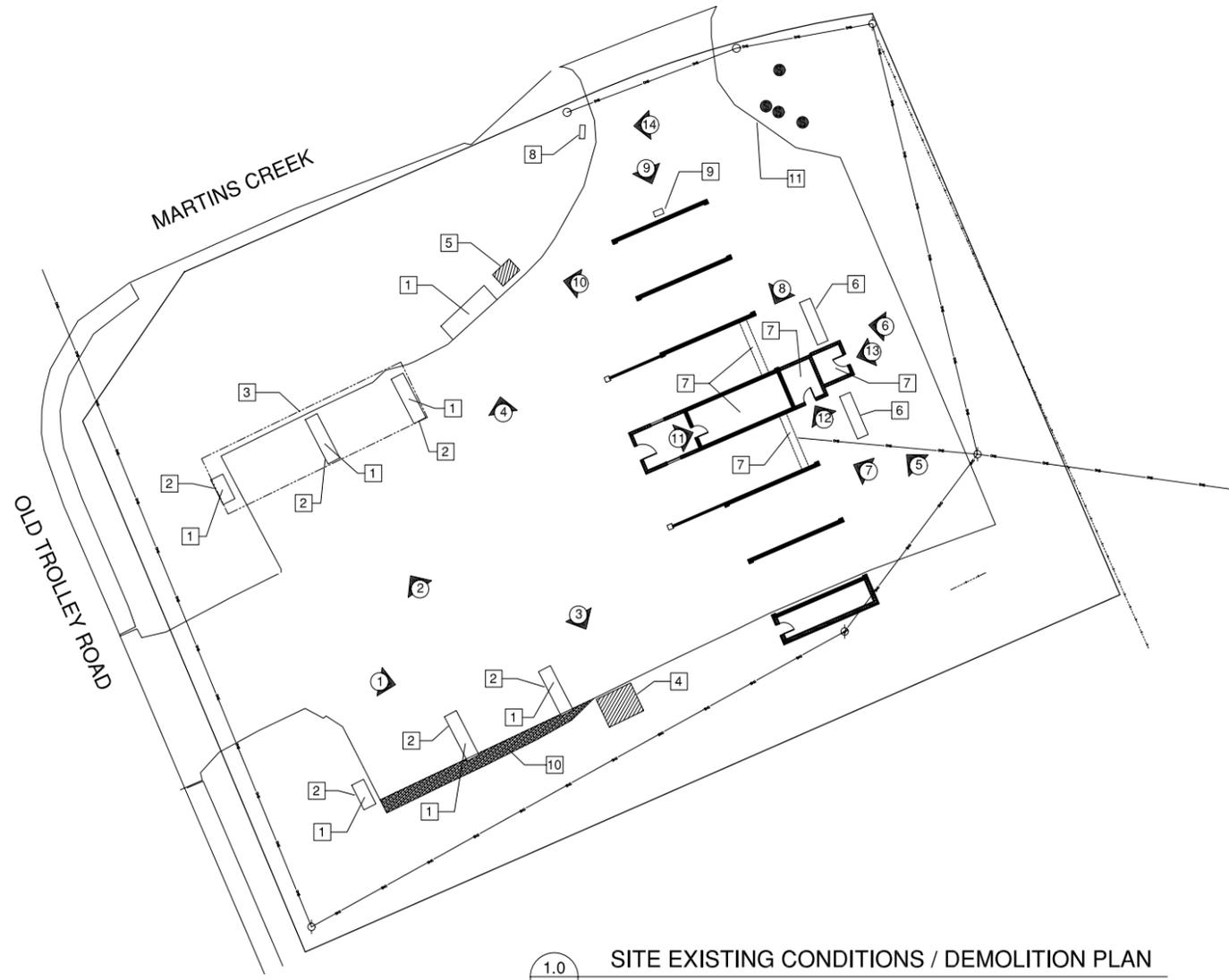
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CDRB - APPROVAL

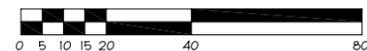
SHEET NUMBER DESIGNATION	
N1.0	SCOPE OF PROJECT / GENERAL NOTES / INDEX
X1.0	EXISTING CONDITIONS / SITE DEMOLITION PLAN
C1.0	SITE PLAN
C1.1	LANDSCAPE PLAN
C1.2	PHOTOMETRIC PLAN
C2.0	SITE DETAILS
C2.1	SITE DETAILS
A1.0	FLOOR PLAN
A2.0	ELEVATIONS

SYMBOL LEGEND				
DRAWING NUMBER SHEET DRAWING IS SHOWN ON DRAWING LABEL	SECTION NUMBER SHEET SECTION IS SHOWN ON BUILDING SECTION	ELEVATION HEIGHT	WINDOW KEY	ROOM LABEL
		DOOR KEY	ROOF PITCH	ROOM NUMBER

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1.0 SITE EXISTING CONDITIONS / DEMOLITION PLAN
X1.0 SCALE: 1"=20'

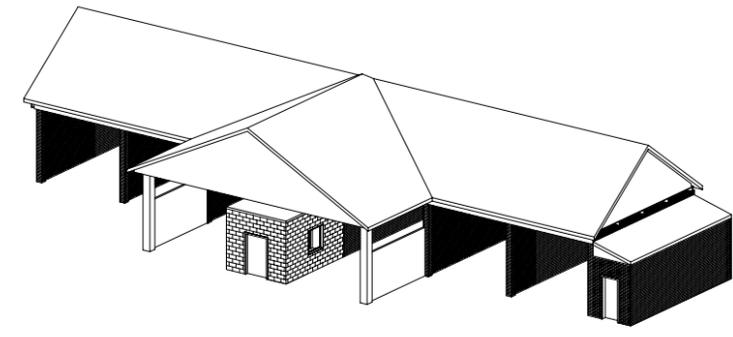


DEMOLITION NOTES

- 1 VACUUM EQUIPMENT
- 2 VACUUM EQUIPMENT MASONRY PEDESTAL
- 3 DOWN TO CONCRETE SLAB METAL CANOPY
- 4 VENDING MACHINES / WOOD VENDING MACHINE ENCLOSURE
- 5 WOOD SHED
- 6 AIR DRYERS
- 7 ALL CAR WASH EQUIPMENT
- 8 TELEPHONE BOOTH
- 9 REMOVE AIR PUMP STATION
- 10 REMOVE CONCRETE SLAB
- 11 REMOVE CURB

LEGEND

① HORIZONTAL VIEW IN DIRECTION OF ARROW



EXISTING ISOMETRIC



No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE

606 Old Trolley Road
Suite 202
Summerville, SC 29485
843-821-1678

Sheet Title
**EXISTING CONDITIONS /
SITE DEMO**

Date
3 FEB 20

Scale
1" = 20'-0"

Sheet
X1.0

CDRB - APPROVAL

PROFESSIONAL OFFICE
605 OLD TROLLEY ROAD
SUMMERVILLE, SC

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PARKING

PARKING SPACES BASED ON WORST CASE OF MEDICAL OFFICE OR ALL OTHER OFFICE SPACE.

