

**TOWN OF SUMMERVILLE
BOARD OF ZONING APPEALS**



**AGENDA
January 14, 2020
5:00 PM
Town Hall (annex) – Training Room
200 S. Main Street**

I. Approval of minutes from November 12, 2019

(For below item, signs posted on property December 30, 2019 and ad on December 29, 2019 in *Post & Courier*)

II. OLD BUSINESS:

1. No Old Business

III. NEW BUSINESS:

1. TMS # 136-16-10-023, 708 Simmons Avenue, zoned GR-2 – General Residential, owned by Barry Katz – variance request to increase the permitted accessory structure height from 20 feet to 24.375 feet, Ordinance Sections 2.7.5.B.
2. TMS # 153-01-05-028, 105 Tiffany Lane, zoned GR-5 – General Residential, owned by Curtis Bowman – variance request to increase the permitted accessory structure height from 20 feet to 24 feet, and to increase the permitted square footage from 50% of the footprint of the building to 71% (1200 sf). Ordinance Section 2.7.5.B and 3.5.2.A.2.
3. TMS # 137-05-09-013, 109 Old Postern Road, zoned PUD – Planned Development District, owned by Robert and Sandra Callahan – variance request to reduce the required side setback for an accessory structure from 10 feet to 2 feet. Ordinance Section 2.10.

IV. MISCELLANEOUS:

1. Election of Officers

V. ADJOURN

Posted January 7, 2020

Board of Zoning Appeals
Tuesday, November 12, 2019
Summerville Municipal Complex –Annex Building Training Room

Members Present:

Denis Tsukalas, Chairman
Elise Richardson, Vice Chairman
Don Nye
Lionel Lawson
Scott Riddell - Absent

Staff Present:

Tim Macholl, Zoning Administrator

Items on the agenda:

OLD BUSINESS:

1. None

NEW BUSINESS:

1. TMS # 137-14-09-001, 108 E. Richland Street, zoned GR-5 – General Residential, owned by Brenda Jacobs and Richard Herold – variance request to increase the permitted accessory structure height from 20 feet to 24.25 feet and increase the permitted accessory structure square footage from no more than 50% of the principal structure to 88% of the principal structure, and to allow an accessory structure to be constructed in the front yard. Ordinance Sections 2.7.5.B; 3.5.2.A.2; and 3.5.2.A.1
2. TMS # 144-10-05-007, 1312 Boone Hill Road, zoned G-B General Business, owned by Boone West Apartments LLC. – variance request to decrease the required rear buffer from 30 feet to 4.58 feet. Ordinance Section 8.6.1.A.
3. TMS # 137-06-09-002, 206 Central Avenue, zoned GR-5 General Residential, owned by St. Luke’s Lutheran Church – variance request to increase the permitted accessory structure height from 20 feet to 46 feet, and to increase the permitted lot coverage limit from 35% to 56.8%. Ordinance Sections 2.7.5.B and 2.7.2.C.

MISCELLANEOUS:

1. None
-

The meeting was called to order at 5:00 PM by Mr. Denis Tsukalas. Mr. Tsukalas asked for any comments or edits for the minutes from the October 15, 2019 meeting minutes. A motion was made by Mr. Nye to approve the minutes as presented. The motion was seconded by Mr. Lawson. The motion passed 4-0.

OLD BUSINESS

1. None

NEW BUSINESS

1. **108 E. Richland Street** – The first item under New Business TMS # 137-14-09-001, 108 E. Richland Street, zoned GR-5 – General Residential, owned by Brenda Jacobs and Richard Herold – variance request to increase the permitted accessory structure height from 20 feet to 24.25 feet and increase the permitted accessory structure square footage from no more than 50% of the principal structure to 88% of the principal structure, and to allow an accessory structure to be constructed in the front yard. Ordinance Sections 2.7.5.B; 3.5.2.A.2; and 3.5.2.A.1. Mr. Macholl explained that this variance was brought to staff at the time of application for a building permit. Ms. Brenda Jacobs came to the table to discuss the variance request. She explained that they want to build the garage on the existing slab adjacent to the house. The intent is to preserve the oak trees in the front yard. This is part of a job to increase the living and storage space on the property. The existing home was set far back from the street and this forced the placement of the garage forward of the house. Mr. Tsukalas asked if there would be a bathroom in the living space above the garage. Ms. Jacobs confirmed that there would be.

Mr. Nye made a motion to approve as presented. The motion was seconded by Mr. Lawson. The motion passed 4-0.

2. **1312 Boone Hill Road** – The Second item under New Business TMS # 144-10-05-007, 1312 Boone Hill Road, zoned G-B General Business, owned by Boone West Apartments LLC. – variance request to decrease the required rear buffer from 30 feet to

4.58 feet. Ordinance Section 8.6.1.A. Mr. Macholl explained the request to the board, and that the project would next have to go to the Commercial Design Review Board for review and approval, but could not move forward without the variance. Mr. Mike Taylor of Taylor Coastal Construction came to the table to discuss the variance request. Mr. Taylor explained that this is a little bit of a strange lot at the corner. It is very small and previously had apartments on the property. He explained that there is a 24 X 91 foot slab on the property, that is larger than what he intends to construct on the property. Being constrained by the existing 8-9 parking spaces on the property. He had not yet spoken to the adjacent property owner but he would be willing to rebuild the existing dilapidated fence along the property line to provide adequate screening from the office use that he intends to build on the property. Mr. Taylor expressed a desire to build a something nice on the corner that would be a benefit to the area. He explained that he believed that without the variance that the property would continue to remain vacant.

Mr. Nye made a motion to approve as presented. The motion was seconded by Ms. Richardson. The motion passed unanimously 4-0.

3. 206 Central Avenue – The Third item under New Business TMS # 137-06-09-002, 206 Central Avenue, zoned GR-5 General Residential, owned by St. Luke’s Lutheran Church – variance request to increase the permitted accessory structure height from 20 feet to 46 feet, and to increase the permitted lot coverage limit from 35% to 56.8%. Ordinance Sections 2.7.5.B and 2.7.2.C. Mr. Macholl explained the request. Mr. Hank D’Antonio came to the table to discuss the requested variances. Mr. D’Antonio explained that the church has been working towards this project for a while, and that previous plans have taken the project over the maximum lot coverage. This is a consolidation of a couple plans to replace the aging offices and fellowship hall that is dealing with some mold and mildew issues, while bringing a multipurpose building for the campus. He went through the progression of the lot coverage as provided in the packet. He explained that in 1987 there was no parking on site and the lot coverage was under the 35%. In 1991 on-site parking was added as well as the education building and that addition took the property over 50% coverage. The proposal would take the property from 51% to 56.8% lot coverage. The proposed building will need to be bigger than an average residential accessor structure because it is a Church use building. The intent is to match the height of the education building, mimic the roof lines and eave line of the other buildings on the campus. Mr. Tsukalas asked if there would eb a second floor. Mr. D’Antonio confirmed there would be a second floor and that the kitchen would be moving.

Mr. Lawson made a motion to approve as presented. The motion was seconded by Mr. Nye. The motion passed unanimously 4-0.

MISCELLANEOUS:

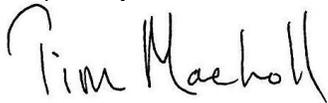
None

ADJOURN:

There being no further business, the meeting was adjourned at 5:23 PM on a motion by Mr. Nye and a second by Mr. Riddell. The motion passed unanimously 4-0

Respectfully Submitted,

Date: _____



Tim Macholl
Zoning Administrator

Approved: Denis Tsukalas, Chairman _____; or,

Elise Richardson, Vice Chairman _____

VARIANCE REQUEST
TMS#136-16-10-023
708 Simmons Avenue, Summerville, SC
STAFF REPORT
BOARD OF ZONING APPEALS
January 14, 2020

Request: Variance request to allow 24.375 foot accessory building height

Property Zoning: GR-2 General Residential

Surrounding Zoning: North: GR-2 General Residential
South: GR-2 General Residential
East: GR-2 General Residential
West: GR-2 General Residential

Ordinance requires: Ordinance Section 2.7.5.B - Maximum Building Height: 20 feet for accessory structure

Response: In order for a variance to be issued by the Board of Zoning Appeals, an applicant is required to show that all four of the conditions listed below have been met and an unnecessary hardship must be shown.

(b) *Variations*. The board has the power to hear and decide requests for variances when strict application of this chapter's provisions would cause an unnecessary hardship.

(1) The following standards must apply for finding an unnecessary hardship:

- a. *Extraordinary conditions*. There are extraordinary and exceptional conditions pertaining to the particular piece of property, which could exist due to topography, street widening or other conditions which make it difficult or impossible to make an economically feasible use of the property.
- b. *Other property*. Extraordinary conditions generally do not apply to other property in the vicinity.
- c. *Utilization*. Because of these extraordinary conditions, the application of this chapter's provisions to a particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property.
- d. *Detriment*. The authorization of a variance will not be of substantial detriment to adjacent property or the public good, and the character of the district will not be harmed by granting of the variance.

Background: The applicant approached staff concerning the need for the height variance. The Owner of the property is requesting to build a two story accessory structure on the Blossom Way side where the existing driveway is located. The height of the proposed garage exceeds the permitted 20 foot maximum height for an accessory structure.

The applicant's request does not meet all four criteria for the approval of a variance.



Town of Summerville
 200 South Main Street
 Summerville, SC 29483
 843.851.4214

[For Office Use Only]	
Date Received/Initials:	_____
Property Zoned:	_____
BZA Meeting Date:	_____
Ad in Paper Date:	_____
Posted Signs on Property:	_____

**BOARD OF ZONING APPEALS (BZA)
 VARIANCE APPLICATION**

Per Town of Summerville Zoning Ordinance, Chapter 32, Article II
 (SC Code of Laws 6-29-780)

Date: _____ TMS#: _____ Zoned: _____

Property Owner: Barry & Dana Katz Phone: 843 696 1228

Email: BadKatz248@aol.com BKatz.Md37@gmail.com

Mailing Address: 708 Simmons Avenue Summerville

Site Address: 708 Simmons Avenue Summerville

Subdivision: _____

Representative for Property Owner (if applicable)*: Steve DeFranco

Request for variance relating to: (please check one): Setbacks Buffer yard Height

Parking Other: _____

Ordinance Requires: _____

Property Owner Requests: Height of garage permitted to be 24' 4 1/2"
as per drawing by Mike Hilton

Present Use of Property: (please check one): Residential Commercial Institutional

Industrial Other: _____

THE FOLLOWING MUST BE SUBMITTED WITH THIS APPLICATION:

1. Copy of recorded plat of property with proposed site plan demonstrating the requested variance.
2. Non-refundable fee of \$100 – check made payable to Town of Summerville.
3. Statement of property owner addressing the State mandated criteria below (please address all four criteria):
 - (a) Extraordinary Conditions: There are extraordinary and exceptional conditions pertaining to the particular piece of property, which could exist due to topography, street widening or other conditions which make it difficult or impossible to make an economically feasible use of the property.
 - (b) Other Property: Extraordinary conditions generally do not apply to other property in the vicinity.

- (c) *Utilization*: Because of these extraordinary conditions, the application of this chapter's provisions to a particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property.
- (d) *Detriment*: The authorization of a variance will not be of substantial detriment to adjacent property or the public good, and the character of the district will not be harmed by granting of the variance.

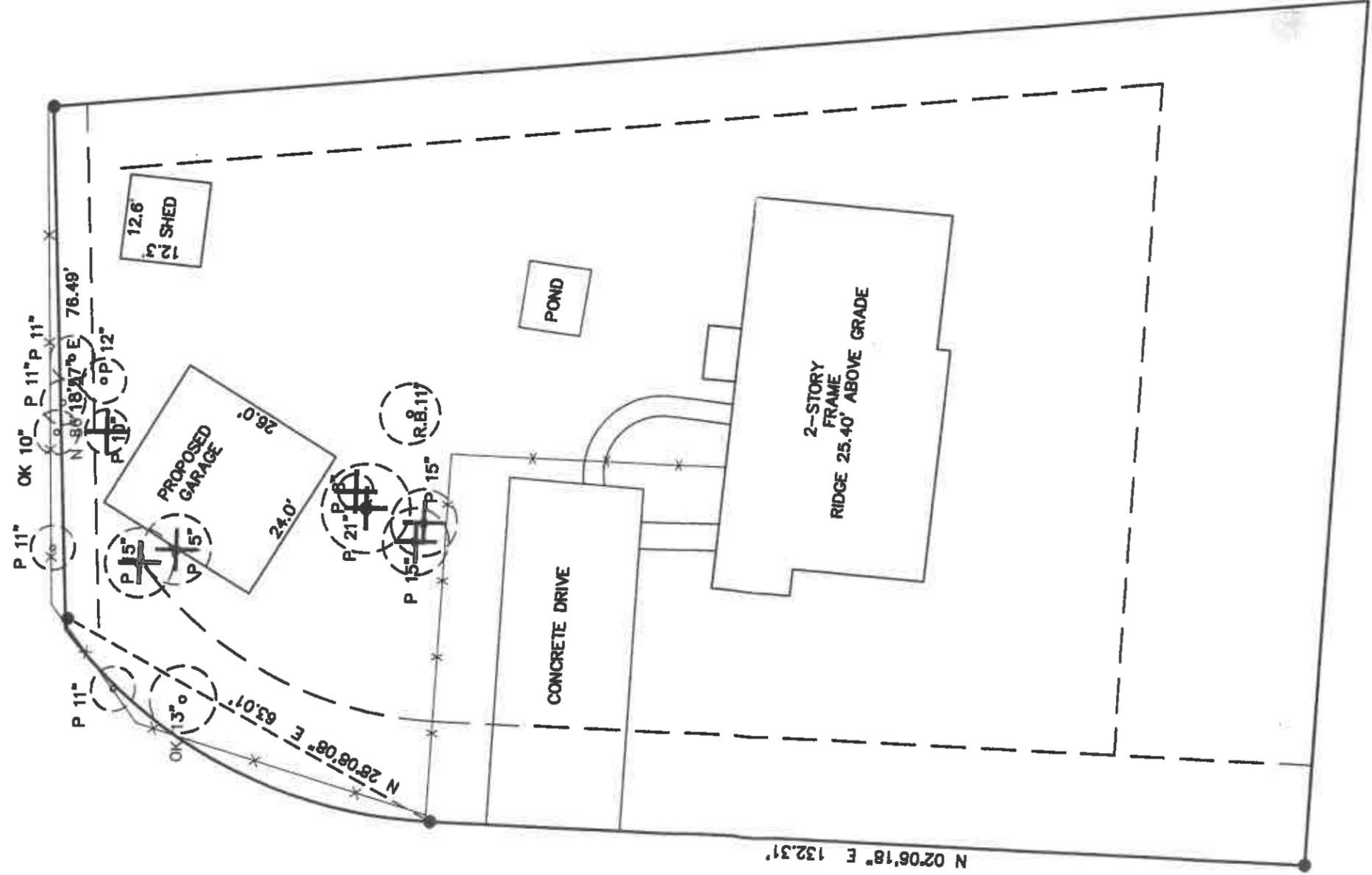
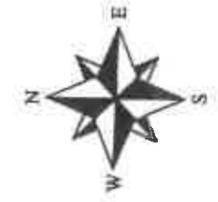
I certify that all information required is included and the application is complete. If an application is found to be incomplete, the primary contact will be notified. This approval does not constitute approval by other boards or town departments.

Signature of Property Owner: Benny Lee Date: 11/20/19

Signature of Applicant: _____ Date: _____

*If applicant is not legal property owner, please submit documentation from the property owner giving permission for applicant to represent property owner.

- 3) Statement regarding State mandated criteria
- a) Extraordinary conditions. None apply to the particular property
- b) Other properties. No extraordinary conditions apply to the other properties in the vicinity
- c) Utilization. The current height restriction of 20 feet would not allow the garage area to be utilized by the home owner as planned. The owner would like the garage area ceiling be 10 feet high thus allowing the area to be used as an exercise space as well as allow the owner to hang kayaks and bicycles from the ceiling and park a truck below
- d) Detriment. The authorization of a variance will not be of substantial detriment to adjacent property or the public good, and the character of the district will not be harmed by granting of the variance. The garage will not be as tall as the existing home on the property



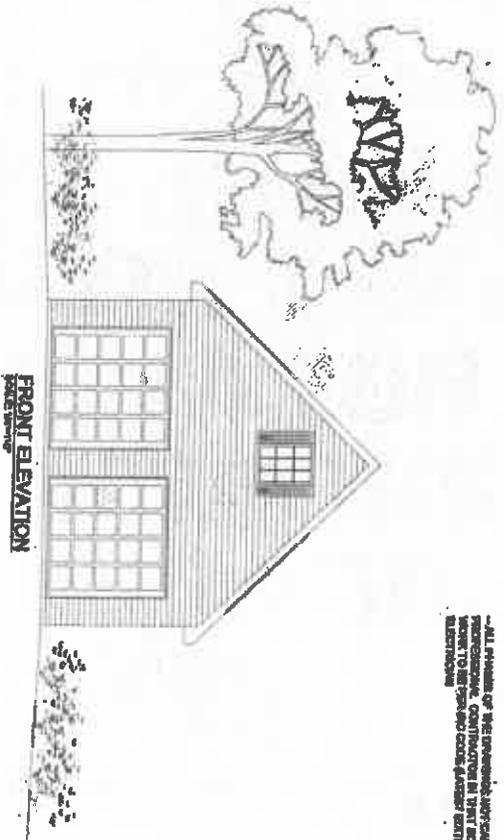
TOTAL LOT AREA: 21,793 SF
PROPOSED TOTAL IMPERVIOUS: 3,791 SF
EXPRESSED AS PERCENT 17.40%



PROPOSED KATZ GARAGE

708 SIMMONS ROAD
 SUMMERVILLE, SC 29483
GENERAL NOTES

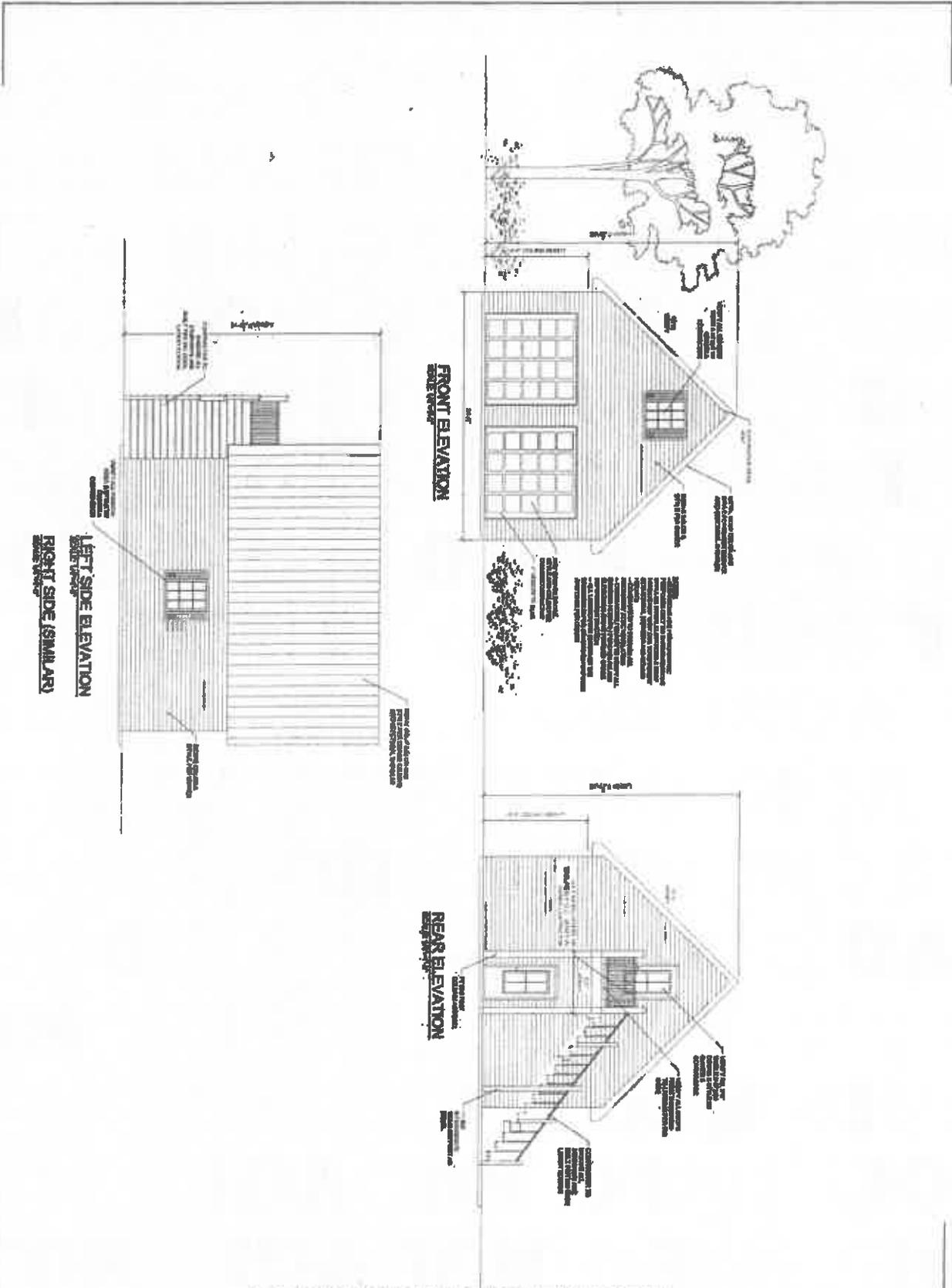
CONTRACTOR SHALL VERIFY ALL WORK COMPLIES WITH ALL LOCAL CODES, REGS. AND ORDINANCES.
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ALL CHANGES TO THESE PLANS SHALL BE APPROVED IN WRITING AND BE ACCOMPANIED BY A SIGNED AND SEALED SET OF REVISIONS.
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DO NOT REPRODUCE THESE PLANS WITHOUT PERMISSION OF THE DESIGNER.