3 PER 1000 FT² = (3 / 1000) x 4995 = 14.98 USE 17 SPACES
 MAXIMUM = 2 x 17 = 34 SPACES

USE 1 SPACE AS HANDICAP PARKING SPACE - VAN ACCESSIBLE

SITE NOTES

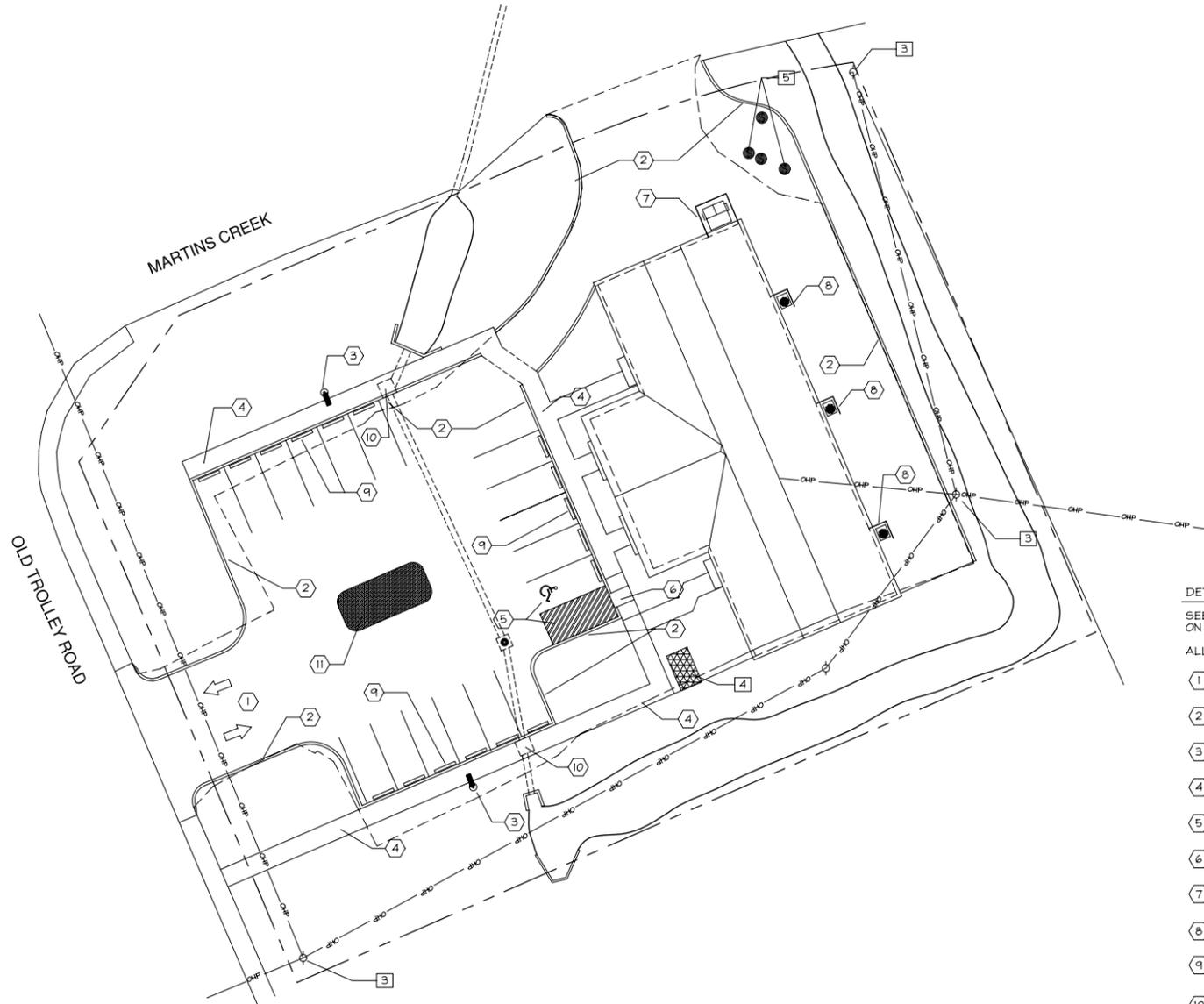
SEE C2.0 AND C2.1 FOR ALL DETAILS SHOWN ON THIS PLAN

- 1 4" TRAFFIC YELLOW LANE STRIPES - TYPICAL
- 2 4" BABY BLUE LANE STRIPES FOR ALL HANDICAP SPACES
- 3 EXISTING WOOD POWER POLE WITH EXTERIOR LIGHTING
- 4 BICYCLE PARKING AREA
- 5 GREASE TRAP & OIL SEPERATOR TANKS TO REMAIN



**KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG**

THE SOUTH CAROLINA STATE LAW REQUIRES THAT EXCAVATORS GIVE A 72--HOUR NOTICE, (3 WORKING DAYS EXCLUDING WEEKENDS AND HOLIDAYS), FOR THE LOCATORS TO GET OUT TO MARK THE AREA. AFTER A TICKET HAS BEEN PROCESSED, YOU WILL KNOW WHEN YOU ARE LEGALLY FREE TO PROCEED WITH THE DIGGING WORK AND WHICH UTILITIES IN THE AREA P.U.P.S. WILL BE NOTIFYING FOR YOU. ANY UTILITIES THAT P.U.P.S. DOES NOT NOTIFY, YOU WILL BE RESPONSIBLE FOR NOTIFYING DIRECTLY. THE UTILITY COMPANIES ASK THAT YOU LEAVE A 2 1/2 FEET MARGIN ON EACH SIDE OF A MARKED UTILITY LINE. ALSO NOTE THAT YOUR REQUEST IS GOOD FOR 15 WORKING DAYS AFTER IT HAS BEEN PROCESSED BY OUR SYSTEM.



1
C1.0

NEW SITE PLAN

SCALE: 1"=20'



DETAIL NOTES

SEE C2.0 AND C2.1 FOR ALL DETAILS SHOWN ON THIS PLAN

ALL PARKING SPACES TO BE 9' x 19' UNLESS NOTED OTHERWISE

- 1 TRAFFIC FLOW ARROW
- 2 EXTRUDED CURB
- 3 EXTERIOR LIGHTING POLE WITH FOUNDATION
- 4 CONCRETE SIDE WALK
- 5 HANDICAP PARKING SPACE DETAILS
- 6 HANDICAP RAMP IN CONCRETE SIDE WALK
- 7 TRASH DUMPSTER SCREENING
- 8 HVAC UNIT SCREENING
- 9 WHEEL STOP - TYPICAL
- 10 NEW CATCH BASIN - SCDOT TYPE 9
- 11 RED BRICK PAVER - MORTAR BOUND TO EXISTING CONCRETE

PROFESSIONAL OFFICE
 605 OLD TROLLEY ROAD
 SUMMERVILLE, SC

No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE

606 Old Trolley Road
 Suite 202
 Summerville, SC 29485
 843-821-1678

Sheet Title
NEW SITE PLAN

Date
3 FEB 20

Scale
1"=20'-0"

Sheet

C1.0

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TREE PRESERVATION

PARKING HAS BEEN ARRANGED TO ALLOW EXISTING TREES TO REMAIN. ONE (1) PINE TREE WILL BE REMOVED THAT IS DEAD AS IS NOTED ON PLAN.

SITE LANDSCAPE REQUIREMENTS

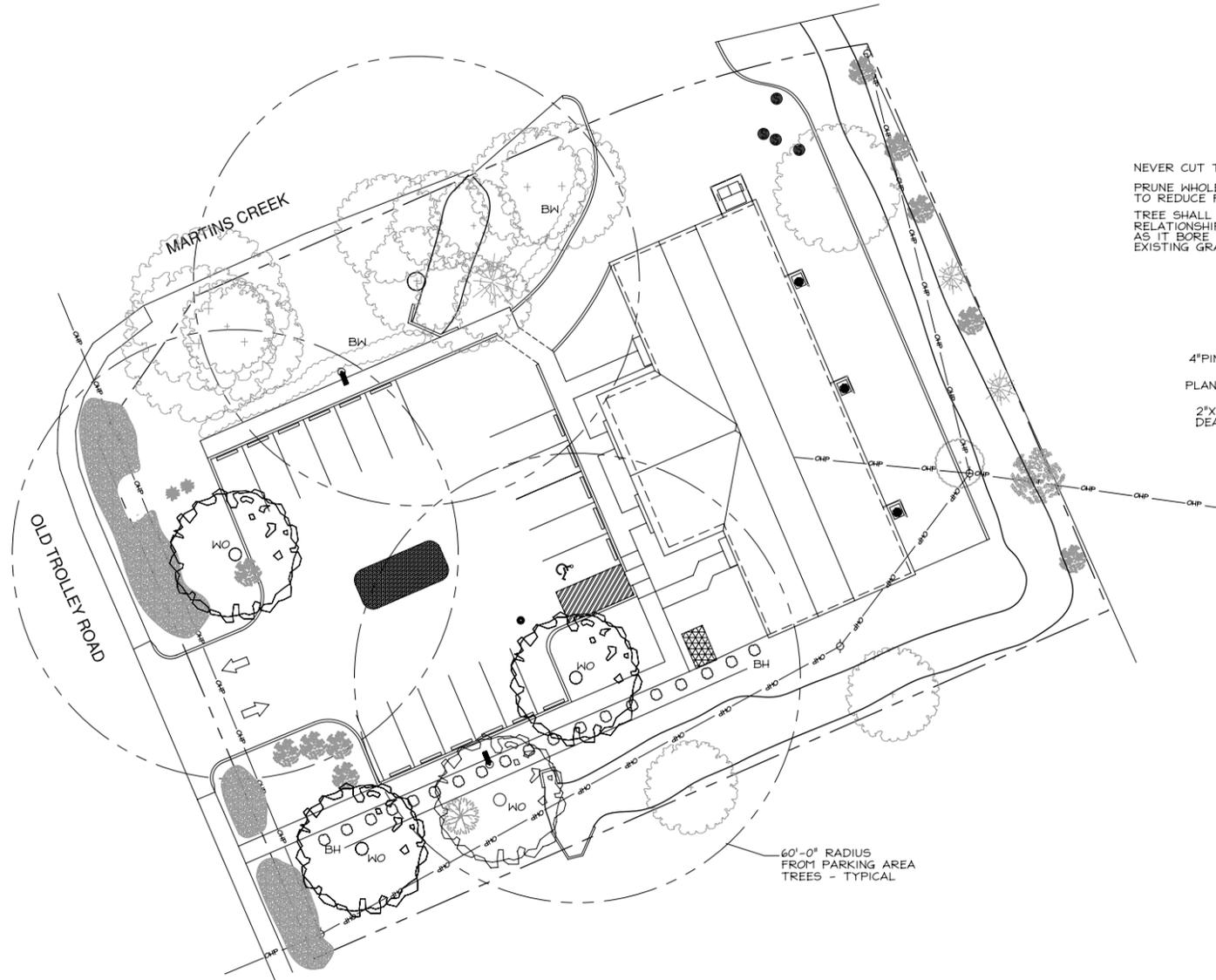
NONE REQUIRED. SITE IS NOT LOCATED IN SUBURBAN BUSINESS DISTRICT (N-G, G-B) OR IN A INDUSTRIAL DISTRICT (L-1, H-1).

PARKING LANDSCAPE REQUIREMENTS

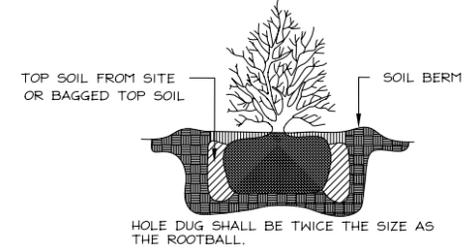
EXISTING TREES ARE USED FOR PARKING REQUIREMENTS AT NORTH SIDE OF PROPERTY. AN ADDITIONAL GARDEN HEDGE HAS BEEN ADDED TO MEET THE ROAD SIDE REQUIREMENT. ADDITIONAL TREES ARE SHRUBS ARE ADDED TO THE SOUTH SIDE OF THE PARKING AREA AS REQUIRED.

BUFFER REQUIREMENTS

NONE REQUIRED. SITE IS NOT ADJACENT TO GR-2, GR-3 OR GR-5 DISTRICTS.

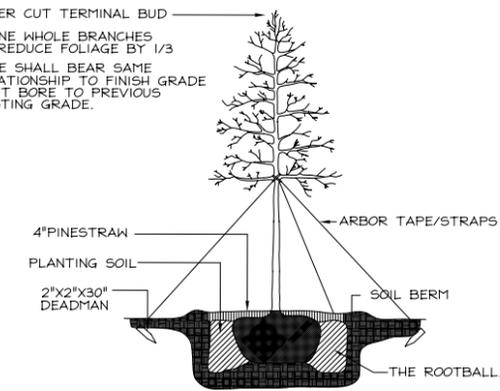


PLANT SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



DETAIL - SHRUB PLANTING
NO SCALE

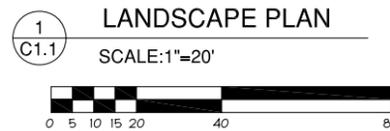
NEVER CUT TERMINAL BUD
PRUNE WHOLE BRANCHES TO REDUCE FOLIAGE BY 1/3
TREE SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



DETAIL - TREE PLANTING
NO SCALE

PLANT SCHEDULE				
TAG	COMMON NAME	BOTANICAL NAME	MIN SIZE @ INSTALL	QUANTITY
WO	CANOPY TREE			
	WILLOW OAK	QUERCUS PHELLOS	2 1/2" CALIPER	4
BH	SHRUBS			
	DWARF BUFORD HOLLY	ILEX COMMUTA	36" HEIGHT	19
BW	HEDGE			
	BOXWOOD	BUXUS SEMPERVIRENS	36" HEIGHT	2

NOTE - EXISTING TREES AND SHRUBS ARE SHOW AS SUBDUED COLOR



No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE
606 Old Trolley Road
Suite 202
Summerville, SC 29485
843-821-1678

Sheet Title
LANDSCAPE PLAN

Date 3 FEB 20	Sheet C1.1
Scale 1"=20'-0"	

CDRB - APPROVAL

PROFESSIONAL OFFICE
605 OLD TROLLEY ROAD
SUMMERVILLE, SC

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EXTERIOR LIGHTING NOTES

MAX INTENSITY 19 Fc
 MIN INTENSITY 0 Fc
 AVERAGE MAINTAINED FOOTCANDLES OVER SITE 1.25 Fc

D-Series Size 2 LEC Area Luminaire



Specifications:
 EIA: 117
 Length: 47"
 Width: 13"
 Height: 7.25"
 Weight: 3.3 lbs

Introduction:
 The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series details the benefits of the latest LED technology and high performance, high efficacy, long life luminaires. The outstanding performance performance results include excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 50% and expected service life of over 100,000 hours.

Ordering Information:
 EXAMPLE: ES32 LED P7 40K T3N MVCLT SPA NL4HR2 PIRIN EDXG

Item #	Qty	Description	Notes	Notes
ES32	1	ES32 LED P7 40K T3N MVCLT SPA NL4HR2 PIRIN EDXG		

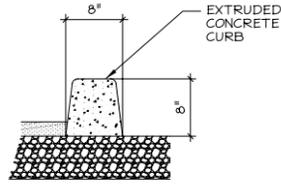
1

Gooseneck LEDlights

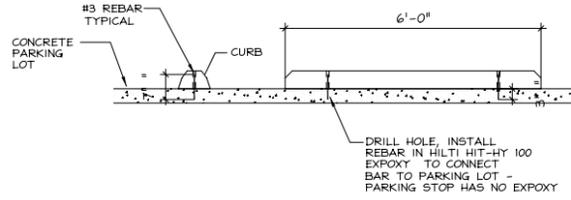
Waterproof with Straight Shade and Gooseneck Arm

The Heavy Duty Straight Shade Gooseneck LED Light fixture is available with Gooseneck arms of various lengths and is designed for outdoor LED lighting applications up to 200 ft. in height. This rugged outdoor fixture is available in 100, 150, 200, 250, 300, 350, 400, 450, 500, 550, 600, 650, 700, 750, 800, 850, 900, 950, 1000, 1050, 1100, 1150, 1200, 1250, 1300, 1350, 1400, 1450, 1500, 1550, 1600, 1650, 1700, 1750, 1800, 1850, 1900, 1950, 2000, 2050, 2100, 2150, 2200, 2250, 2300, 2350, 2400, 2450, 2500, 2550, 2600, 2650, 2700, 2750, 2800, 2850, 2900, 2950, 3000, 3050, 3100, 3150, 3200, 3250, 3300, 3350, 3400, 3450, 3500, 3550, 3600, 3650, 3700, 3750, 3800, 3850, 3900, 3950, 4000, 4050, 4100, 4150, 4200, 4250, 4300, 4350, 4400, 4450, 4500, 4550, 4600, 4650, 4700, 4750, 4800, 4850, 4900, 4950, 5000, 5050, 5100, 5150, 5200, 5250, 5300, 5350, 5400, 5450, 5500, 5550, 5600, 5650, 5700, 5750, 5800, 5850, 5900, 5950, 6000, 6050, 6100, 6150, 6200, 6250, 6300, 6350, 6400, 6450, 6500, 6550, 6600, 6650, 6700, 6750, 6800, 6850, 6900, 6950, 7000, 7050, 7100, 7150, 7200, 7250, 7300, 7350, 7400, 7450, 7500, 7550, 7600, 7650, 7700, 7750, 7800, 7850, 7900, 7950, 8000, 8050, 8100, 8150, 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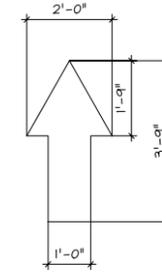
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2
C2.0 DETAIL
SCALE: 1/2" = 1' - 0"

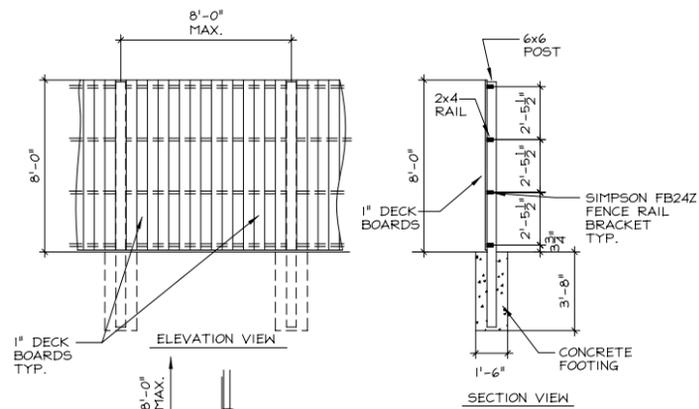


3
C2.0 CURB STOP DETAIL
SCALE: 1/2" = 1' - 0"

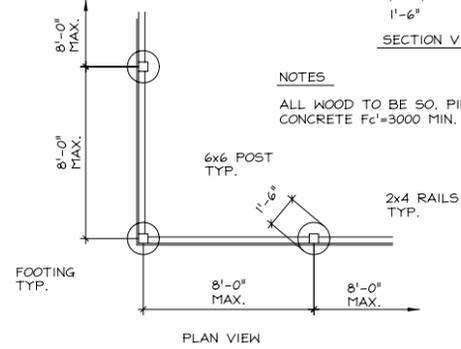


NOTE
ALL TRAFFIC FLOW ARROWS TO
BE SOLID YELLOW REFLECTIVE
TRAFFIC PAINT PER DIMENSIONS
SHOWN

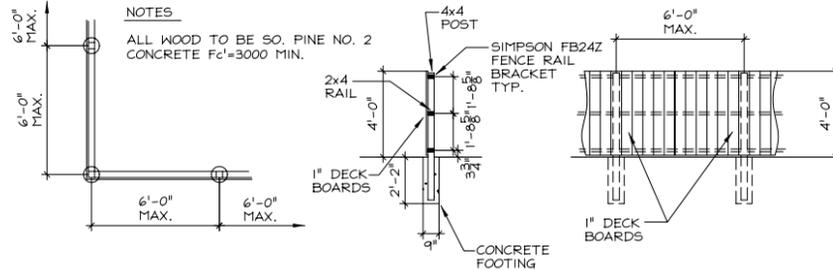
4
C2.0 DETAIL
SCALE: 1/2" = 1' - 0"