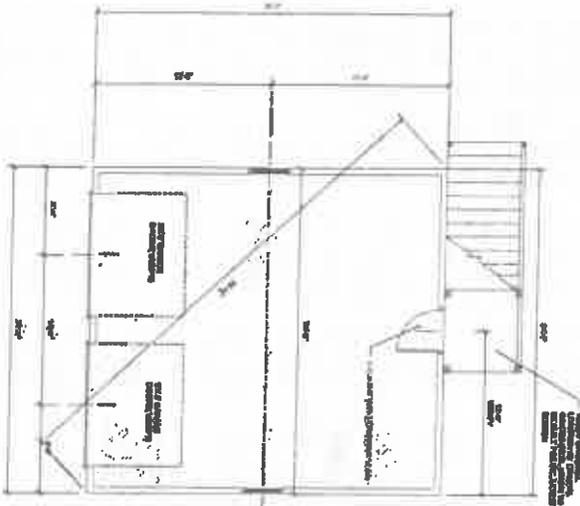
<p>A100</p>	<p>NO. DATE</p>	<p>REVISIONS</p>
	<p> </p>	<p> </p>
<p>PROPOSED GARAGE FOR 708 SIMMONS SUMMERVILLE, SC 29483</p>		



NO.	DATE	REVISIONS	<p>PROPOSED GARAGE FOR 708 SIMMONS SUMMERVILLE, SC 29483</p>

A201

1/11/11
1/11/11
1/11/11



1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. FINISH FLOOR IS TO BE 1/2" CONCRETE OVER 2" POLYSTYRENE INSULATION ON 4" GRAVEL.

3. EXTERIOR WALLS TO BE 8" CMU WITH 1" POLYSTYRENE INSULATION.

4. ROOF TO BE 12/12 GABLE WITH 1/2" OSB SHEATHING AND 1" POLYSTYRENE INSULATION.

5. CEILING TO BE 5/8" GYPSUM BOARD.

6. INTERIOR WALLS TO BE 5/8" GYPSUM BOARD.

7. FLOORS TO BE 1/2" CONCRETE OVER 2" POLYSTYRENE INSULATION ON 4" GRAVEL.

8. EXTERIOR FINISH TO BE 1/2" STUCCO OVER 1/2" GYPSUM BOARD.

9. INTERIOR FINISH TO BE 1/2" GYPSUM BOARD.

10. DOORS TO BE 1 3/4" SOLID CORE WITH 1" POLYSTYRENE INSULATION.

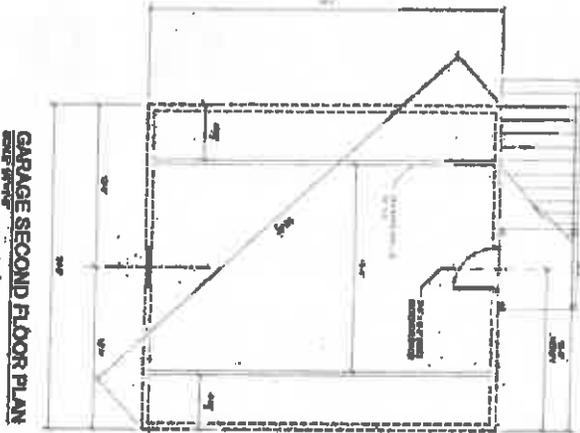
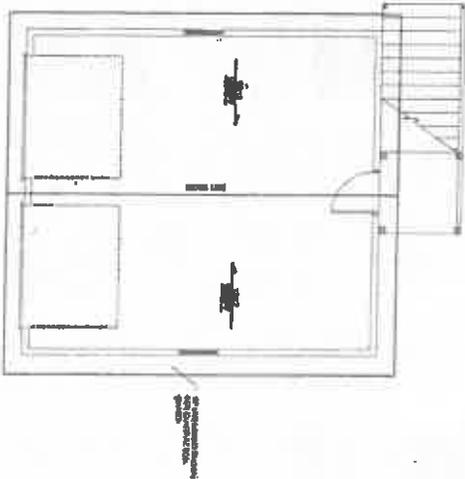
11. WINDOWS TO BE 1/2" DOUBLE GLAZED WITH 1" POLYSTYRENE INSULATION.

12. STAIRS TO BE 12" TREADS BY 10" RISES.

13. ALL ELECTRICAL TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.

14. ALL PLUMBING TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE.

15. ALL MECHANICAL TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL MECHANICAL CODE.



DO NOT REPRODUCE THESE PLANS WITHOUT PERMISSION OF THE DESIGNER.

REPRODUCED AS IS. NO WARRANTIES ARE MADE BY THE DESIGNER. USE OF THESE PLANS AND SPECIFICATIONS IS PROHIBITED WITHOUT PERMISSION OF THE DESIGNER.

NO.	DATE	REVISIONS	PROPOSED GARAGE FOR 708 SIMMONS SUMMERVILLE, SC 29483

A101

VARIANCE REQUEST
TMS#153-01-05-028
105 Tiffany Lane, Summerville, SC
STAFF REPORT
BOARD OF ZONING APPEALS
January 14, 2020

Request: Variance request to allow 24 foot accessory building height and increase the permitted square footage of an accessory structure to 71% of the dwelling.

Property Zoning: GR-5 General Residential

Surrounding Zoning: North: GR-5 General Residential
South: GR-5 General Residential
East: GR-5 General Residential
West: GR-5 General Residential

Ordinance requires: Ordinance Section 2.7.5.B - Maximum Building Height: 20 feet for accessory structure; Section 3.5.2.A.2 50% of the footprint of the dwelling

Response: In order for a variance to be issued by the Board of Zoning Appeals, an applicant is required to show that all four of the conditions listed below have been met and an unnecessary hardship must be shown.

- (b) *Variations*. The board has the power to hear and decide requests for variances when strict application of this chapter's provisions would cause an unnecessary hardship.
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 - b. *Other property*. Extraordinary conditions generally do not apply to other property in the vicinity.
 - c. *Utilization*. Because of these extraordinary conditions, the application of this chapter's provisions to a particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property.
 - d. *Detriment*. The authorization of a variance will not be of substantial detriment to adjacent property or the public good, and the character of the district will not be harmed by granting of the variance.

Background: The applicant was notified by staff concerning the need for the size variance. The height variance was determined during review of the application. The Owner of the property is requesting to build a large 30' X 40' garage for the storage of his hobby vehicles.

The applicant's request does not meet all four criteria for the approval of a variance.

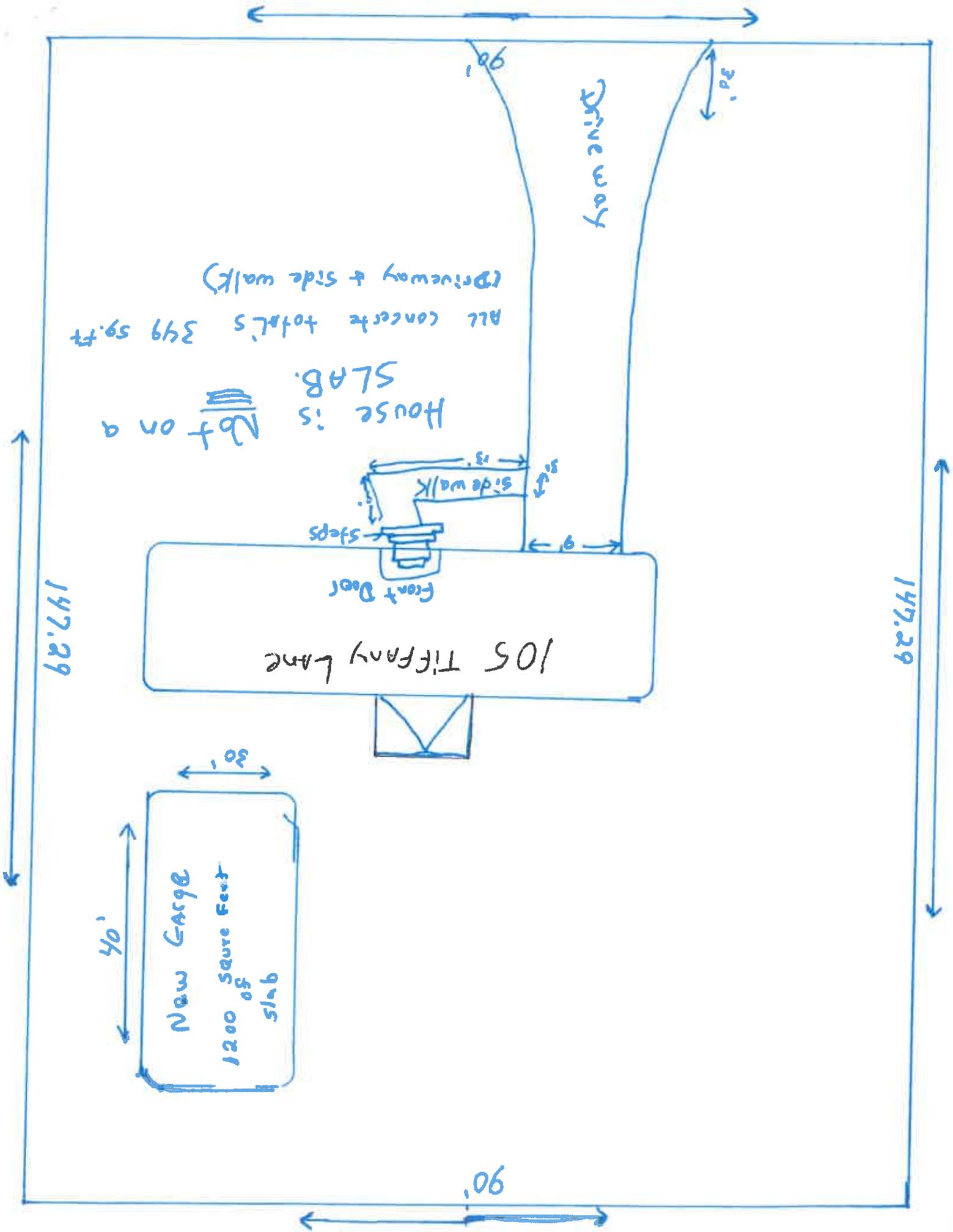
December 19, 2019

To Whom It May Concern:

- A) The placement of this garage is not in any right of way of easement, it would not interfere with the telephone company, cable company, electric company or any other cable company, etc.
- B) This garage will not be in any way an eye sore. It is painted and will match the color of the home and it will be placed in the back corner of the property out of eyesight of others because there is a privacy fence all the way around my property.
- C) There will be no restrictions from anyone else or any other buildings around it.
- D) I have old cars that are too big to fit in a garage that was built in 1918 and putting them in Storage Units is costing me a lot of money. My father has always kept my brothers and me into buying and showing off antique cars and it's become a hobby for us all. My dad wanted us to stay out of trouble when we were young, and this is what I want to pass on to my children, nieces, nephews and grandchildren.

Thank you,

Curtis Dempsey Bowman





STEEL BUILDINGS AND STRUCTURES, INC.

820 Reeves Drive Mount Airy, NC 27030
 P.O. BOX 1287 - MT. AIRY, NC 27030
 TOLL FREE: 877-372-3276 LOCAL: 336-387-8800 FAX: 336-551-3449

Sister Structures

336-710-9338

10/27/19

V2.2.3
SBS DEALER

DEALER PHONE

ORDER DATE

Customer Name:	Dempsey Bowman, Sharolyn M		County:		Tax %:	7.00
Address:	105 Tiffany lane	City:	Summerville	State:	SC	Zip: 29485
Install Address:		City:		State:		Zip:
Phone Nos.:	Work:	Alt:		Primary:	(843) 209-5532	

Unit Size	Width	Roof Length	Height	Base Length	Gauge	Primary
In Feet-->	30	41	12	40	14	

Item	Qty	Description	Unit Price	Extended	Tax
Base Sfr	1	30x41	\$8885.00	\$8885.00	
Gauge Frame	3			\$0.00	
Certification	4			\$0.00	
Side Height	1	12'	\$1080.00	\$1080.00	
Bracing	6			\$0.00	
Close Sides	2	enclosed 41'	\$ 830.00	\$ 1,660.00	
Back	1	enclosed 30'	\$ 1,850.00	\$ 1,850.00	
Front	1	enclosed 30'	\$ 1,850.00	\$ 1,850.00	
Garage Door	3	10x10 roll up doors	\$ 700.00	\$ 2,100.00	
Walk-in Door	1		\$ 275.00	\$ 275.00	
Windows	4			\$ 0.00	
Panel	1			\$ 0.00	
Panel	1			\$ 0.00	
Other (Specify)	3	frame cuts for the 10x10 roll up doors on the side	\$ 125.00	\$ 375.00	
Other (Specify)	1	Manufacture discount 10%	-\$ 1,502.50	-\$ 1,502.50	
Other (Specify)		Please send over the drawings to this customer		\$ 0.00	
Other (Specify)				\$ 0.00	

NOTE: BASE FRAME IS 1 FT SHORTER THAN ROOF LENGTH

Installation Surface	Cement <input checked="" type="checkbox"/>	Ground <input type="checkbox"/>	Asphalt <input type="checkbox"/>	Other <input type="checkbox"/>
Power Available	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Site Ready? <input type="checkbox"/>	Job Site Level? <input checked="" type="checkbox"/>
Roof Color	nothing	Steel Buildings and Structures, Inc. has the right to correct any pricing and sales tax errors. Prices do not include site leveling, grading, and foundation preparation. Sites that are not level and not prepared will be installed as is at the discretion of our independent contractor on site. Job site must be level. We will contact you 1-5 days before installation.		
Sides / End Color	nothing			
Gable Color	nothing			
Trim Color	nothing			
Comments:				

All Orders C.O.D.
\$13522.50
 Price
\$946.58
 Tax
\$14469.08
 Subtotal
 15.0 % \$2028.38
\$12440.70
 Total
 Additional Labor Charge:
\$ 12440.70
 Balance Due at Installation
 \$ 0.00
 2.5% Credit Card Convenience fee for State: CA, CO, CT, FL, KS, ME, MA, NY, OR, TX, PR
 DO NOT ADD Convenience Fee
\$ 12,440.70
 Total Balance Due at Installation

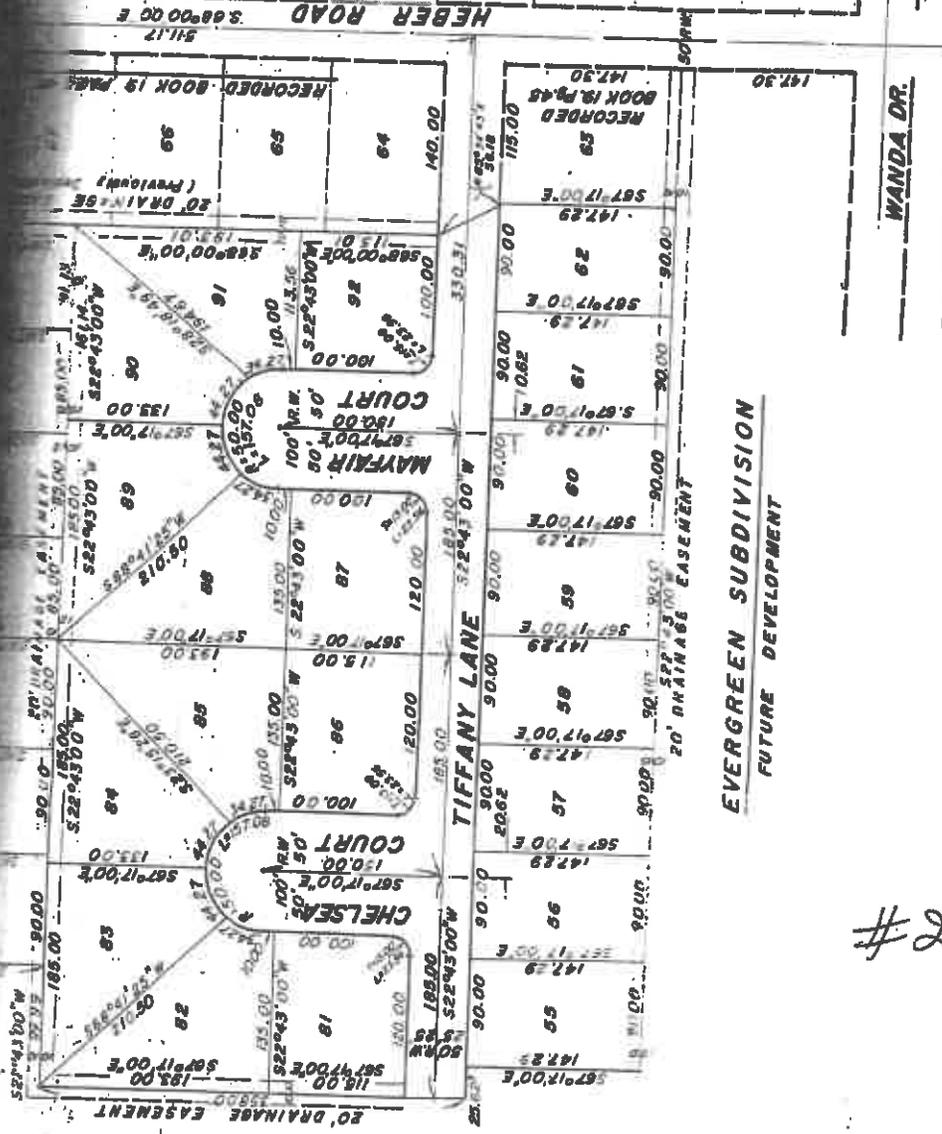
BINDING PURCHASE CONTRACT

This purchase agreement (the "Agreement") is made by and between Steel Buildings and Structures, Inc. ("SBS"), a North Carolina Corporation and (the "Buyer"). Buyer agrees, after being fully educated about SBS's various products, including the fourteen (14) gauge, twelve (12) gauge, non-certified and certified units, to buy, and SBS agrees to sell, pursuant to the terms listed in this Agreement described above. Buyer has read and understands the terms of this agreement, including the terms and conditions contained at the bottom of this document, which terms are expressly incorporated herein by reference, as well as any and all relevant warranty information and agrees to be bound by same.