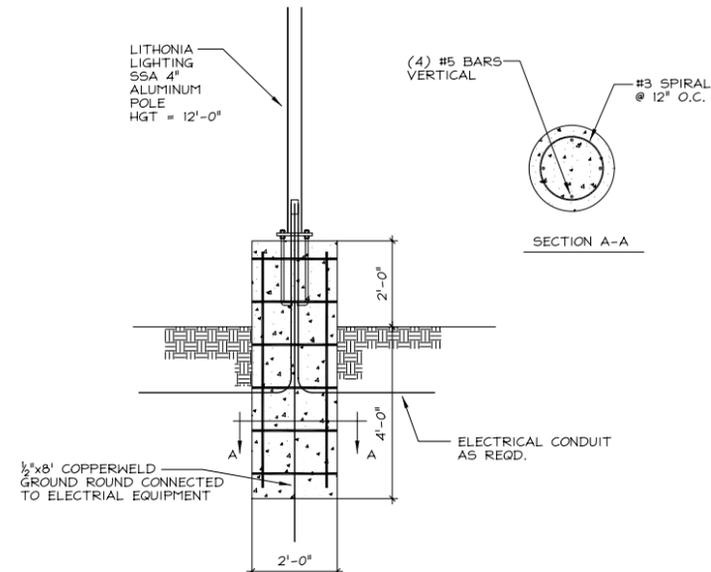
NOTES
ALL WOOD TO BE SO, PINE NO. 2
CONCRETE Fc'=3000 MIN.



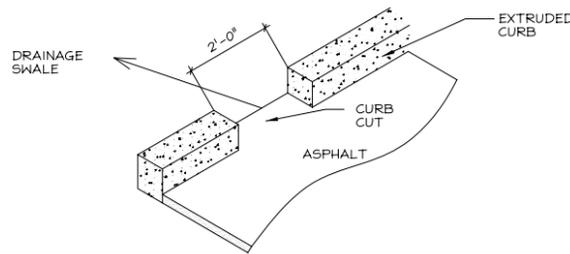
5
C2.0 DUMPSTER SCREEN



6
C2.0 HVAC SCREEN



7
C2.0 LIGHT POLE FOUNDATION



8
C2.0 DRAINAGE CURB CUT

No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE

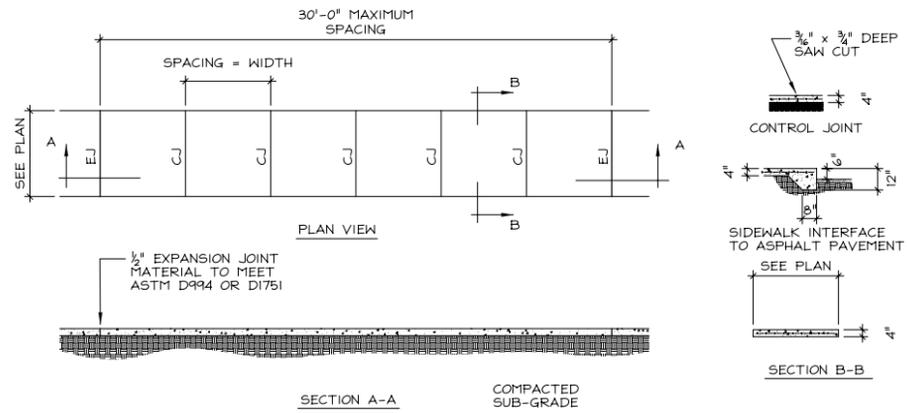
606 Old Trolley Road
Suite 202
Summerville, SC 29485
843-821-1678

Sheet Title
SITE DETAILS

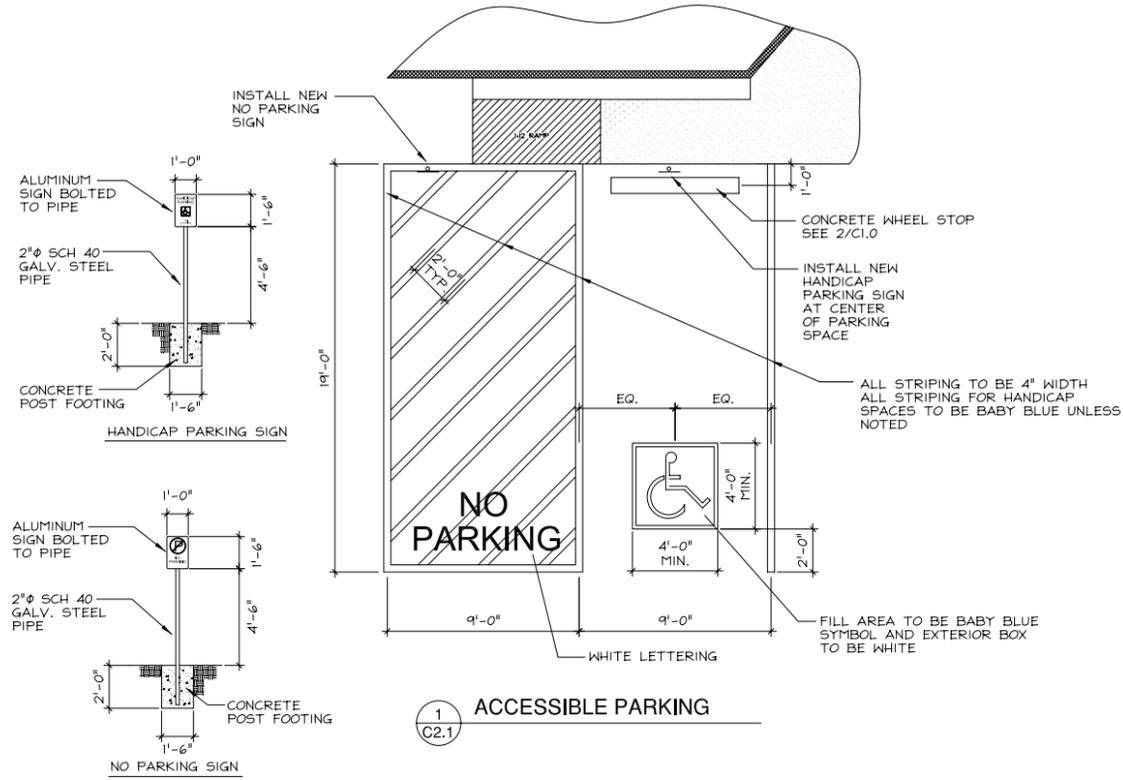
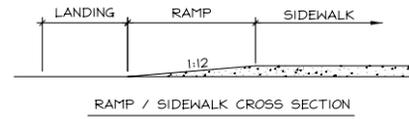
Date	Sheet
3 FEB 20	
Scale	C2.0
AS NOTED	

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1
C2.1 CONCRETE SIDEWALK



1
C2.1 ACCESSIBLE PARKING

No.	Revision/Issue	Date

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 606 Old Trolley Road
 Suite 202
 Summerville, SC 29485
 843-821-1678

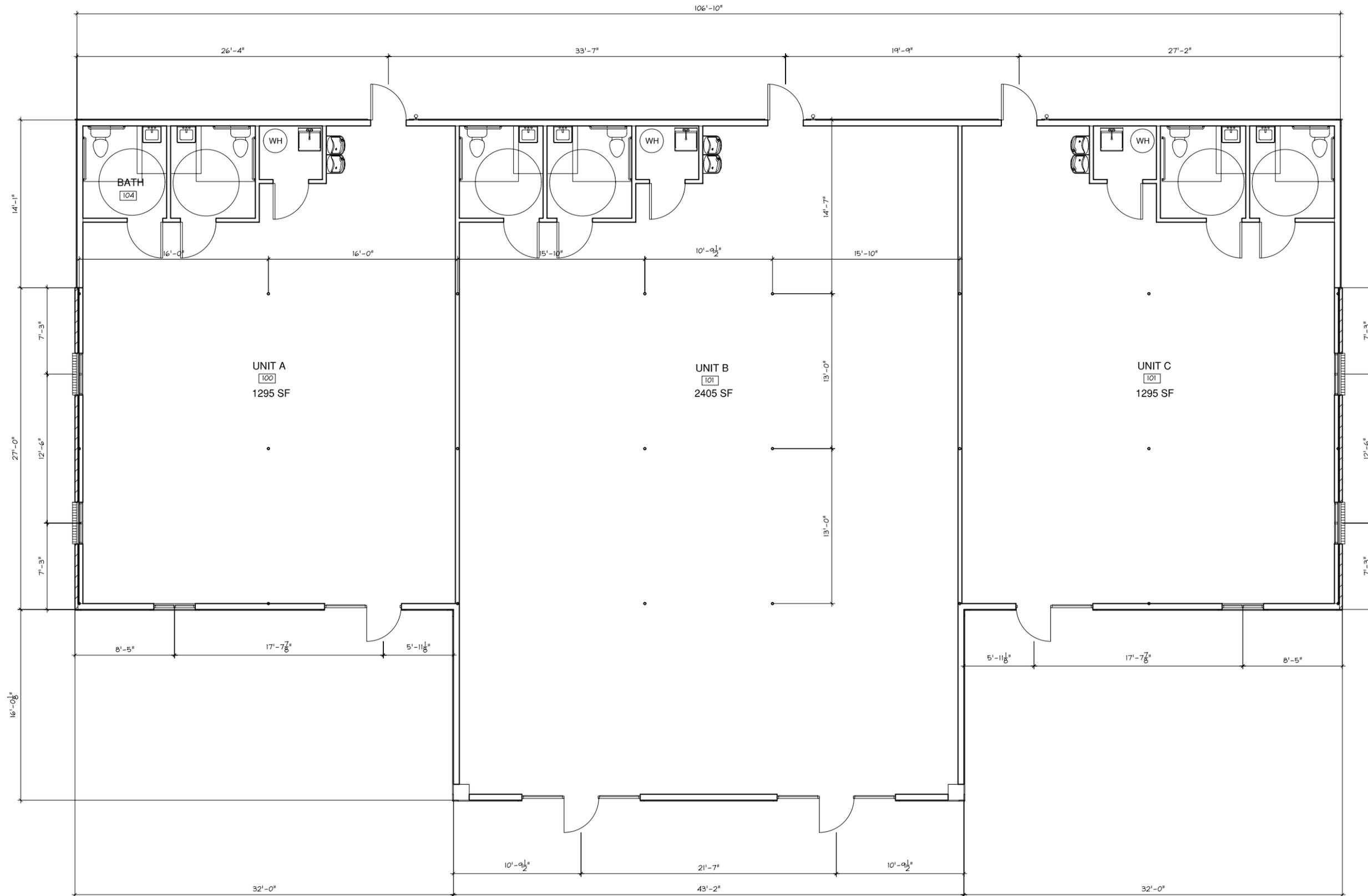
Sheet Title
CIVIL DETAILS

Date	3 FEB 20	Sheet	C2.1
Scale	AS NOTED		

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PROFESSIONAL OFFICE
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 SUMMERVILLE, SC

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FLOOR PLAN NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODES.
- SEE N1.2 FOR LIFE SAFETY REQUIREMENTS.
- SEE ENERGY COMPLIANCE REPORT FOR THERMAL REQUIREMENTS FOR WINDOWS AND DOORS.
- SEE 2/A1.2 AND 3/A1.2 FOR ENLARGED BATHROOM PLANS & DETAILS
- SEE 4/A1.2 FOR ACCESSIBLE WATER FOUNTAIN REQUIREMENTS



1
A1.0

FLOOR PLAN

SCALE: 1/4" = 1'-0"

No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE

606 Old Trolley Road
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Sheet Title
FLOOR PLAN

Date
3 FEB 20

Scale
1/4"=1'-0"

Sheet

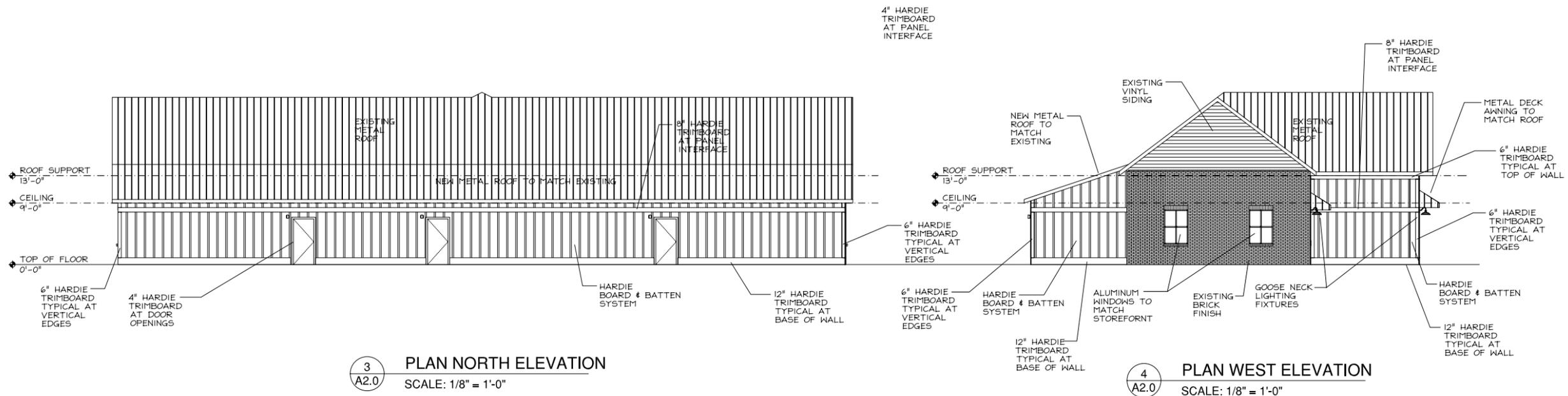
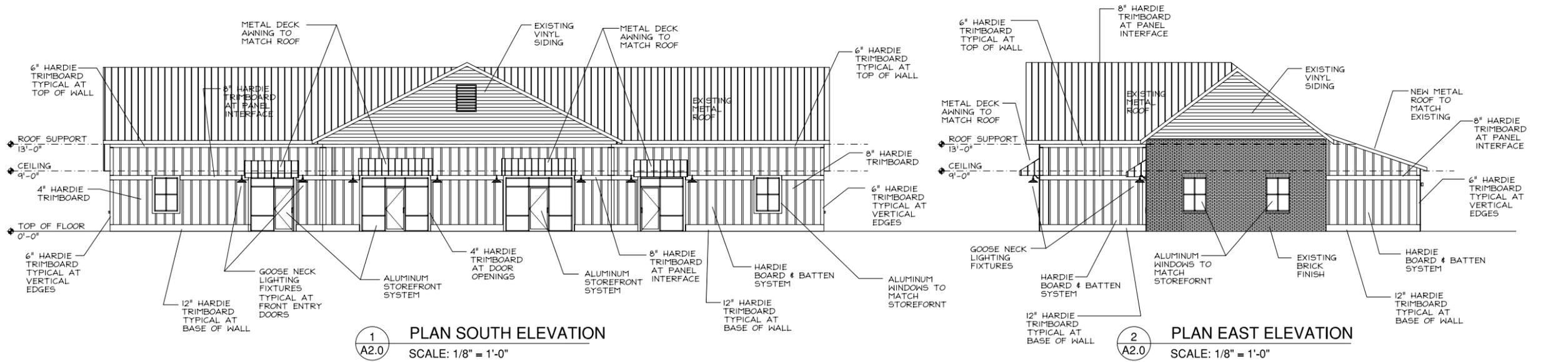
A1.0

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NOTE
 HARDIE BOARD & BATTEN SYSTEM
 CONSISTS OF HARDIE VERTICAL SIDING
 PANELS AND 2 1/2" HARDIE TRIMBOARD
 APPLIED VERTICALLY



PROFESSIONAL OFFICE
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No.	Revision/Issue	Date

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Sheet Title
ELEVATIONS

Date	3 FEB 20	Sheet
Scale	1/4"=1'-0"	A2.0

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Google Maps 602 Old Trolley Rd

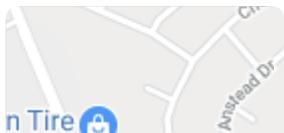


Image capture: Jan 2019 © 2020 Google

Summerville, South Carolina



Street View



Google Maps 605 County Rd S-18-199

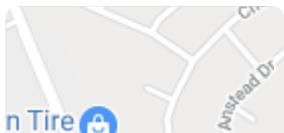


Image capture: Jan 2019 © 2020 Google

Summerville, South Carolina



Street View



**STAFF REPORT
CDRB Meeting
February 20, 2020 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: February 11, 2020

GENERAL INFORMATION

Applicant: Feit Design LLC – Justin Feit
Property Owner: NT Estate LLC
Requested Action: The applicant is requesting Conceptual Review of the proposed redevelopment of the restaurant located at 101 N Main Street
Requested Approval: Conceptual Review
Existing Zoning: D-MX
Adjacent Zoning: **North:** D-MX
South: D-MX
East: D-MX
West: D-MX
Location: 101 N Main Street
Existing Land Use: Vacant Restaurant Building
Prior Approvals: First Review

Ordinance Reference: Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based upon staff review, the following are staff's site related comments. A landscape plan with full materials list is required. No lighting plan has been submitted.