- Buyer is aware that installation site must be level
- Buyer is responsible for all permits, site plans, and any other approvals before commencement of construction
- Buyer is aware that installation site must have no obstructions
- Buyer is aware that if a building permit is required, buyer must purchase a certified unit

Customer: _____ SBS: Sister Structures
 Email Address: 1870408@nova@gmail.com By: Emily Martin
 Authorized Dealer

EVERGREEN SUBDIVISION
FUTURE DEVELOPMENT



NOTES.

1. NUMBER OF LOTS SHOWN ON THIS PLAT=54
2. ALL CORNERS MARKED WITH METAL PIPE.
3. ALL CORNER RADII =15.00
4. ALL CURVE DISTANCES ARE IN ARC LENGTHS.
5. TOTAL ACREAGE SHOWN ON THIS PLAT = 13.213 ACRES

OWNERS DEDICATION

BY THE RECORDING OF THIS PLAT WE HEREBY DEDICATE ALL STREETS AND

EVERGREEN SUBDIVISION
FUTURE DEVELOPMENT

#227

SURVEYORS CERTIFICATE

I, C. ROGER JENNINGS, A REGISTERED LAND SURVEYOR OF THE STATE OF SOUTH CAROLINA HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY SHOWN HEREON AND THAT THIS PLAT SHOWS THE TRUE

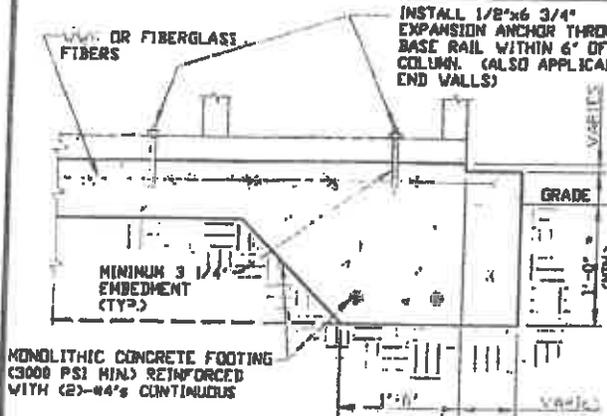
S.C. HWY. 165

WANDA DR.

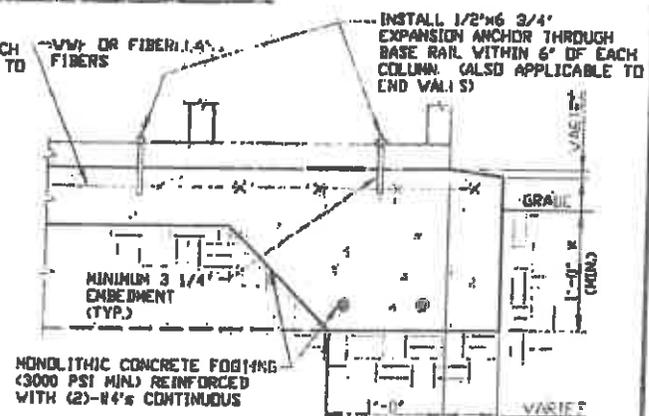
Recorded July 11, 1974
Madd & [unclear]
P. A. Day

EVERGREEN SUBDIVISION
RECORDED BOOK 18 PAGE 28

BASE RAIL ANCHORAGE OPTIONS



2A CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE
 SCALE: NTS
 MINIMUM ANCHOR EDGE DISTANCE IS 4"
 * COORDINATE WITH LOCAL CODES/ORD.



2B CONCRETE SLAB BASE RAIL ANCHORAGE
 SCALE: NTS
 MINIMUM ANCHOR EDGE DISTANCE IS 4"
 * COORDINATE WITH LOCAL CODES/ORD.

GENERAL NOTES

NOTE: CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF

CONCRETE:
 CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:
 FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
 3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2" ELSEWHERE.

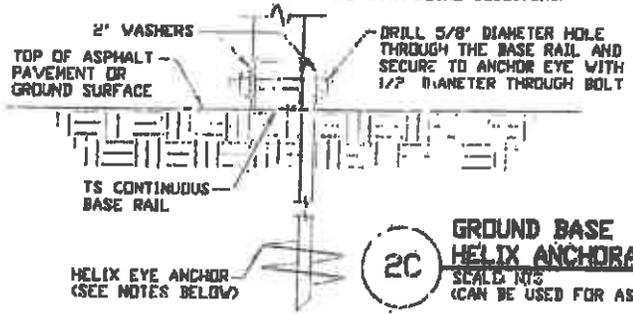
REINFORCING STEEL:
 THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELADDED SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM 30" EMBEDMENT.
5. FOR VERY LOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES WITH MINIMUM 60" EMBEDMENT.



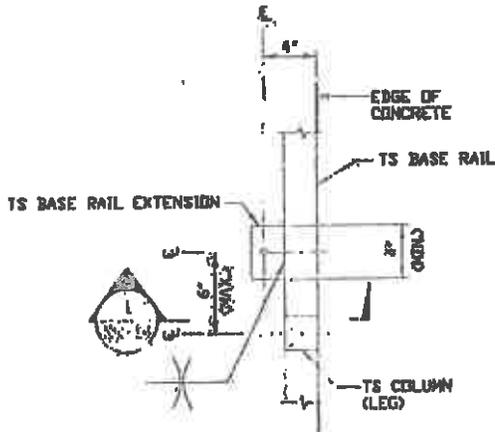
2C GROUND BASE HELIX ANCHORAGE
 SCALE: NTS
 (CAN BE USED FOR ASPHALT)

SAMPLE

	DRAWN BY: AT	STEEL BUILDINGS AND STRUCTURES, INC., P.O. BOX 1287, MOUNT AIRY, NC 27030			
	CHECKED BY: PDH	30'-0" x 20'-0" ENCLOSED STRUCTURE			
	PROJECT NO.: VSH	DATE: 12-11-18	SCALE: NTS	ISSUED/REVISED: 100488/100488/100488	
	CLIENT: BESI	SHT.: 7	DWG. NO.: 3K-3	REV.: 7	

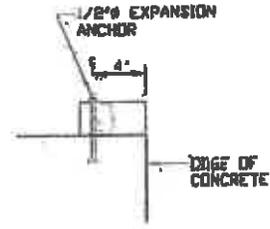
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ADDITIONAL BASE RAIL ANCHORAGE OPTION

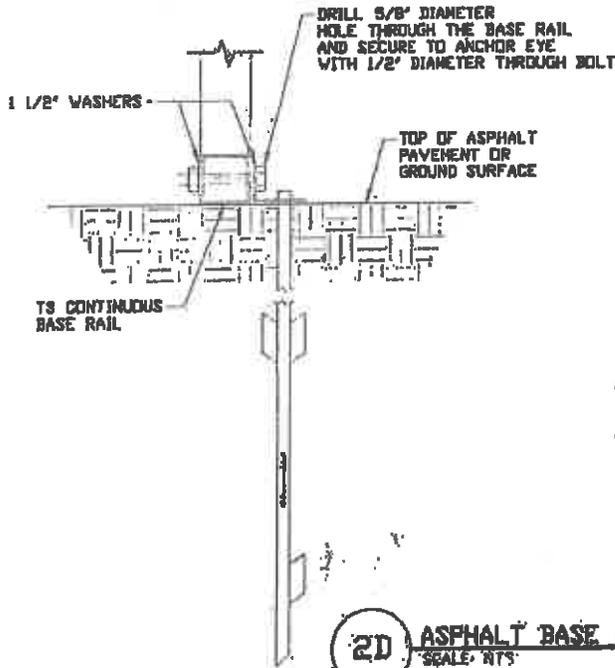


TYPICAL ANCHOR DETAIL WHEN BASE RAIL IS NEAR EDGE OF CONCRETE

SCALE: NTS



SECTION I
SCALE: NTS **SK-14**



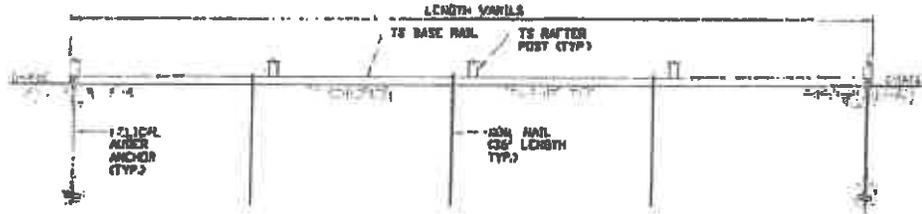
SAMPLE

2D ASPHALT BASE ANCHORAGE
SCALE: NTS

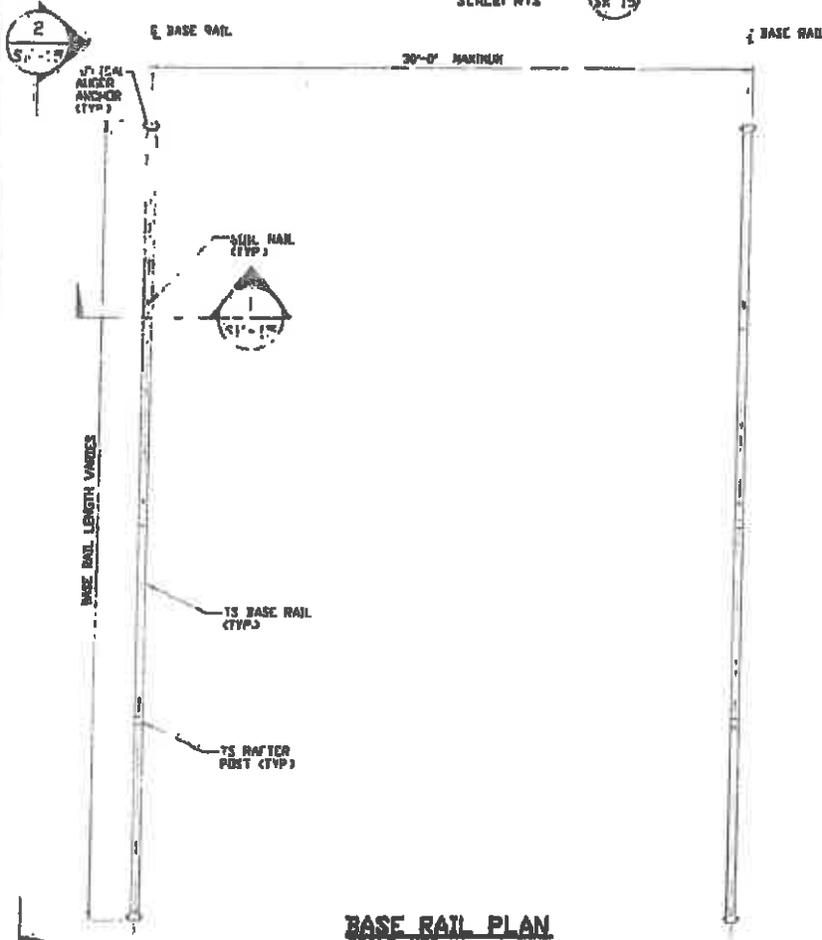
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CHECKED BY: PJH		P.O. BOX 1287, MOUNT AIRY, NC 27030	
PROJECT: HURD VSN	DATE: 12-14-10	SCALE: NTS	JOB NO: 121563/106208
CLIENT: SRSE	SHT. 14	DWG. NO: SK-3	REV: 7

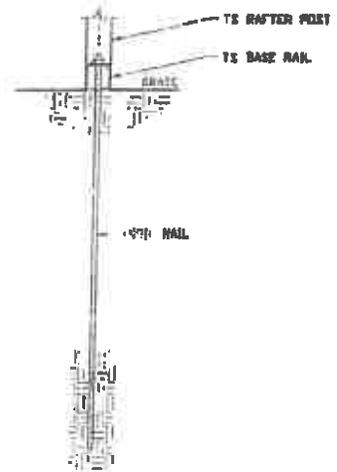
OPTIONAL BASE RAIL ON GRADE APPLICATION



SECTION 2
SCALE: NTS
SK-15



BASE RAIL PLAN
SCALE: NTS



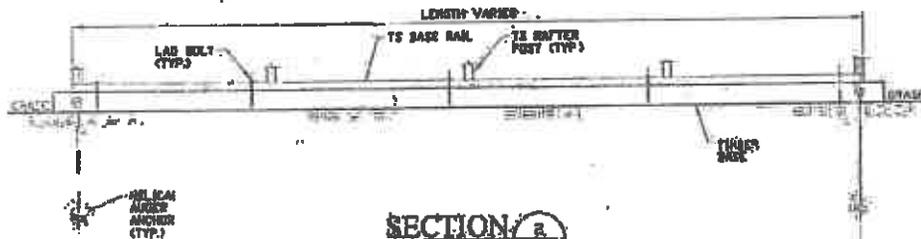
SECTION 1
SCALE: NTS
SK-15

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)

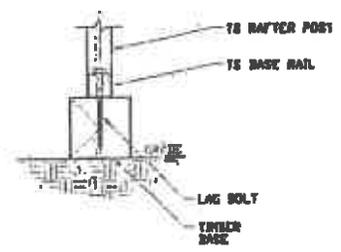
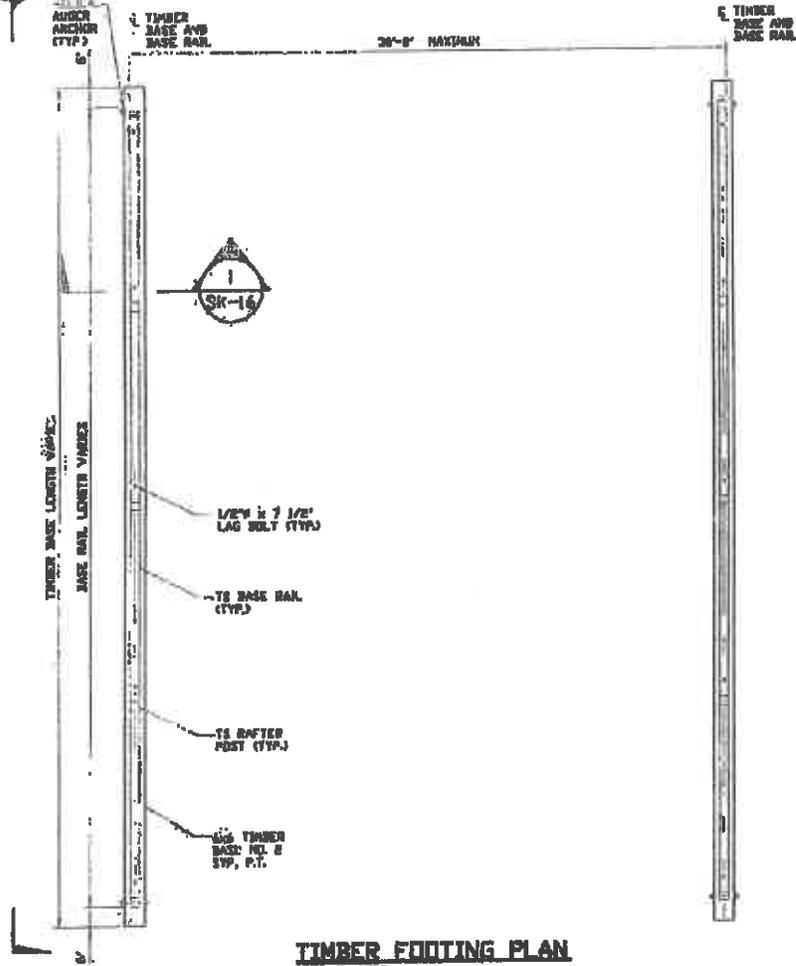
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CLIENT: SRS		SHEET: 10		SCALE: NTS		JOB NO: 101001/101002	
				DWG NO: SK-3		REV: 7	

OPTIONAL BASE RAIL ON TIMBER BEAM



SECTION 2
SCALE: NTS
SK-16



SECTION 1
SCALE: NTS
SK-16

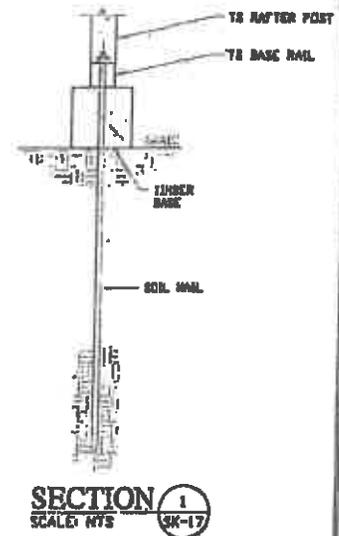
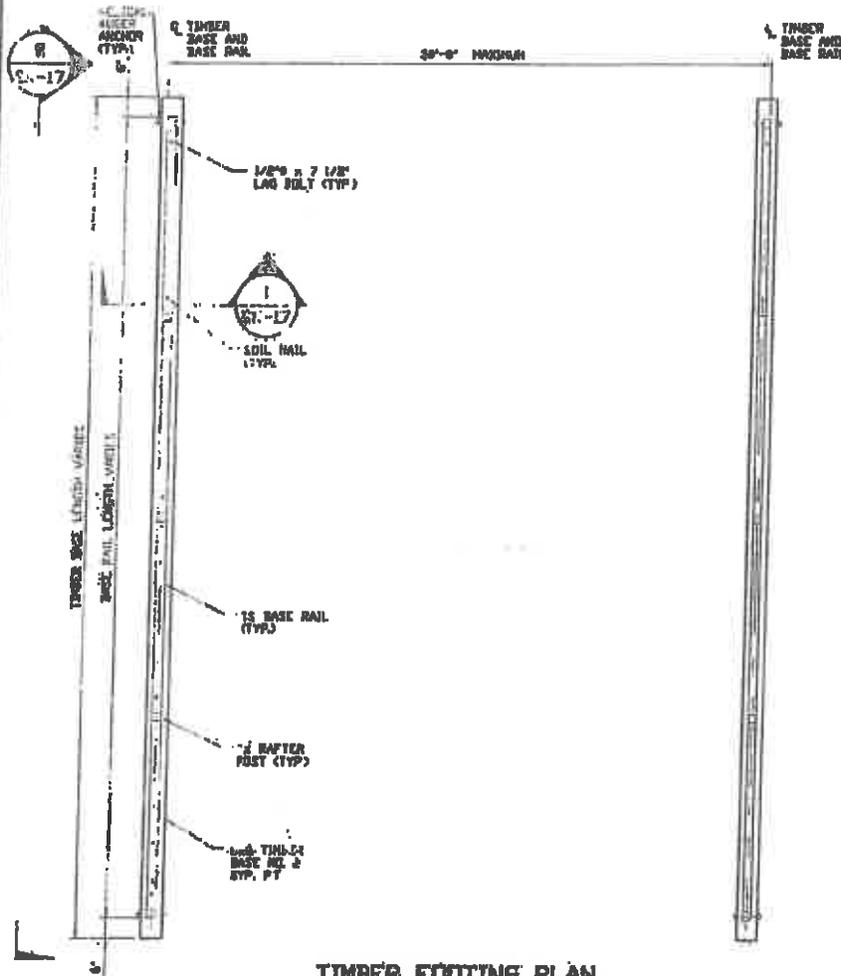
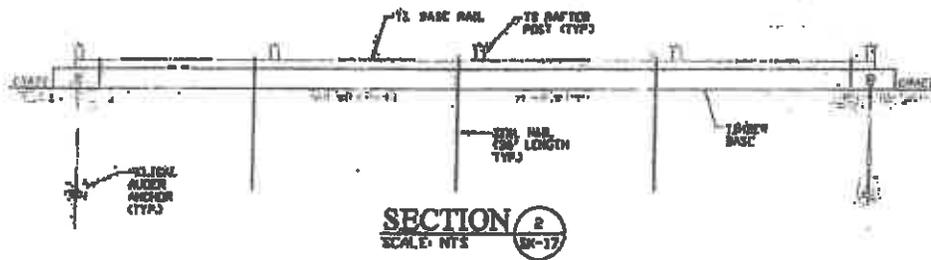
TIMBER FOOTING PLAN
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIABLE	10'-0" (EVERY OTHER POST)

SAMPLE

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	PROJECT NO: VSH	DATE: 12-14-18	SCALE: NTS	100% JOB NO: 181955/182908
	CLIENT: SSSS	SHT. 26	DWG. NO: SK-3	REV: 7

OPTIONAL BASE RAIL ON TIMBER BEAM WITH SOIL NAIL



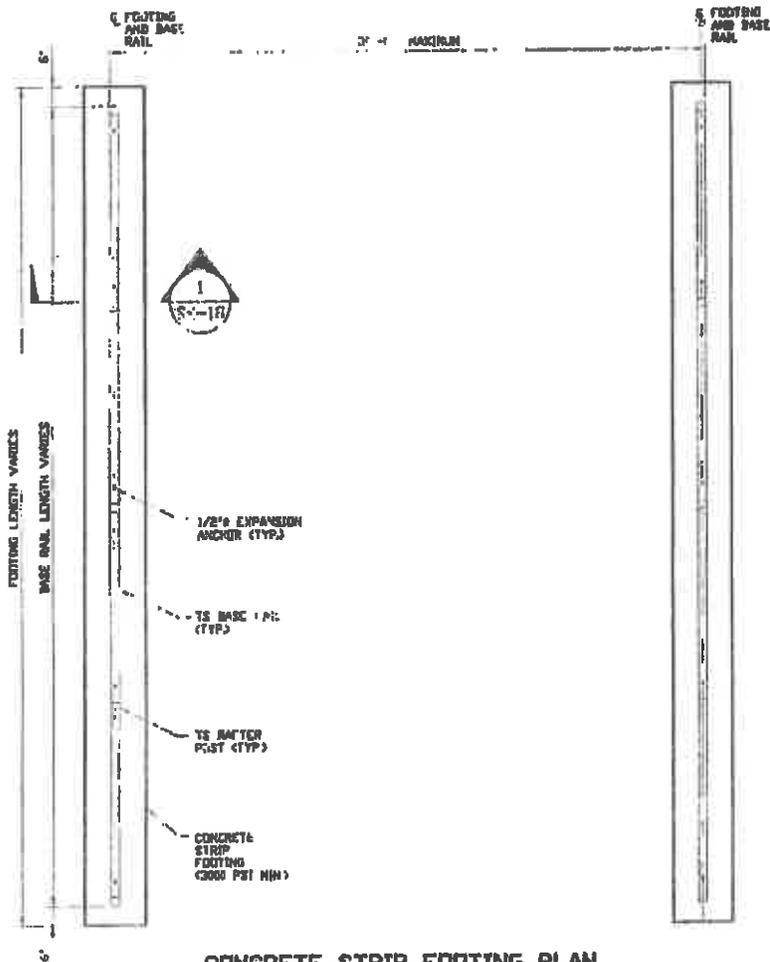
TIMBER FOOTING PLAN
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIABLE	10'-0" (EVERY OTHER POST)

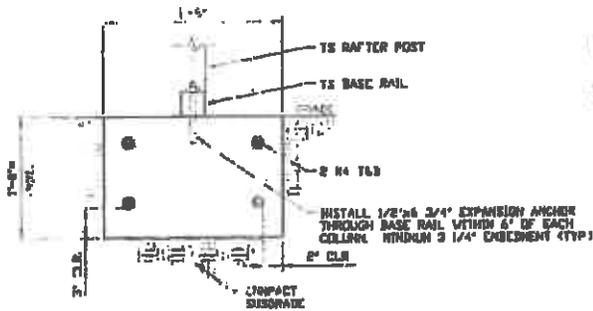
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PROJECT NO: V3H	DATE: 12-14-18	SCALE: NTS	STD. NO. 180555/182905	100585/182905
CLIENT: SSI	SHEET: 17	DWG. NO: SK-3	REV: 7	7

OPTIONAL CONCRETE STRIP FOOTING



CONCRETE STRIP FOOTING PLAN
SCALE: NTS



SECTION 1
SCALE: NTS

* COORDINATE WITH LOCAL CODES/ORD.

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	PROJECT NO: VSH CLIENT: SHS	DATE: 12-14-19 SHT. 10	SCALE: NTS DWG NO: SK-3	JOB NO: 180680/ 180552/180205 REV: 7



STRUCTURAL DESIGN **ENCLOSED BUILDING**

**MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE
FRAME**

14 December 2018

Revision 7

M&A Project No. 16062S/16155S/16207S/17155S/17200S/18068S/18156S/18290S

Prepared for:

**Steel Buildings and Structures, Inc.
P.O. Box 1287
Mt. Airy, NC 27030**

Prepared by:

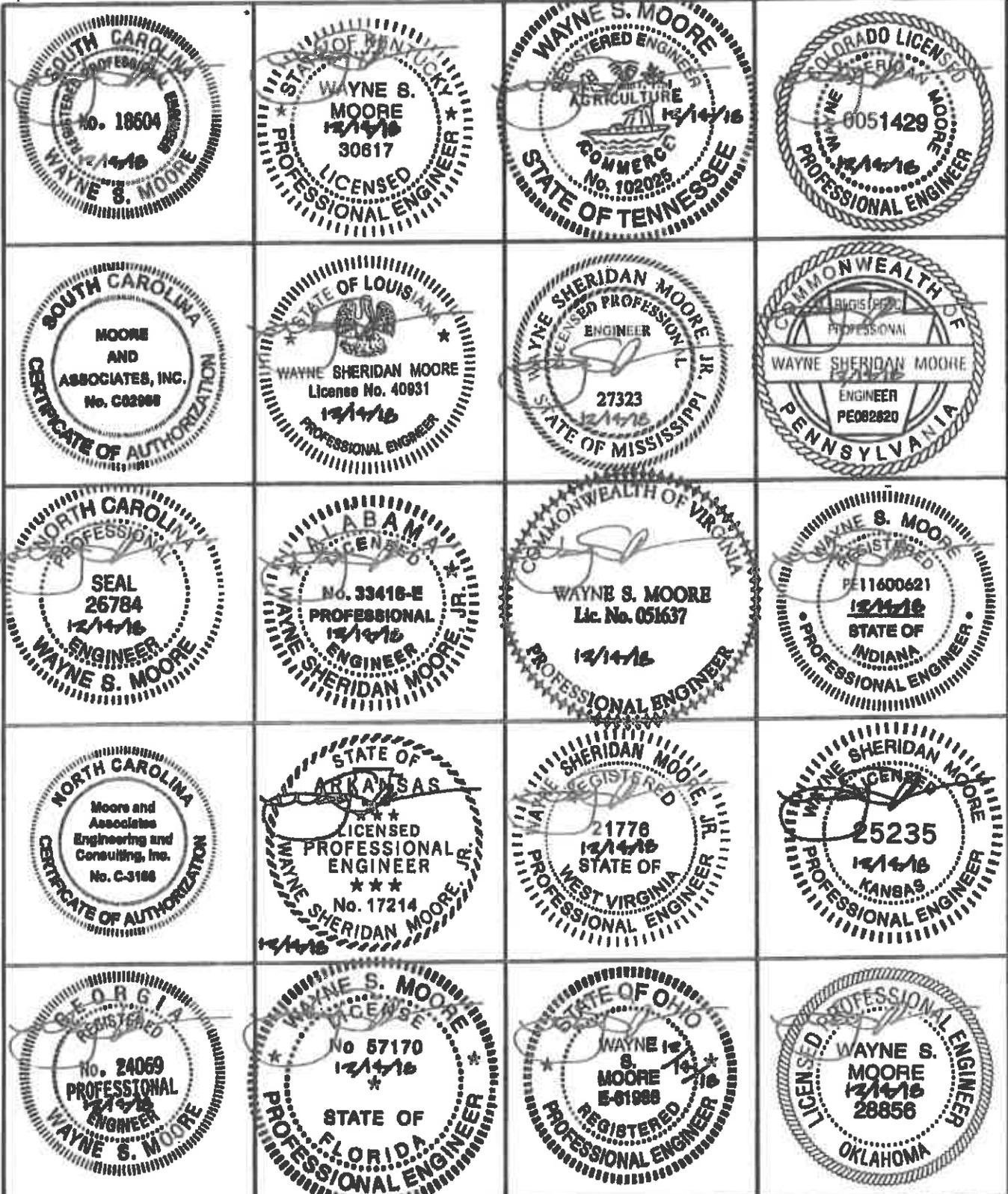
**Moore and Associates Engineering
and Consulting, Inc.**

**1009 East Avenue
North Augusta, SC 29841**

**401 S. Main St., Suite 200
Mount Airy, NC 27030**



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING**

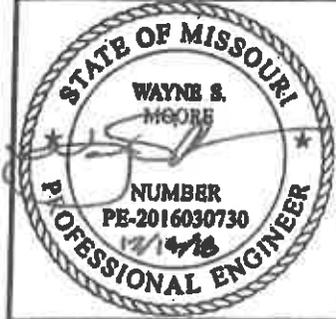


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PROJECT NO: VSN		DATE: 12-14-16	SCALE: NTS	JOB NO: 110003/218290	
CLIENT: SSKI		SHT. 1	DWG NO: SK-3	REV: 7	

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Professional Certification.
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 49744, Expiration Date 6/6/20



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 CHECKED BY: PDM
 PROJECT NO: VSH
 CLIENT: ESSI

STEEL BUILDINGS AND STRUCTURES, INC.
 P.O. BOX 1287,
 MOUNT AIRY, NC 27030
 30'-0" x 20'-0" ENCLOSED STRUCTURE
 DATE: 12-14-18 SCALE: NTS JOB NO: 100682/100683/100685
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SHEET 18	OPTIONAL CONCRETE STRIP FOOTING

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	CLIENT: SISI	SHT. 2	DWG. NO: SK-3	REV: 7

INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION, 2018 NORTH CAROLINA BUILDING CODE, 2006 INTERNATIONAL BUILDING CODE (IBC), 2009 IBC, 2012 IBC AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
 - A) DEAD LOAD = 1.5 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 30 PSF ($\leq 26'-0"$), 35 PSF ($26'-0" < V \leq 30'-0"$)
(UNBALANCED SNOW LOADS DUE TO DRIFTING HAVE NOT BEEN EVALUATED.)
4. 3-SECOND GUST ULTIMATE WIND SPEED (V_{ULT}) 105 TO 145 MPH (NOMINAL WIND SPEED 82 TO 112 MPH) MAXIMUM RAFTER/COLUMN AND END COLUMN SPACING = 5.0 FEET (UNLESS NOTED OTHERWISE).
5. END WALL COLUMNS (POST) ARE EQUIVALENT TO SIDE WALL POSTS UNLESS NOTED OTHERWISE.
6. RISK CATEGORY I.
7. WIND EXPOSURE CATEGORY B.
8. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS (UNLESS NOTED OTHERWISE).
9. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR HAT CHANNELS, AND COLUMNS (INTERIOR OR END) = 8 INCHES.
10. FASTENERS CONSIST OF 1/4"x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14' (3:12 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
11. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6' OF EACH COLUMN.
12. GROUND ANCHORS CONSIST OF #4 REBAR W/ WELDED NUT x 36" LONG IN SUITABLE SOIL CONDITIONS. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED.
13. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:
 - SOIL SITE CLASS = D
 - RISK CATEGORY I/II/III
 - R = 3.25 $I_e = 1.0$
 - $S_{DS} = 2.039$ $V = C_s W$
 - $S_M = 1.258$
14. WINDOW AND DOOR DESIGN PRESSURES ARE APPLICABLE TO THE STATE OF FLORIDA ONLY.

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ENGINEERING AND CONSULTING, INC.**

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CHECKED BY: PSH

PROJECT NO: VSN

CLIENT: SRSI

STEEL BUILDINGS AND STRUCTURES, INC.

P.O. BOX 1287,
MOUNT AIRY, NC 27030

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

JOB NO:

180695/
181553/182905

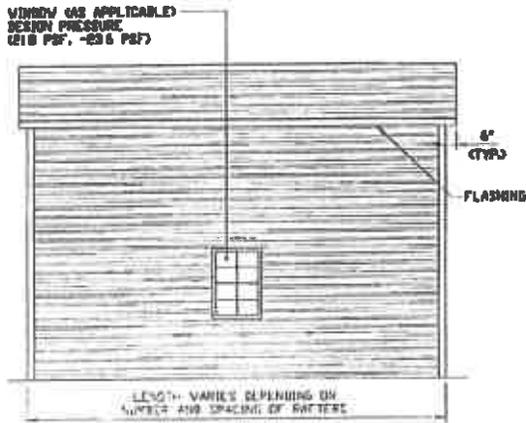
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DWG. NO: SK-3

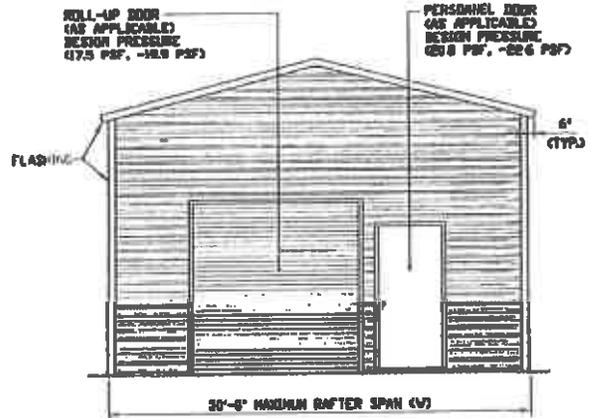
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BOX EAVE FRAME RAFTER STRUCTURE



TYPICAL SIDE ELEVATION
SCALE: NTS



TYPICAL END ELEVATION
SCALE: NTS

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P.O. BOX 1287,
MOUNT AIRY, NC 27030

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-13

SCALE: NTS

JOB NO: 181563/18P905

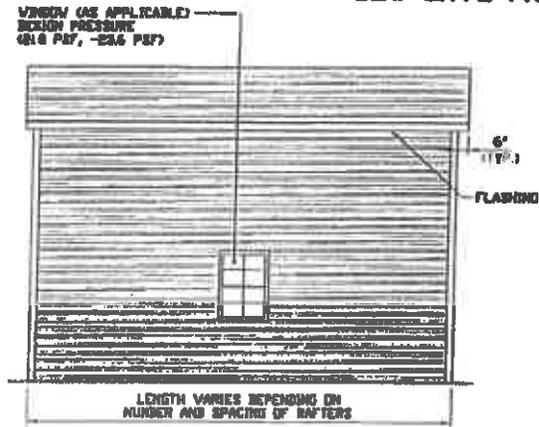
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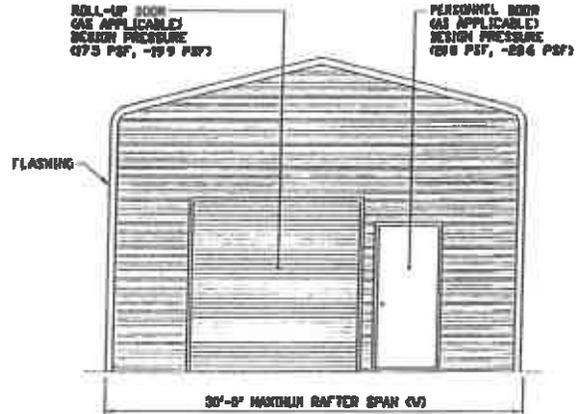
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BOW EAVE FRAME RAFTER STRUCTURE



TYPICAL SIDE ELEVATION
SCALE: NTS



TYPICAL END ELEVATION
SCALE: NTS

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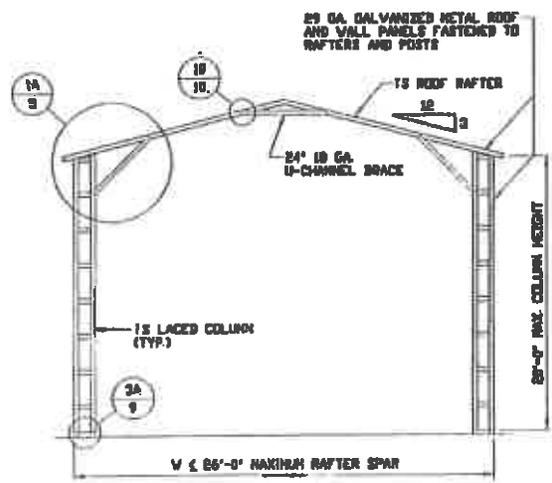
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CLIENT: SSSI