Building: The Design Review Board will need to approve the lack of an entrance on the N. main Street side. The UDO requires that a corner building have an entrance from each frontage. The front façade does not meet the 65% façade transparency requirement

Engineering: None

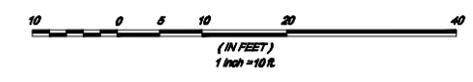
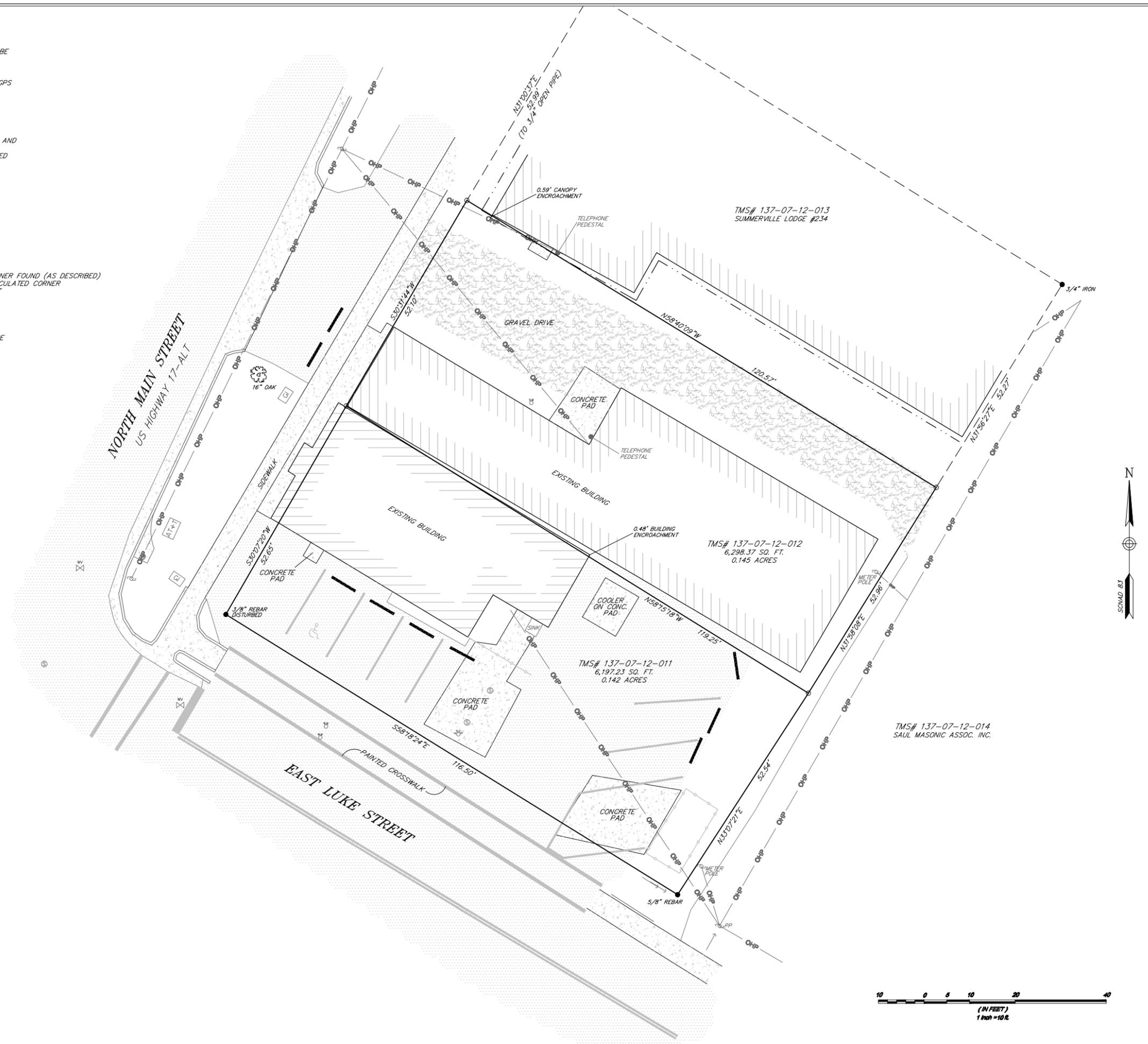
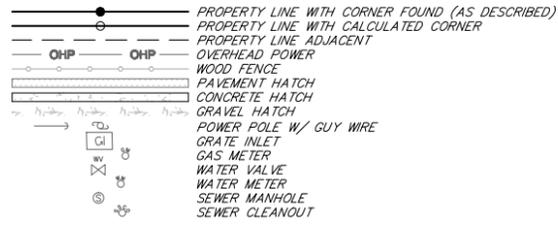
NOTES:

- EASEMENTS SHOWN ARE BASED ON REFERENCES ONLY. THERE MAY BE EASEMENTS NOT OBVIOUS OR APPARENT TO THE SURVEYOR.
- BASED ON LISTED REFERENCES ONLY. A TITLE SEARCH WAS NOT PERFORMED FOR THE CREATION OF THIS SURVEY.
- NORTH ORIENTATION SCVAD 83 (2011) AND WAS DETERMINED USING GPS TECHNOLOGY.

REFERENCES:

- PLAT OF LOT D.4, D.5, AND D.6, SQUARE 3, DETMOLD SUMMERVILLE AND ABANDONMENT OF INTERIOR PROPERTY LINES BY SEMPER FI SURVEYING, LLC, SCPLS# 13164, MARK WOODROW ELLIS, AND RECORDED AT DORCHESTER COUNTY ROD PLAT BOOK M PAGE 54.

LEGEND

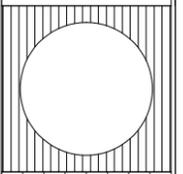


NO.	DATE	REVISIONS

TITLE
EXISTING CONDITIONS SURVEY
 101 & 107 N. MAIN STREET
 TMS# 137-07-12-011, & -012
 TOWN OF SUMMERVILLE
 DORCHESTER COUNTY, SOUTH CAROLINA



Parker Land Surveying, LLC
 5910 Cotton Street
 Summerville, SC 29410
 Phone: (843) 554-7777
 Fax: (843) 554-7775



DESIGNED : ACC JF
 DRAWN : ACC JF
 CHECKED : ACC JF
 APPROVED : ACC JF
 SCALE : 1" = 10'
 DATE : 04/10/2019
 PROJECT NO. : 19-049
 SHEET 1 OF 1



1 AERIAL SITE PLAN
C100 SCALE: 1" = 10'-0"

No.	Issued For	Date
1		
2		
3		
4		
4		

Stamps

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ARCHITECTURE AND INTERIOR DESIGN
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814 Cedar Street, Summerville, SC 29485

Restaurant RENOVATION AND ADDITION
101 North Main Street
Summerville, South Carolina