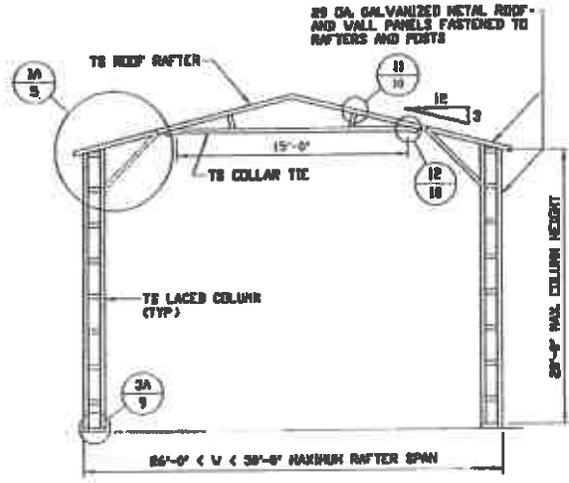
DATE: 12-14-18
SHT. 20

SCALE: NTS
DWG. NO: SK-3

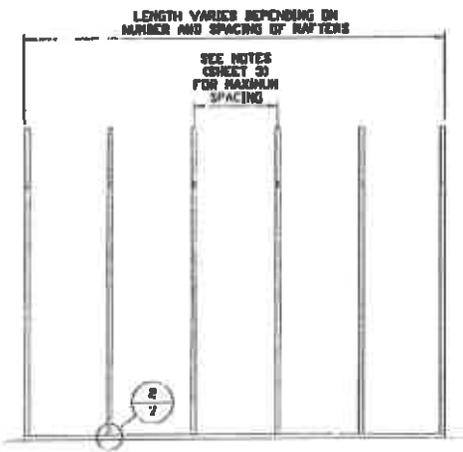
JOB NO: 180553/182905
REV: 7



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS

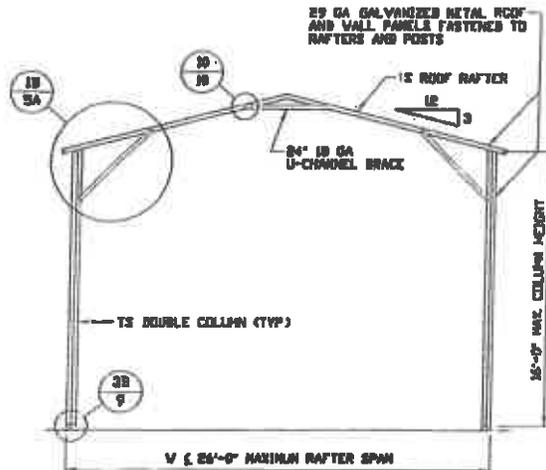


TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS

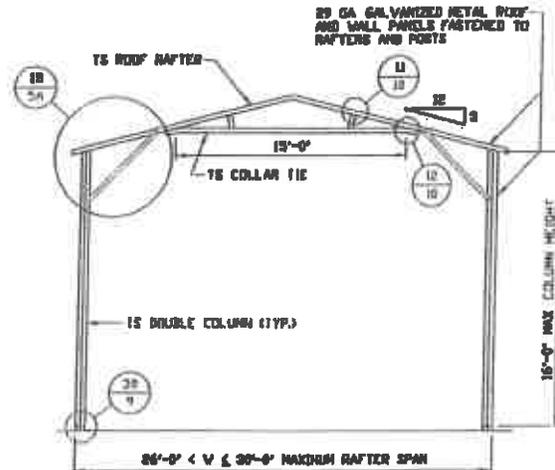


TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

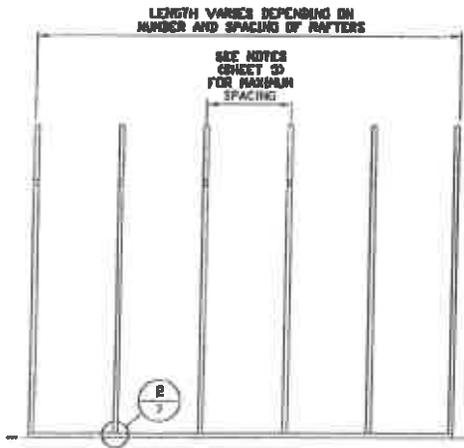
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	CHECKED BY: PBN	30'-0" x 20'-0" ENCLOSED STRUCTURE		
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	CLIENT: SRSI	SHT. 4	EWL NO SK-3	REV: 7



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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ENGINEERING AND CONSULTING, INC.**

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CHECKED BY: PJM

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

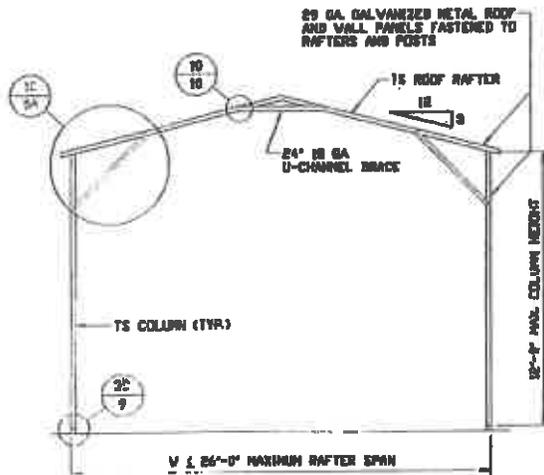
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PROJECT NO: VSH
CLIENT: SSSI

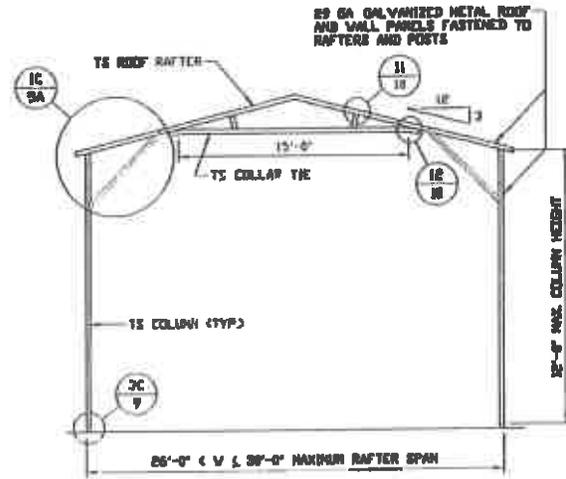
DATE: 12-14-18
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SWS ID: SK-3

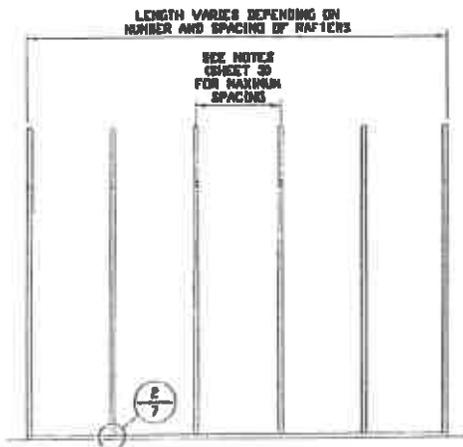
JOB NO: 180685/180905
REV: 7



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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PROJECT NO: VSM

CLIENT: SRSI

STEEL BUILDINGS AND STRUCTURES, INC.

P.O. BOX 1287,
MOUNT AIRY, NC 27030

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 49

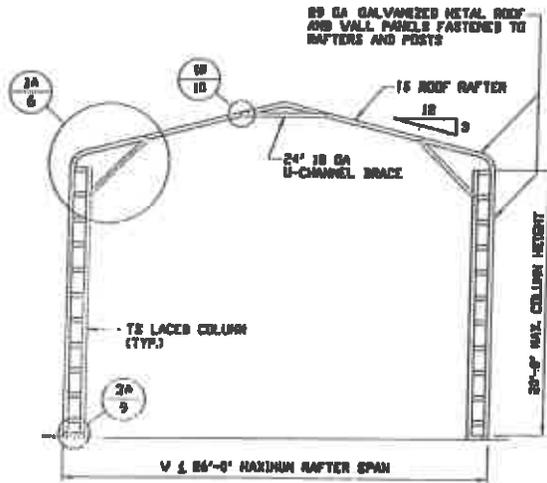
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DWG. NO. SK-3

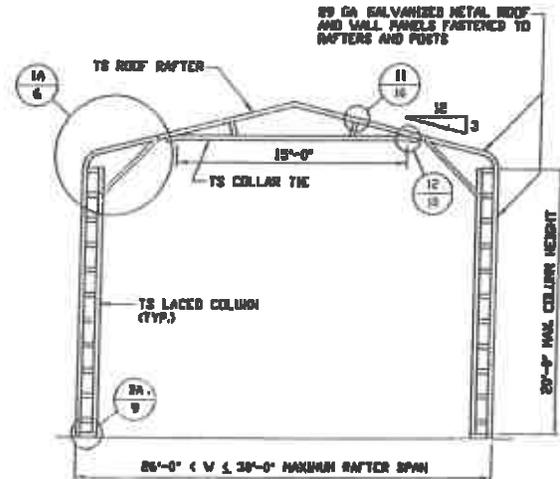
JOB NO: 180625/182901

REV: 7

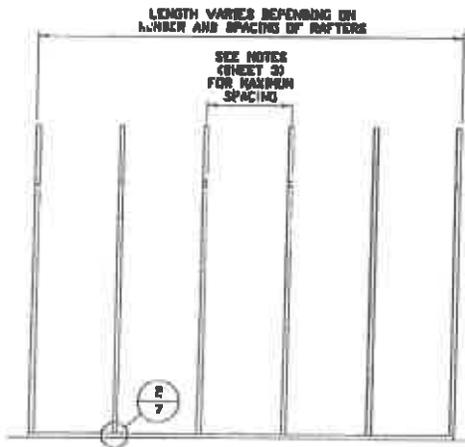
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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CLIENT: SSSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

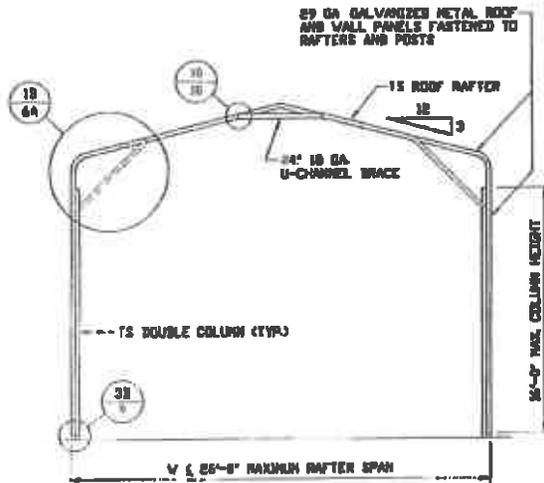
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JOB NO: 180683/182905

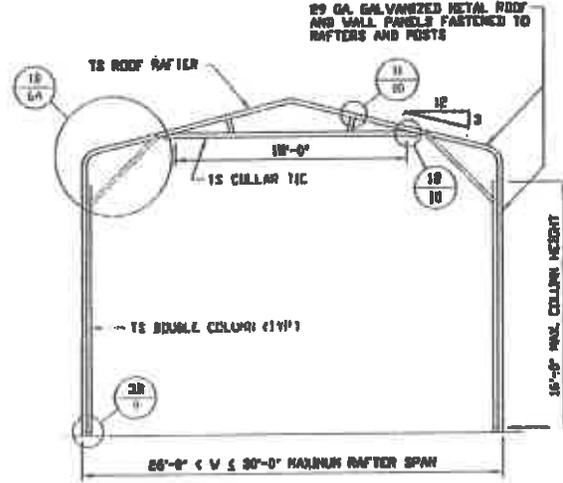
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REV: 7

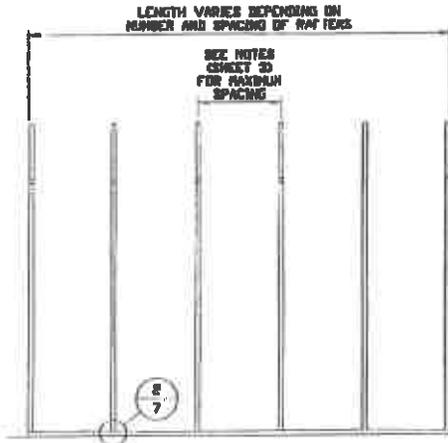
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

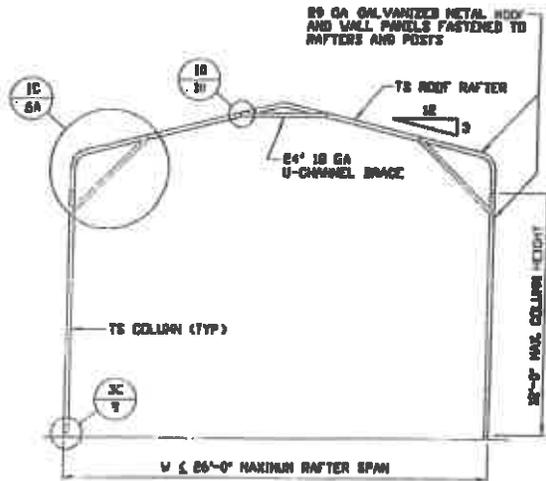
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PROJECT NO: VSH
CLIENT: SSSI

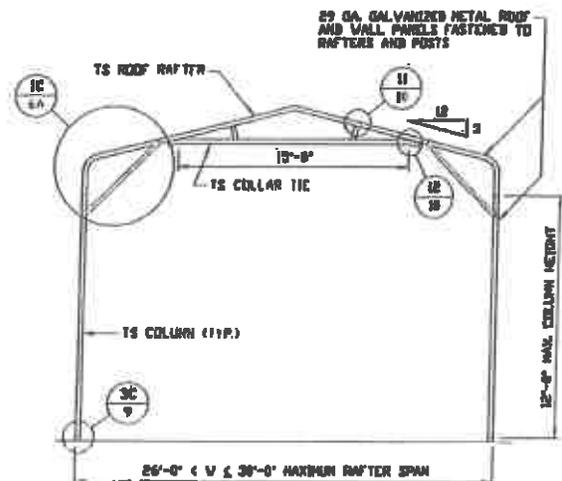
STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18
SCALE: NTS
JOB NO: 181563/182903
SHT. 4B
SVC NO SK-3
REV: 7

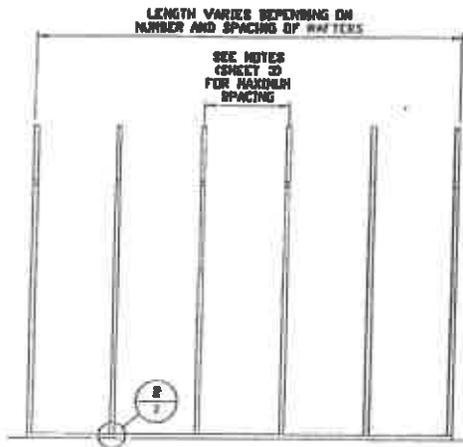
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS

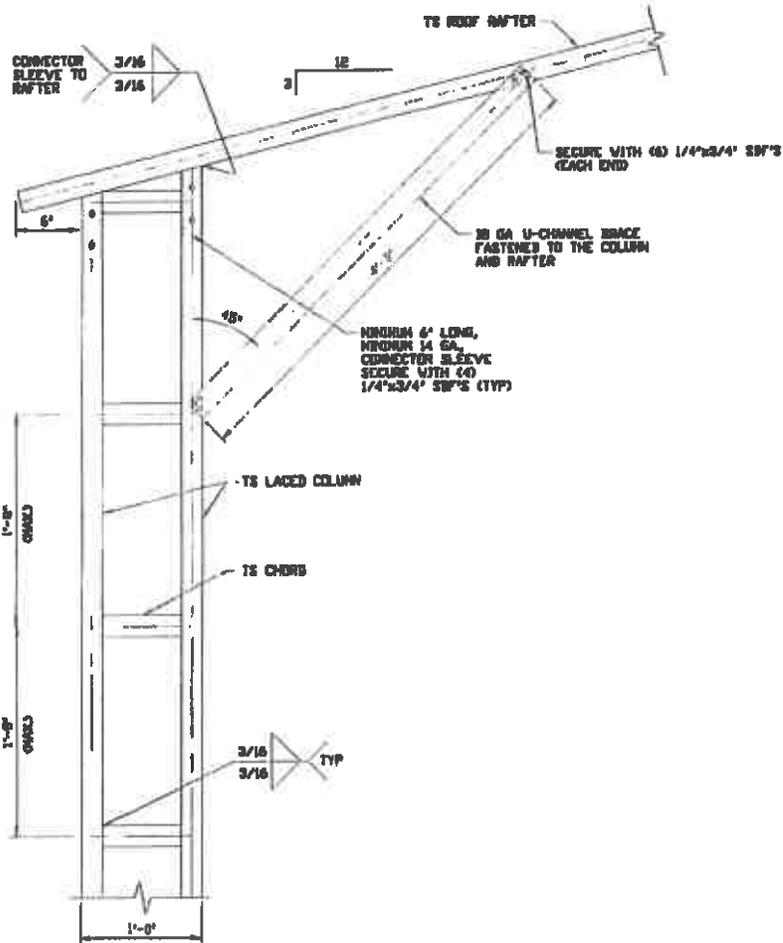


TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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CHECKED BY: PSH	10'-0" x 20'-0" ENCLOSED STRUCTURE		
PROJECT NO: VSH	DATE: 12-14-19	SCALE: NTS	JOB NO: 180685/ 181843/185990
CLIENT: EBST	SHT. 4E	DWG NO: SK-3	REV: 7

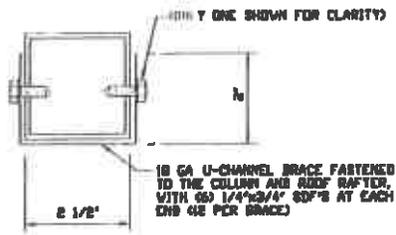
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BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"

1A

SCALE: NTS



BRACE SECTION
 SCALE: NTS

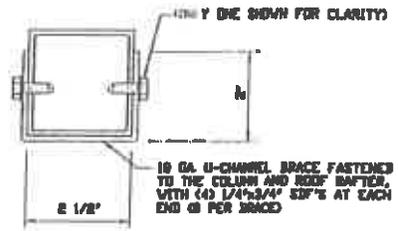
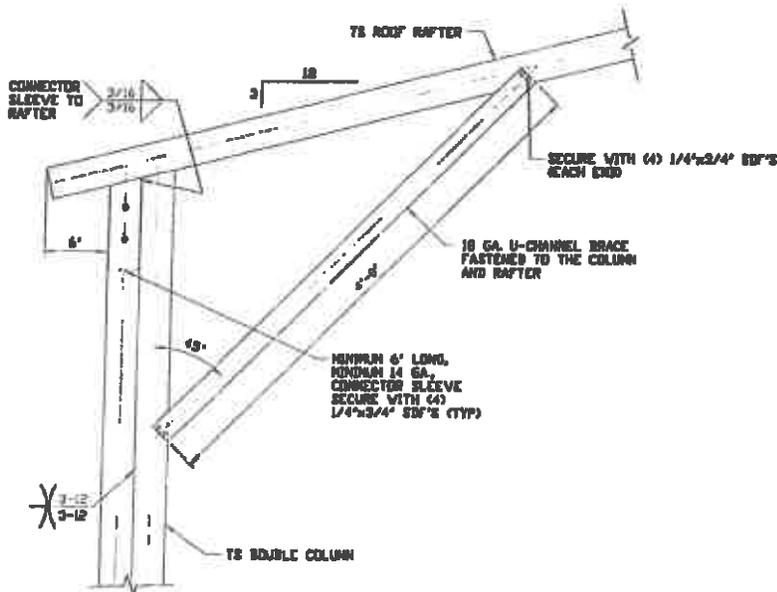
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 PROJECT NO: VSN
 CLIENT: SSSI

STEEL BUILDINGS AND STRUCTURES, INC.
 P.O. BOX 1287,
 MOUNT AIRY, NC 27030
 30'-0" x 20'-0" ENCLOSED STRUCTURE

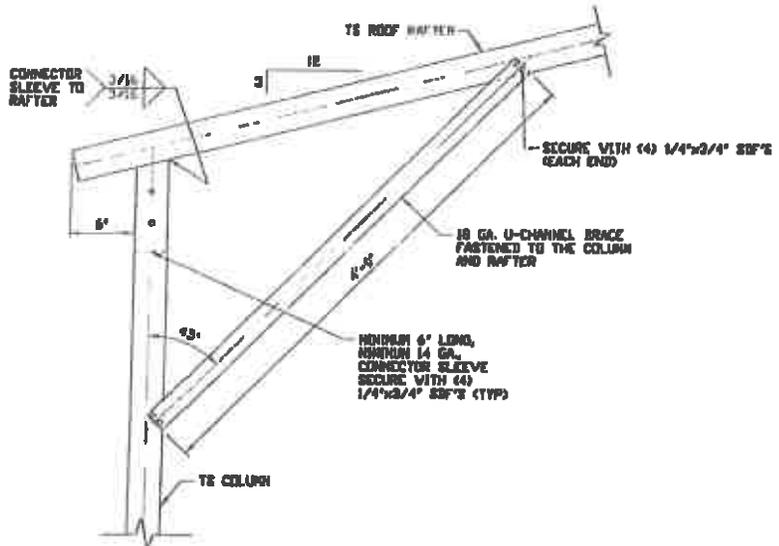
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 SHT. 8
 JOB NO. 180605/180905
 DWS NO SK-3
 REV: 7

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BRACE SECTION
SCALE: NTS

1B
BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL
FOR HEIGHTS 12'-0" < TO ≤ 16'-0"
SCALE: NTS



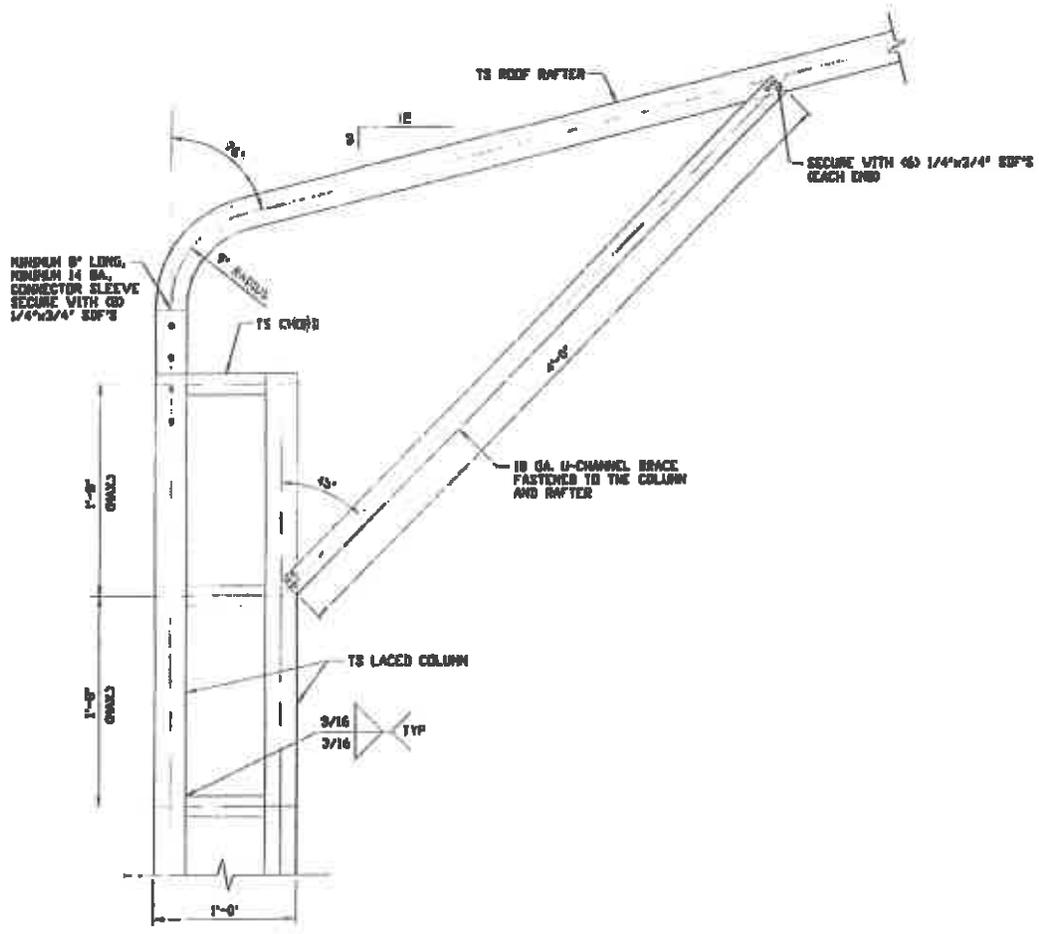
1C
BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL
FOR HEIGHTS ≤ 12'-0"
SCALE: NTS

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ENGINEERING AND CONSULTING, INC.

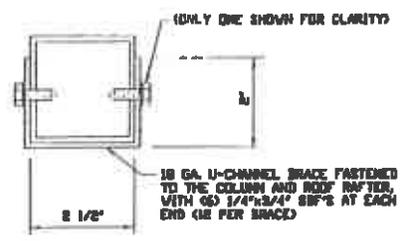
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CLIENT: SSSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
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30'-0" x 20'-0" ENCLOSED STRUCTURE
DATE: 12-14-18
SCALE: NTS
JOB NO: 180685/180685
DWG NO: SK-3
REV: 7

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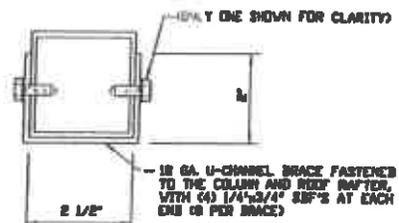
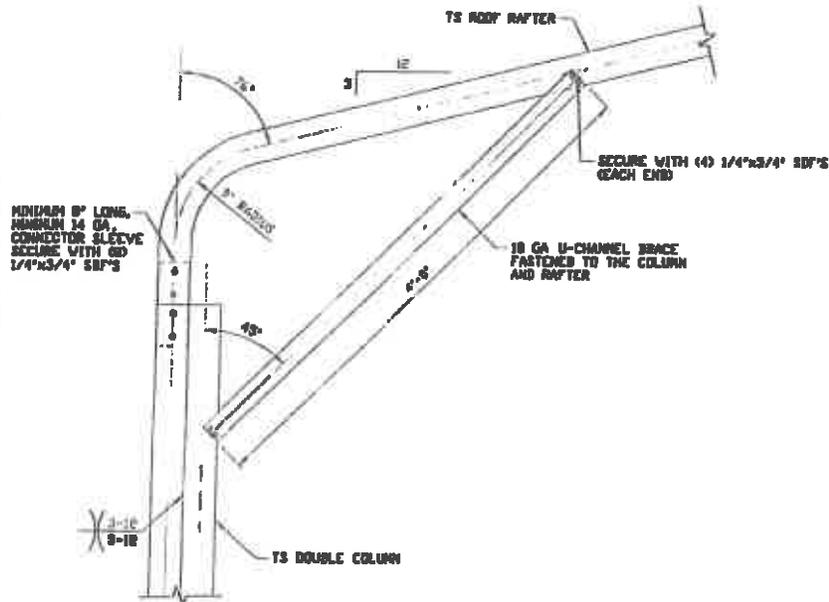


1A BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL FOR HEIGHTS 16'-0" < TO ≤ 20'-0" SCALE: NTS



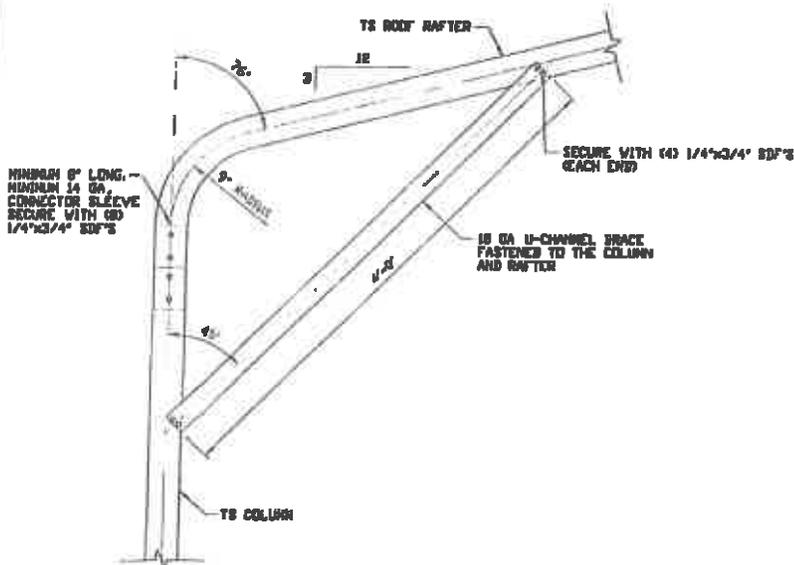
BRACE SECTION SCALE: NTS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: AT	STEEL BUILDINGS AND STRUCTURES, INC. P.O. BOX 1287, MOUNT AIRY, NC 27030		
	CHECKED BY: PJM	30'-0" x 20'-0" ENCLOSED STRUCTURE		
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	CLIENT: ERSI	SHT: 6	DWG NO: SK-3	REV: 7



BRACE SECTION
SCALE: NTS

1B BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL FOR HEIGHTS 12'-0" < TO ≤ 16'-0"
SCALE: NTS



1C BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL FOR HEIGHTS < 12'-0"
SCALE: NTS

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ENGINEERING AND CONSULTING, INC.**

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CHECKED BY: PJM

PROJECT NO: V201

CLIENT: SSSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

SHT. 6A

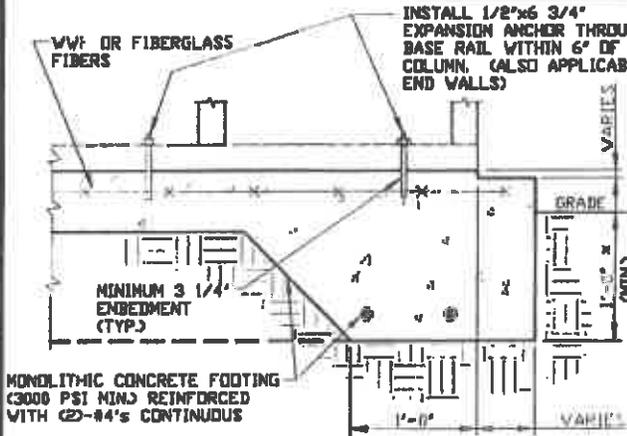
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DWG NO: SK-3

REV: 7

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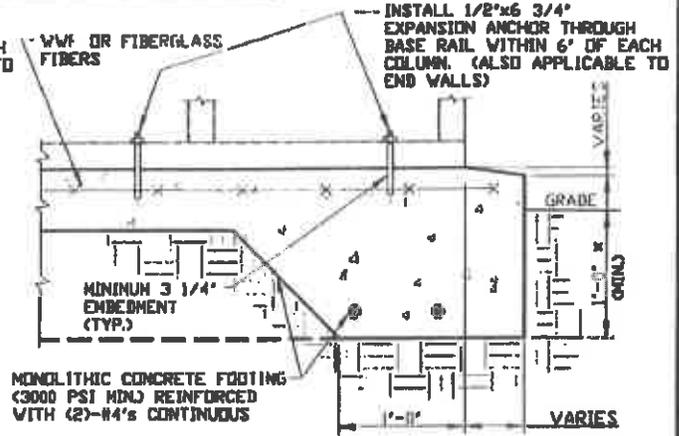
BASE RAIL ANCHORAGE OPTIONS



2A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS
MINIMUM ANCHOR EDGE DISTANCE IS 4".
* COORDINATE WITH LOCAL CODES/ORD.



2B

CONCRETE SLAB BASE RAIL ANCHORAGE

SCALE: NTS
MINIMUM ANCHOR EDGE DISTANCE IS 4".
* COORDINATE WITH LOCAL CODES/ORD.

GENERAL NOTES

NOTE: CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:

3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2" ELSEWHERE.

REINFORCING STEEL:

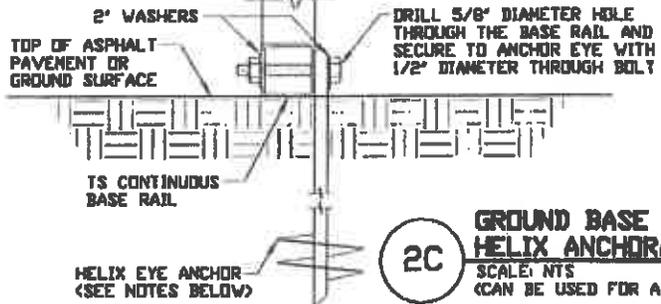
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM 50" EMBEDMENT.
5. FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES WITH MINIMUM 60" EMBEDMENT.



2C

GROUND BASE HELIX ANCHORAGE

SCALE: NTS
(CAN BE USED FOR ASPHALT)

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CLIENT: SSSI

STEEL BUILDINGS AND STRUCTURES, INC.

P.O. BOX 1287,
MOUNT AIRY, NC 27030

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 7

SCALE: NTS

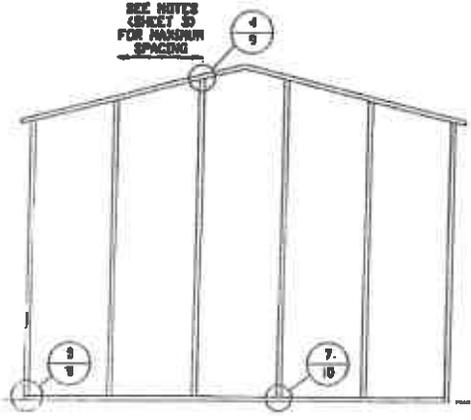
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JOB NO. 180625/180625

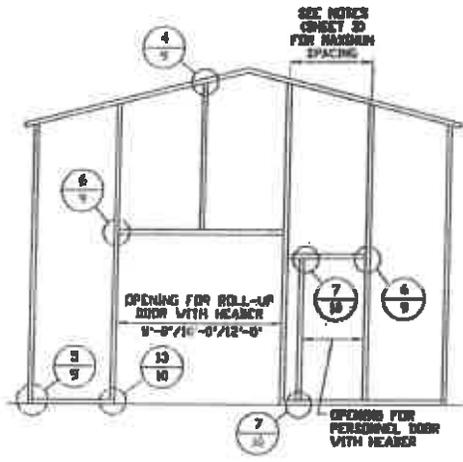
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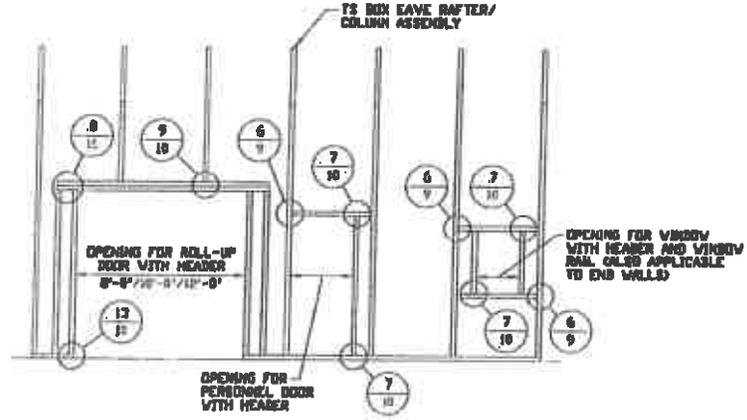
BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**
SCALE: NTS



**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**
SCALE: NTS



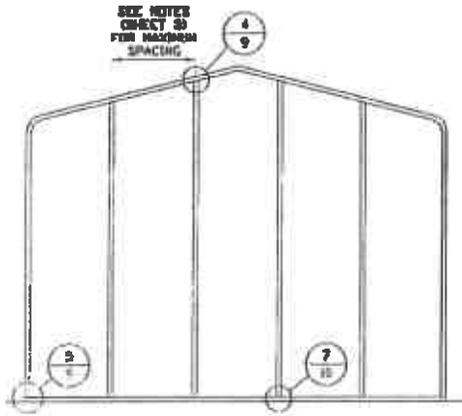
**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**
SCALE: NTS

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CHECKED BY: PJM	30'-0" x 20'-0" ENCLOSED STRUCTURE		
PROJECT NO: WSH	DATE: 12-14-18	SCALE: NTS	JOB NO: 181223/182025
CLIENT: SRSI	SHT. 8	BVA NO SK-2	REV. 7

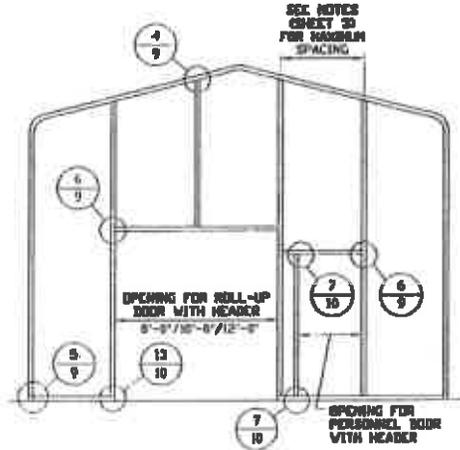
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BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



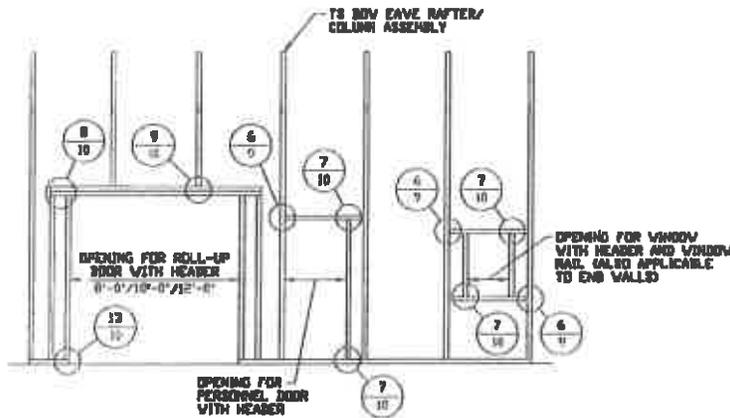
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS

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30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 0A

SCALE: NTS

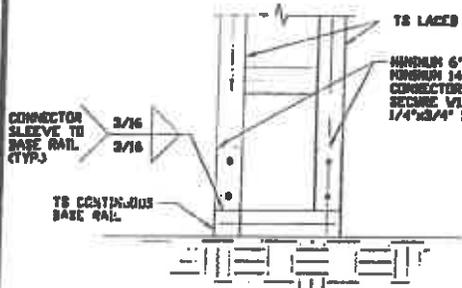
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JOB NO: 180625/180905