Plot Date 1/27/20

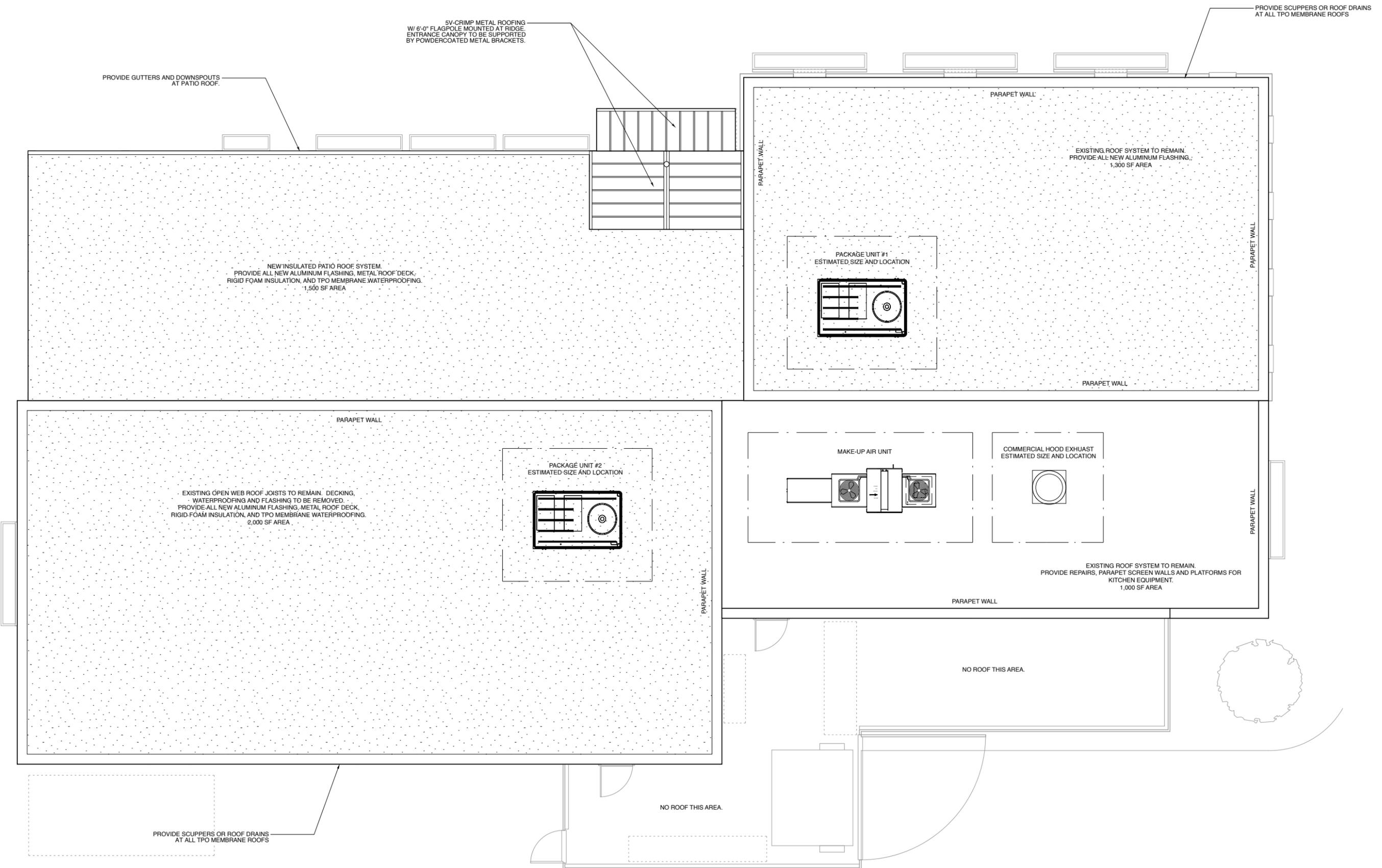
Checked RB

Drawn JF

Drawing Title
AERIAL SITE PLAN

Drawing No.
C100

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1 ROOF PLAN
A101 SCALE: 1/4" = 1'-0"

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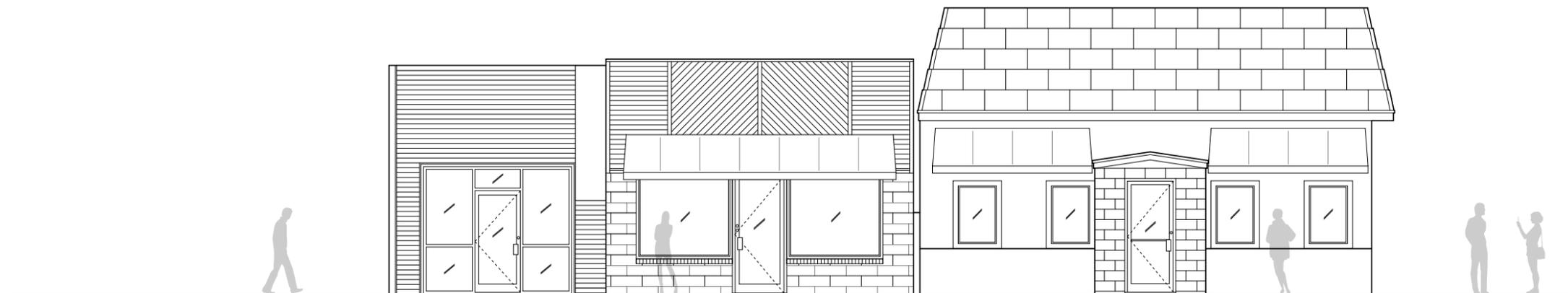
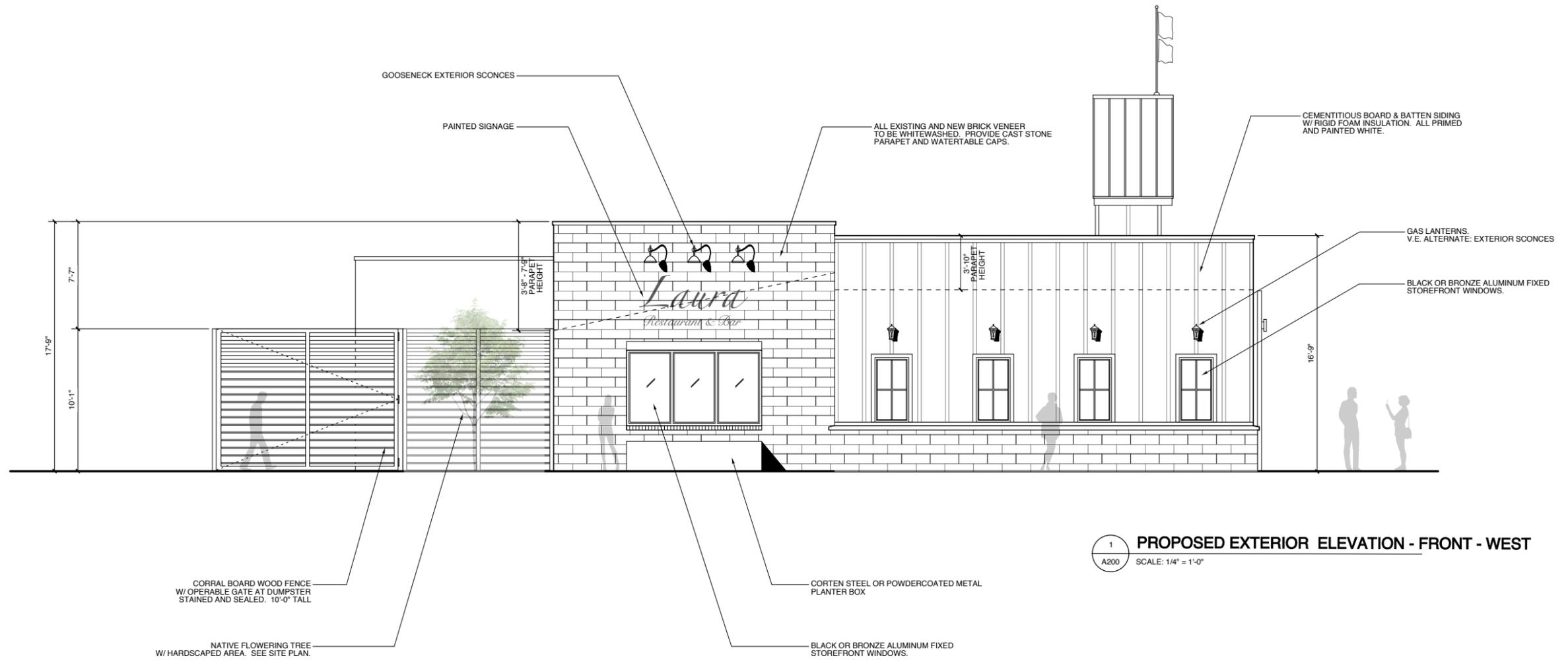
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Plot Date	1/27/20
Checked	RB
Drawn	JF
Drawing Title	ROOF PLAN

Drawing No. **A101**

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101 North Main Street
Summerville, South Carolina

Plot Date 1/27/20

Checked RB

Drawn JF

Drawing Title

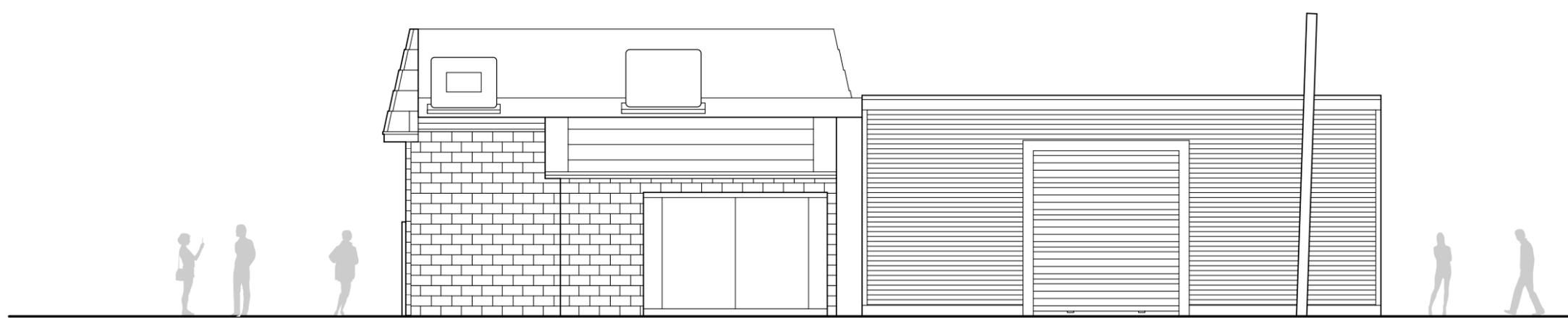
EXTERIOR ELEVATIONS

Drawing No.