REV: 7

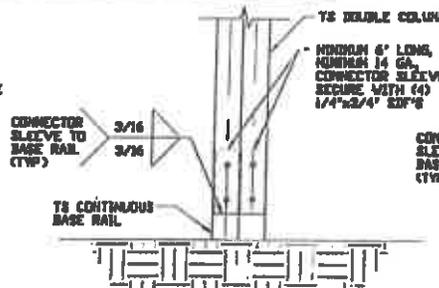
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CONNECTION DETAILS



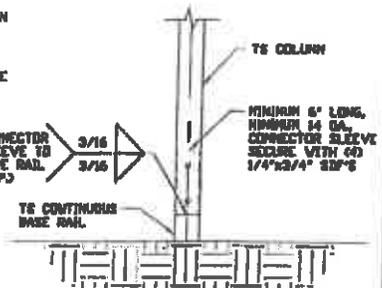
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POST/BASE RAIL CONNECTION DETAIL
SCALE: NTS



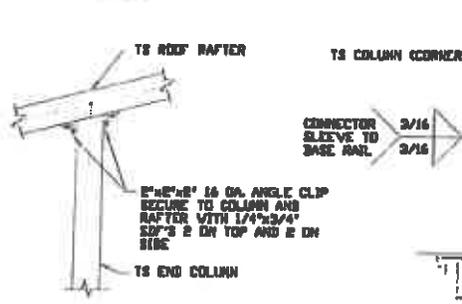
3B

POST/BASE RAIL CONNECTION DETAIL
SCALE: NTS



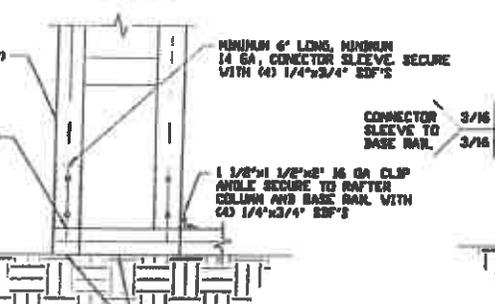
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POST/BASE RAIL CONNECTION DETAIL
SCALE: NTS



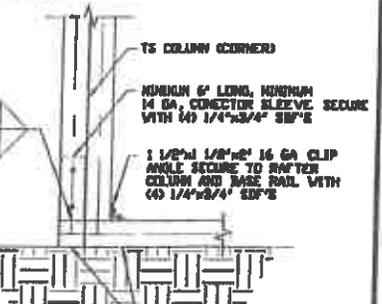
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END COLUMN/RAFTER CONNECTION DETAIL
SCALE: NTS



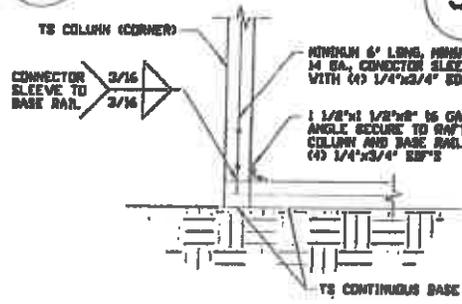
5A

END COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



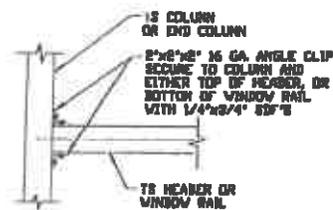
5B

END COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



5B

END COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



6

COLUMN OR WINDOW RAIL TO POST CONNECTION DETAIL
SCALE: NTS

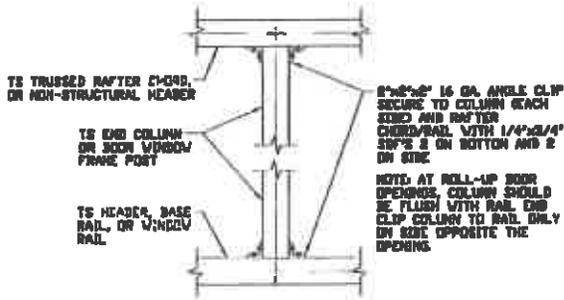
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PROJECT NO: WSN
CLIENT: SEST

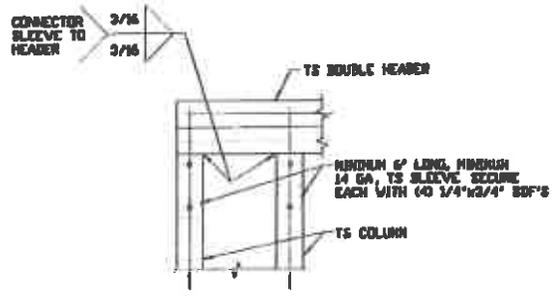
STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE
DATE: 12-14-10
SCALE: NTS
SHT. 9
JOB NO. 18065/18065S
DWG. NO. SK-3
REV. 7

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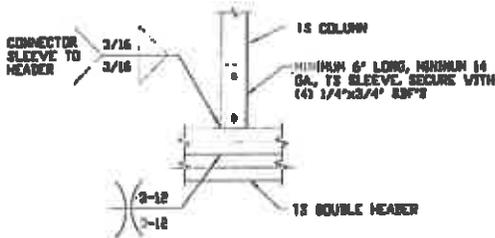
CONNECTION DETAILS



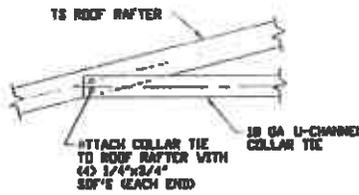
7 COLUMN TO HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL
SCALE: NTS



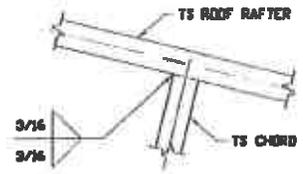
8 DOUBLE HEADER/COLUMN CONNECTION DETAIL
SCALE: NTS



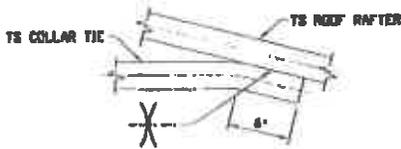
9 COLUMN/DOUBLE HEADER CONNECTION DETAIL
SCALE: NTS



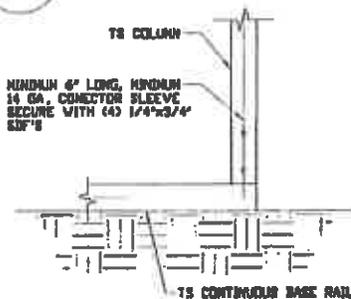
10 COLLAR TIE CONNECTION DETAIL
SCALE: NTS



11 RAFTER TO CHORD CONNECTION DETAIL
SCALE: NTS



12 COLLAR TIE CONNECTION DETAIL
SCALE: NTS



13 COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT

CHECKED BY: PDM

PROJECT NO: VSH

CLIENT: SSSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
10'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 18

SCALE: NTS

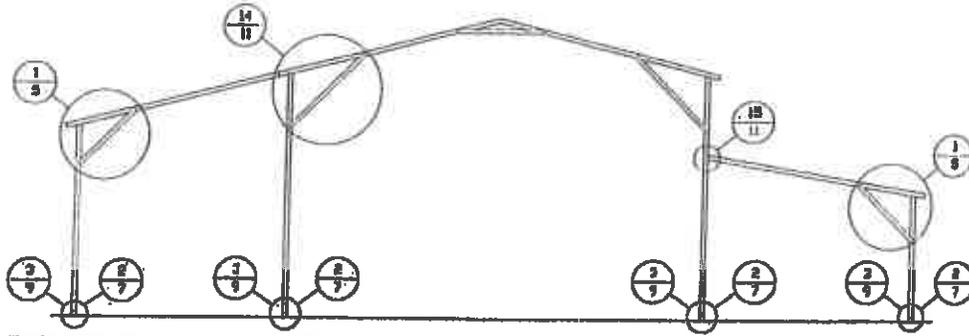
DWG. NO. SK-3

JOB NO. 180602/181555/182805

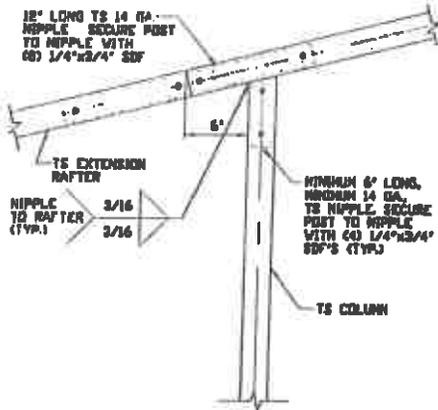
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BOX EAVE RAFTER LEAN-TO OPTIONS

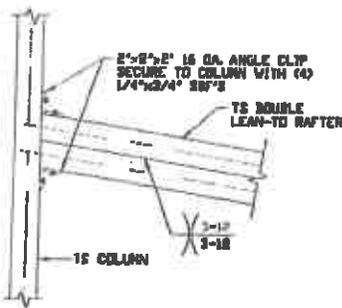


TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)
SCALE: NTS



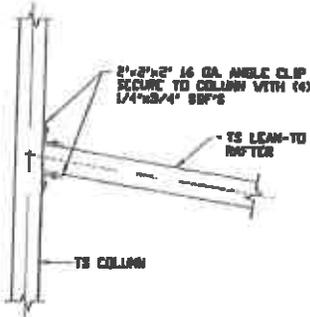
**14 SIDE EXTENSION RAFTER/
CORNER POST DETAIL**

SCALE: NTS



**15A LEAN-TO RAFTER TO
RAFTER POST CONNECTION
DETAIL FOR WIDTHS
12'-0" < TO ≤ 16'-0"**

SCALE: NTS



**15B LEAN-TO RAFTER
TO RAFTER POST
CONNECTION DETAIL
FOR WIDTHS ≤ 12'-0"**

SCALE: NTS

**MOORE AND ASSOCIATES
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DRAWN BY: AT

CHECKED BY: PSH

PROJECT MGR: VSM

CLIENT: STET

STEEL BUILDINGS AND STRUCTURES, INC.

P.O. BOX 1287,
MOUNT AIRY, NC 27030

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

JOB NO: 181523/18R003

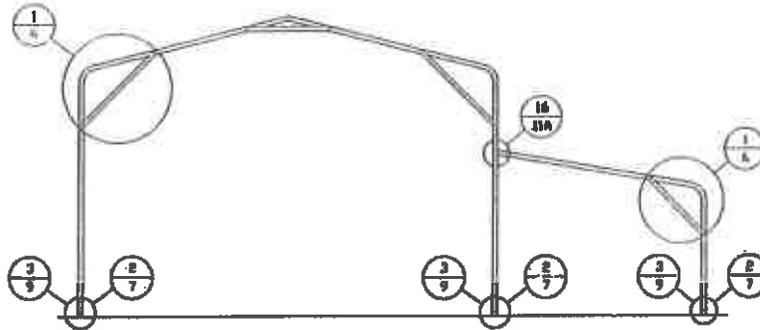
SHT. 21

DWG NO: SK-3

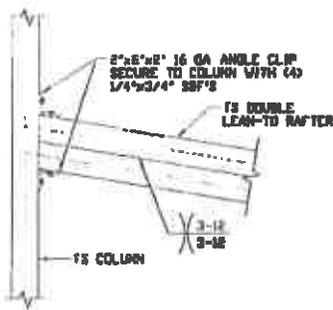
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BOW EAVE RAFTER LEAN-TO OPTIONS

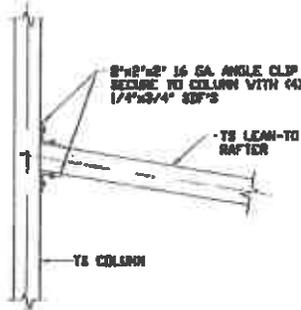


TYPICAL BOW EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION
SCALE: NTS



16A

**LEAN-TO RAFTER TO
RAFTER POST CONNECTION
DETAIL FOR WIDTHS
12'-0" < TO ≤ 16'-0"**
SCALE: NTS



16B

**LEAN-TO RAFTER
TO RAFTER POST
CONNECTION DETAIL
FOR WIDTHS ≤ 12'-0"**
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT

CHECKED BY: PMH

PROJECT: NGR WSN

CLIENT: SEST

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 10A

SCALE: NTS

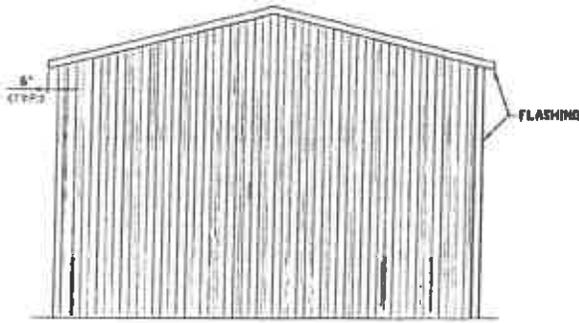
DWG. NO. SK-3

JOB NO. 100695/100695

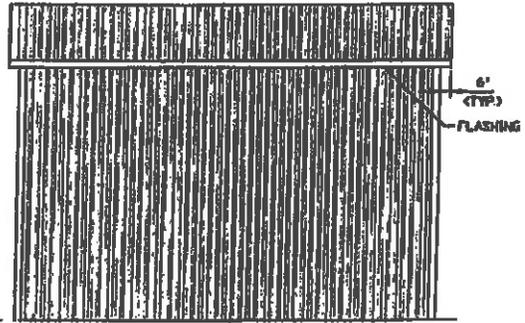
REV: 7

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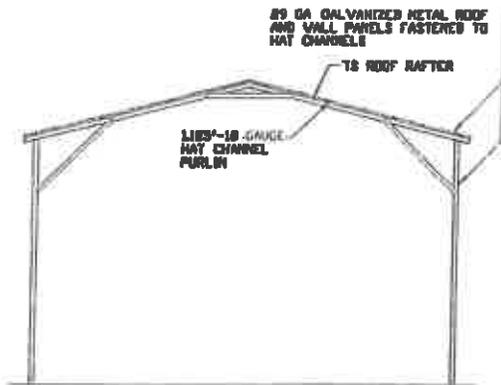
BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



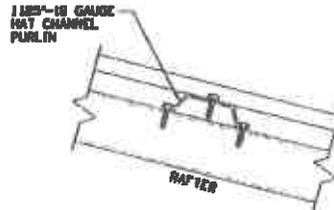
**TYPICAL END ELEVATION
VERTICAL ROOF/SIDING**
SCALE: NTS



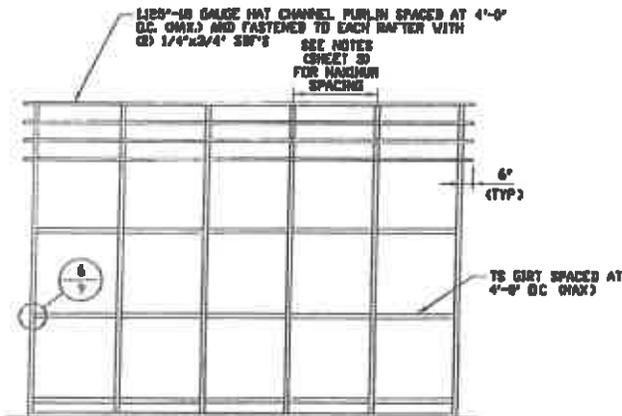
**TYPICAL SIDE ELEVATION
VERTICAL ROOF/SIDING**
SCALE: NTS



**TYPICAL SECTION
VERTICAL ROOF/SIDING OPTION**
SCALE: NTS



PANEL ATTACHMENT
(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS



**TYPICAL FRAMING SECTION
VERTICAL ROOF/SIDING OPTION**
SCALE: NTS

**MOORE AND ASSOCIATES
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DRAWN BY: AT

CHECKED BY: PMH

PROJECT NO: V2H

CLIENT: SRSI

STEEL BUILDINGS AND STRUCTURES, INC.

P.O. BOX 1287,
MOUNT AIRY, NC 27030

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

SHT. 1B

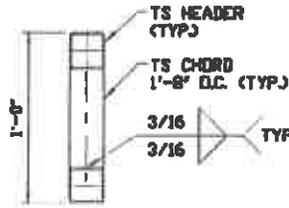
DWG. NO. SK-3

ISSUES/
JOB NO. 181955/181955

REV: 6A

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OPTIONAL HEADER



**HEADER DETAIL FOR DOOR
OPENINGS 12'-0" < LENGTH < 20'-0"**
SCALE: NTS

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CHECKED BY: PZH

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

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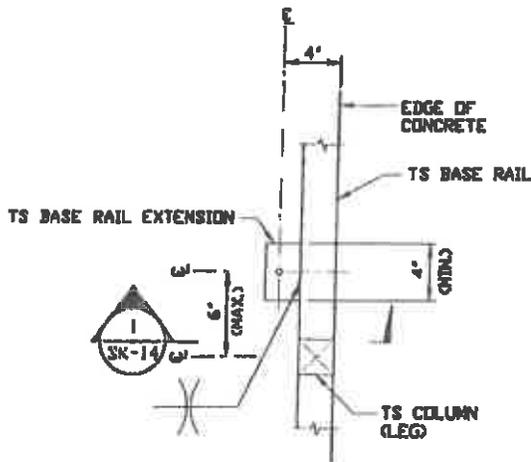
PROJECT: HRR VSM
CLIENT: SRST

DATE: 12-14-18
SHT. 13

SCALE: NTS
DWG. NO: SK-3

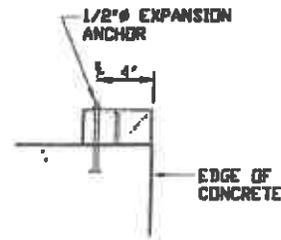
JOB NO: 18055/192905
REV: 7

ADDITIONAL BASE RAIL ANCHORAGE OPTION

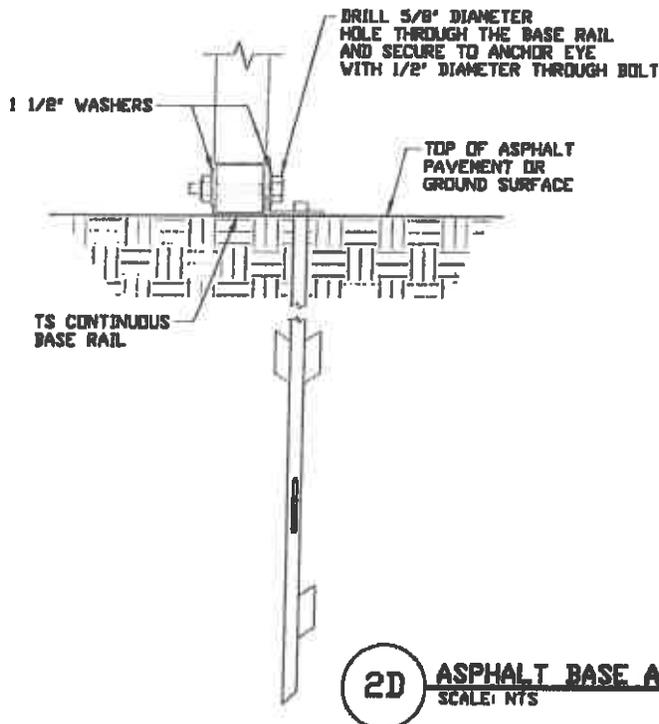


TYPICAL ANCHOR DETAIL WHEN BASE RAIL IS NEAR EDGE OF CONCRETE

SCALE: NTS



SECTION 1
SCALE: NTS



2D ASPHALT BASE ANCHORAGE

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AY

CHECKED BY: PJM

PROJECT NO: V24

CLIENT: SRS

STEEL BUILDINGS AND STRUCTURES, INC.