A200



1
A201 **PROPOSED EXTERIOR ELEVATION - REAR - EAST**
SCALE: 1/4" = 1'-0"



1
A201 **EXISTING EXTERIOR ELEVATION - REAR - EAST**
SCALE: 1/4" = 1'-0"

No.	Issued For	Date
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Stamps

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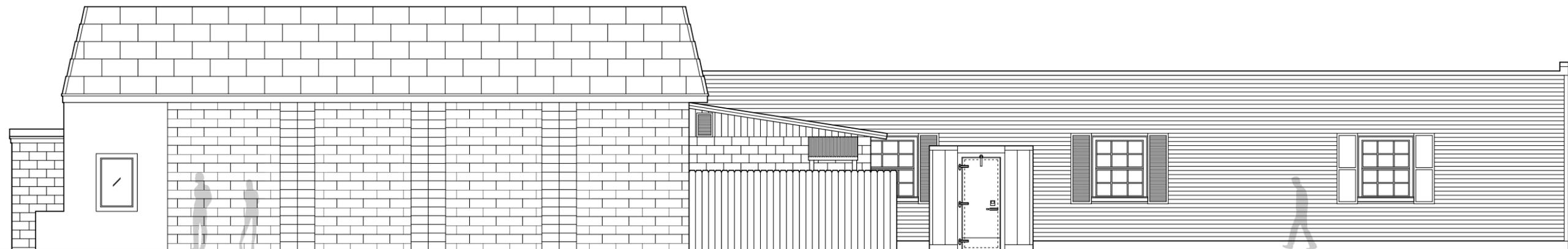
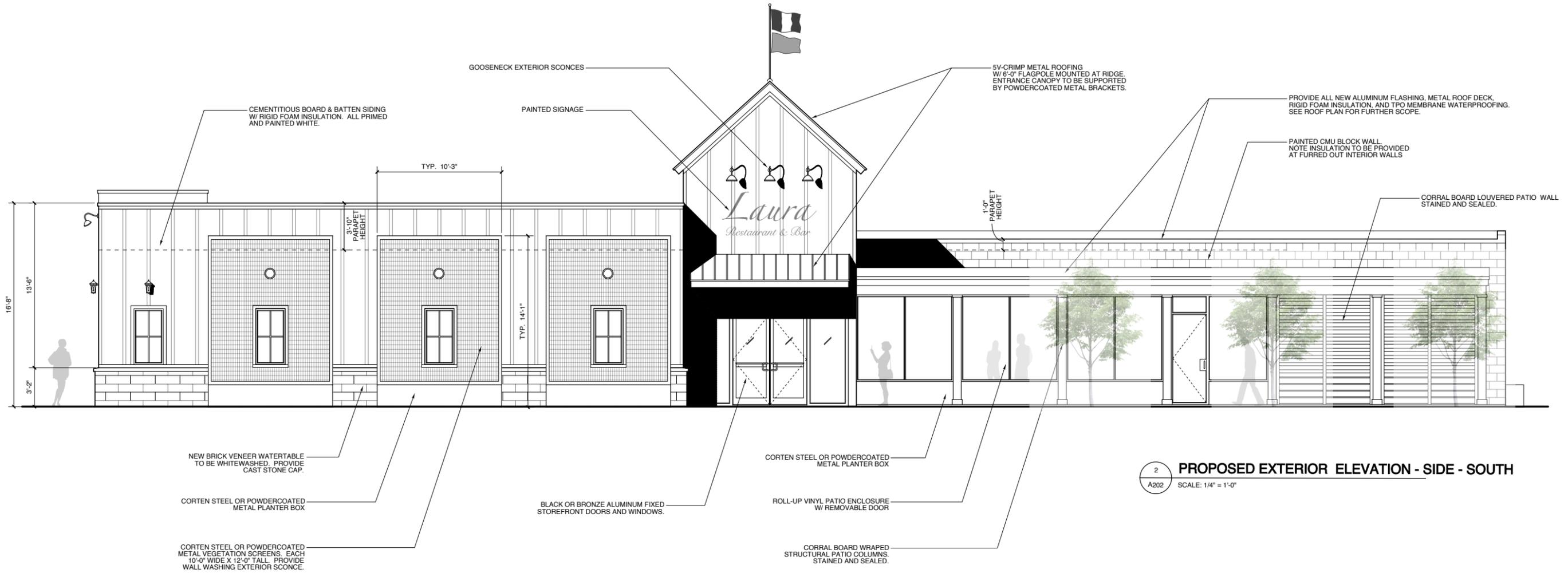
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Restaurant
RENOVATION AND ADDITION
101 North Main Street
Summerville, South Carolina

Plot Date	1/27/20
Checked	RB
Drawn	JF
Drawing Title	EXTERIOR ELEVATIONS

Drawing No.
A201

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101 North Main Street
Summerville, South Carolina

Plot Date 1/27/20

Checked RB

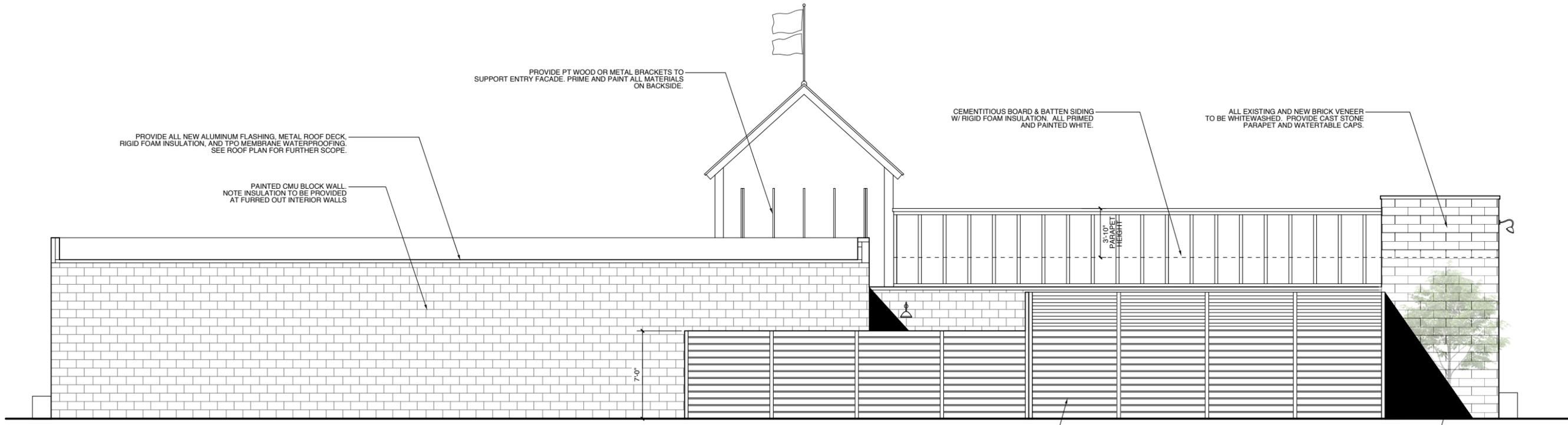
Drawn JF

Drawing Title

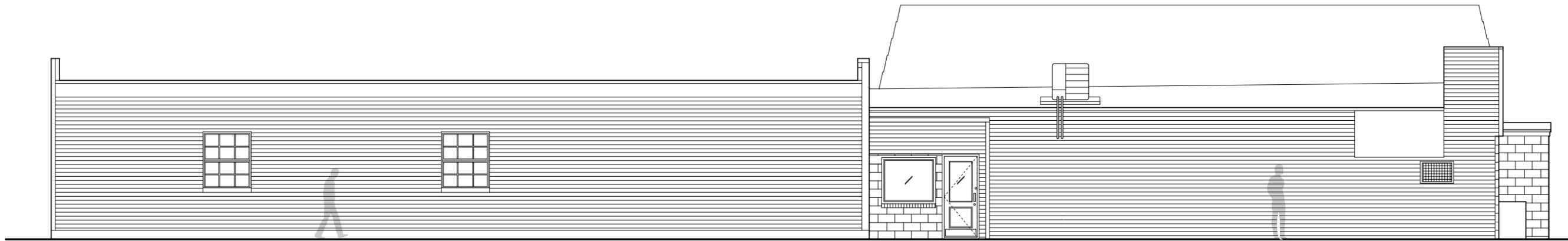
EXTERIOR ELEVATIONS

Drawing No.

A202



2
A203 **PROPOSED EXTERIOR ELEVATION - SIDE - NORTH**
SCALE: 1/4" = 1'-0"



2
A203 **EXISTING EXTERIOR ELEVATION - SIDE - NORTH**
SCALE: 1/4" = 1'-0"

No.	Issued For	Date
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Summerville, South Carolina

Plot Date	1/27/20
Checked	RB
Drawn	JF
Drawing Title	EXTERIOR ELEVATIONS

Drawing No.
A203

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A single-story commercial building with a red metal roof and yellow walls. The building features large windows with black awnings and a central entrance. The windows have "Haley" written on them in a cursive font. Below the windows, there is a sign that reads "Catering - Private Parties".

A red pickup truck parked on a gravel area to the left of the building.

An asphalt road with two yellow double lines running horizontally across the foreground. The road is partially shaded by the large tree on the right.

A large, mature tree with dense green foliage, standing to the right of the building and casting shadows on the road.

A white, single-story building with a white roof, located to the left of the main building.

A multi-story building with a red roof and white walls, located in the background to the right of the main building.







LET THE PINE BE SACRED