P.O. BOX 1287,
MOUNT AIRY, NC 27030

30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-10

SCALE: NTS

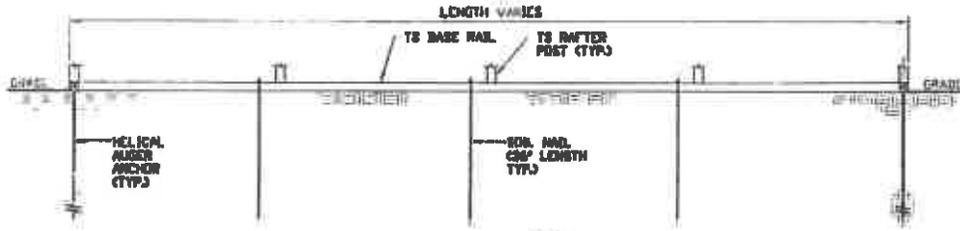
JOB NO. 100023/180000

DWG. NO. SK-8

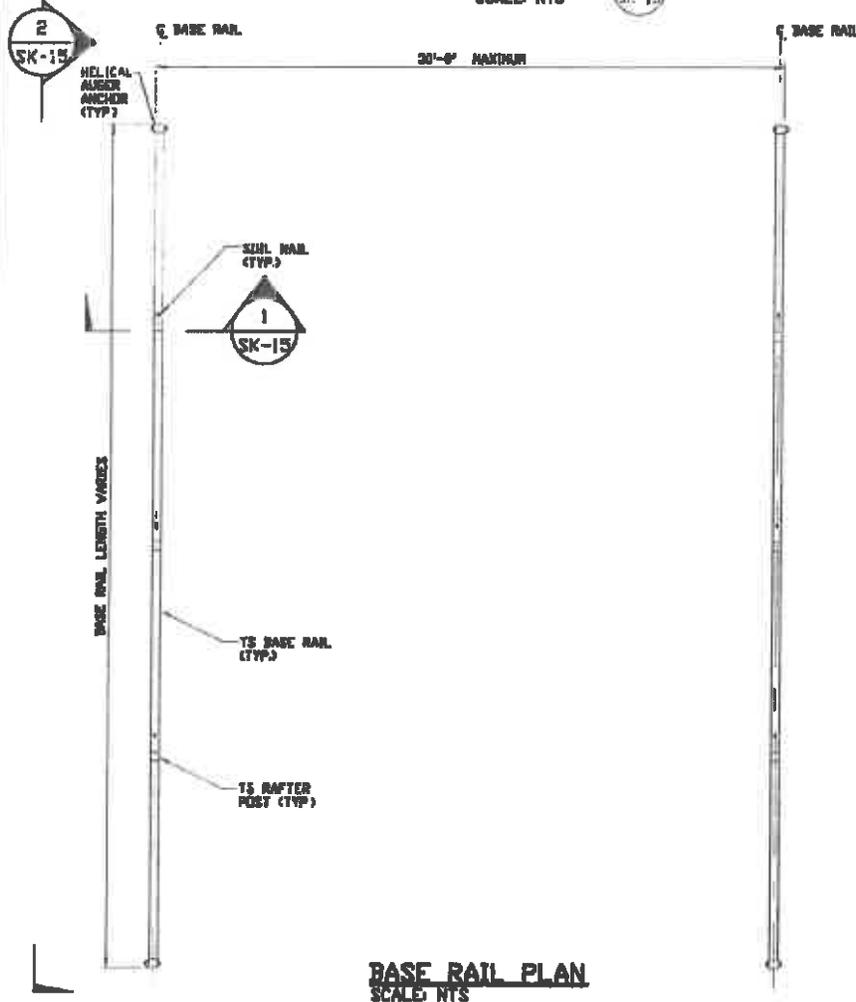
REV. 7

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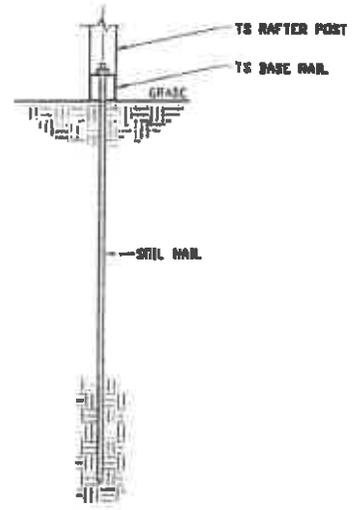
OPTIONAL BASE RAIL ON GRADE APPLICATION



SECTION 2
SCALE: NTS



BASE RAIL PLAN
SCALE: NTS



SECTION 1
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

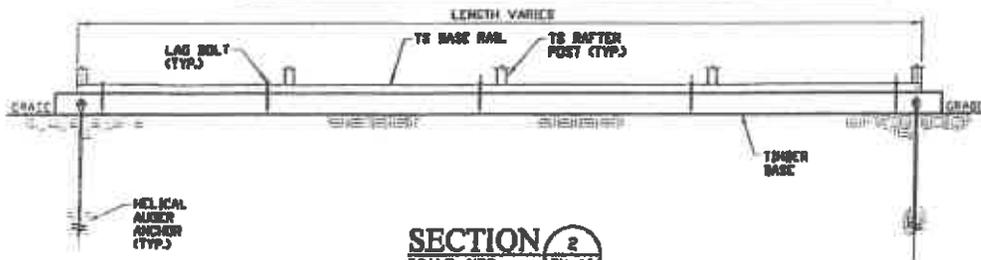
DRAWN BY: AT
 CHECKED BY: PEH
 PROJECT NGR: VSH
 CLIENT: SRSJ

STEEL BUILDINGS AND STRUCTURES, INC.
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 MOUNT AIRY, NC 27030
 30'-0" x 20'-0" ENCLOSED STRUCTURE

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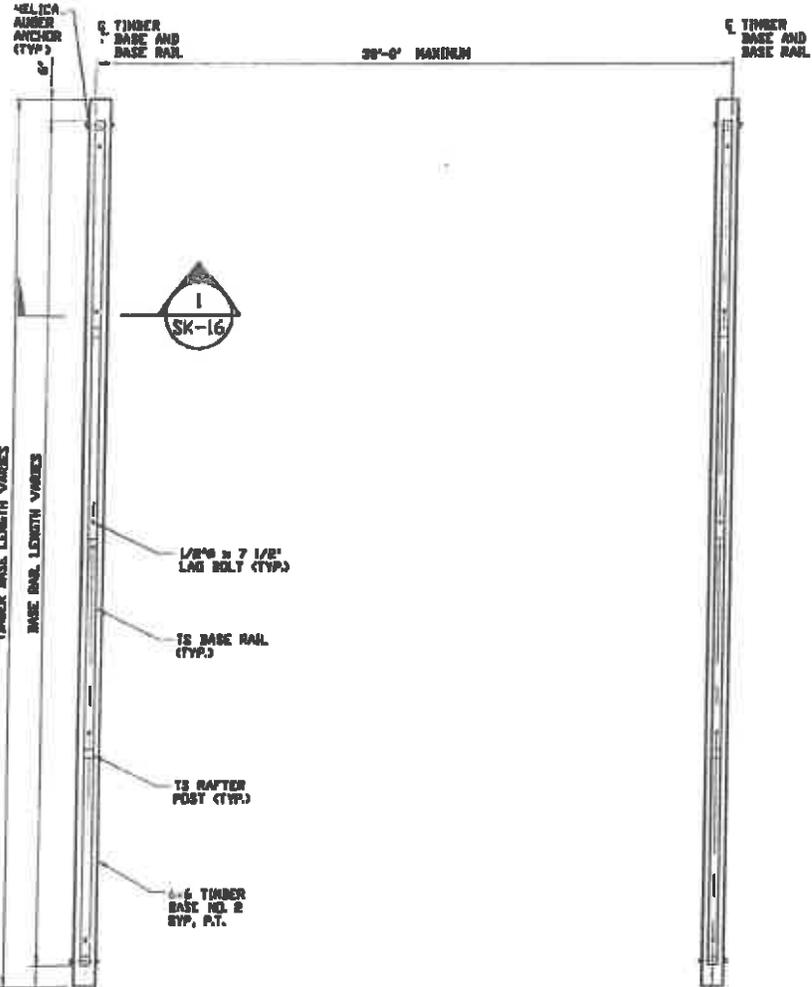
DATE: 12-14-10	SCALE: NTS	JOB NO: 100125/102905	REV: 7
SHT. 25	DWG. NO. SK-3		

OPTIONAL BASE RAIL ON TIMBER BEAM

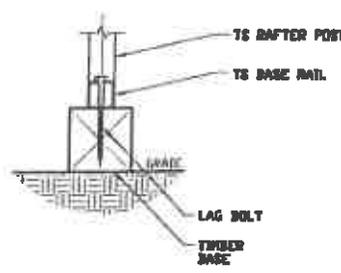


SECTION 2
SCALE: NTS

2
SK-16



TIMBER FITTING PLAN
SCALE: NTS



SECTION 1
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIABLE	10'-0" (EVERY OTHER POST)

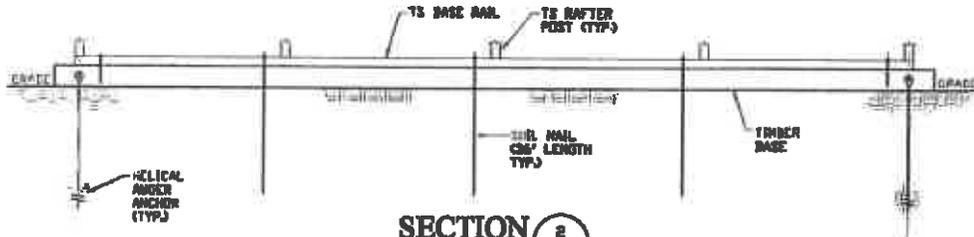
**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT
CHECKED BY: PJH
PROJECT NO: WSH
CLIENT: SSSI

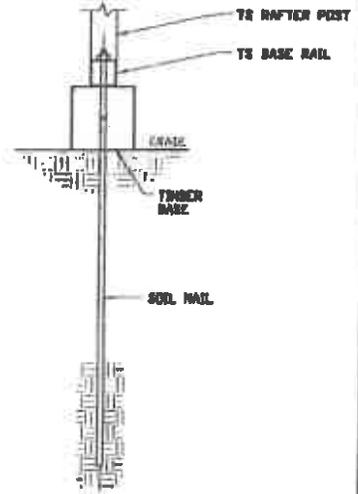
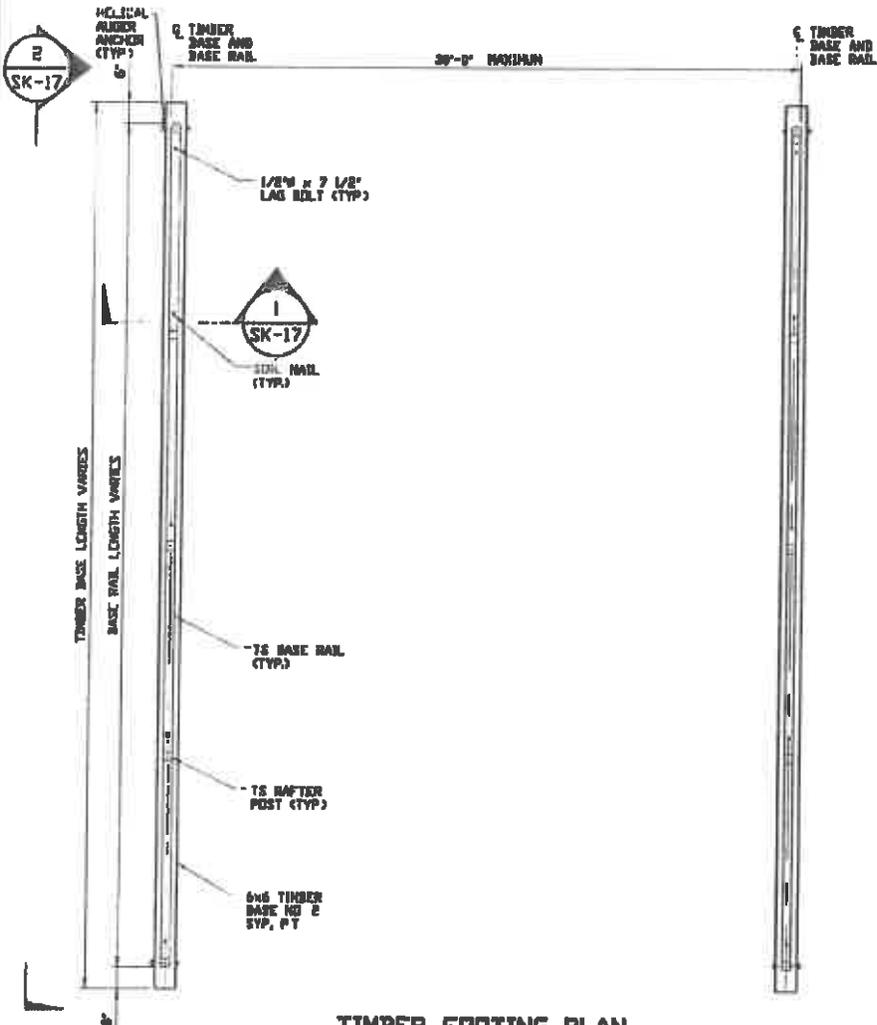
STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE
DATE: 12-14-10
SCALE: NTS
SHEET: 16
JOB NO: 100682/100685/100200
SPL NO SK-3
REV: 7

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OPTIONAL BASE RAIL ON TIMBER BEAM WITH SOIL NAIL



SECTION 2
SCALE: NTS



SECTION 1
SCALE: NTS

TIMBER FOOTING PLAN
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

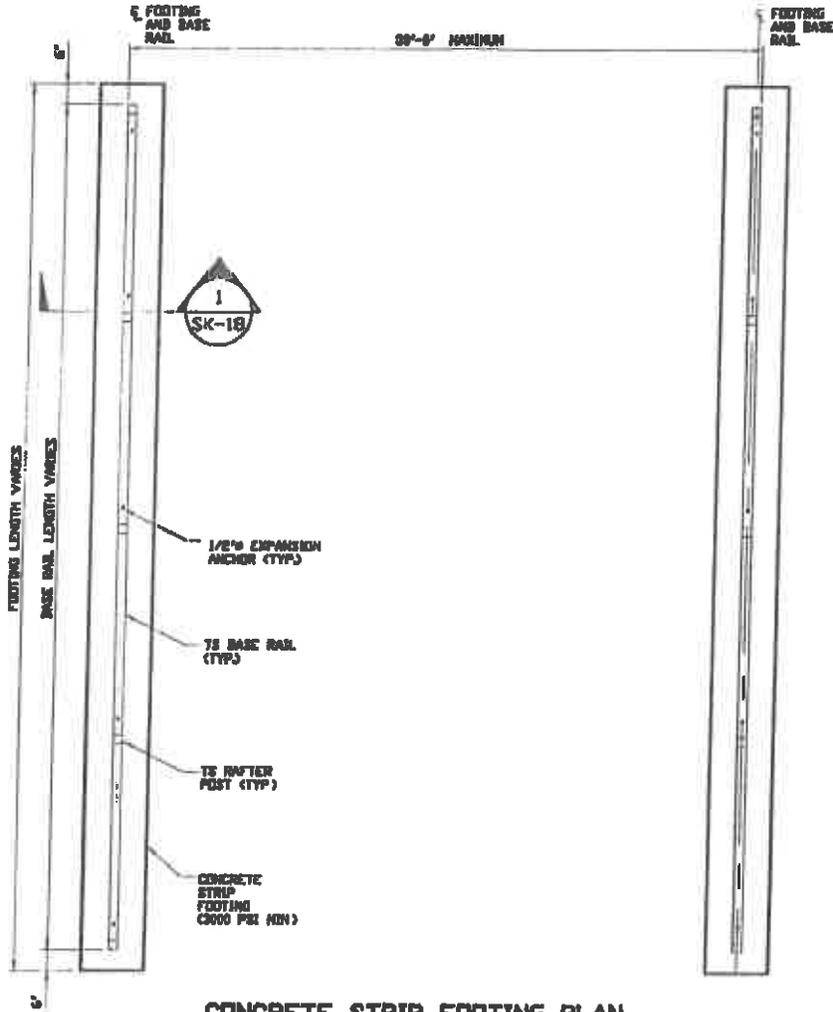
DRAWN BY: AT
CHECKED BY: PBN
PROJECT NO: VSH
CLIENT: SSSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

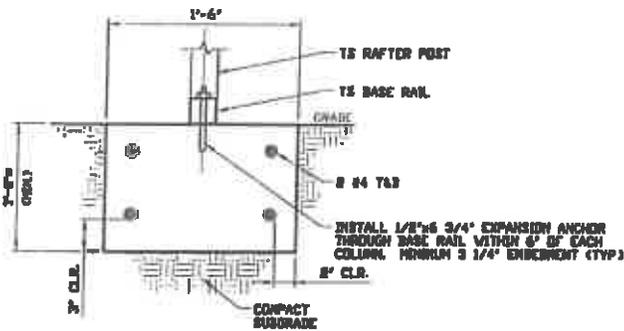
DATE: 12-14-18 SCALE: NTS JOB NO: 180663/180208
SHT. 27 DWS NO SK-3 REV. 7

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OPTIONAL CONCRETE STRIP FOOTING



CONCRETE STRIP FOOTING PLAN
SCALE: NTS



SECTION 1
SCALE: NTS

* COORDINATE WITH LOCAL CODES/ORD.

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT

CHECKED BY: PDB

PROJECT NO: V30H

CLIENT: SEST

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

JOB NO: 180903/182903

SHT. 10

DWG. NO: SK-3

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VARIANCE REQUEST
TMS#137-05-09-013
109 Old Postern Road, Summerville, SC
STAFF REPORT
BOARD OF ZONING APPEALS
January 14, 2020

Request: Variance request to reduce the required side yard setback to two (2) feet.

Property Zoning: PUD Planned Development District

Surrounding Zoning: North: PUD Planned Development District
South: PUD Planned Development District
East: PUD Planned Development District
West: GR-2 General Residential

Ordinance requires: Ordinance Section 2.10 Planned Development Districts 10 foot side setback.

Response: In order for a variance to be issued by the Board of Zoning Appeals, an applicant is required to show that all four of the conditions listed below have been met and an unnecessary hardship must be shown.

(b) *Variations*. The board has the power to hear and decide requests for variances when strict application of this chapter's provisions would cause an unnecessary hardship.

(1) The following standards must apply for finding an unnecessary hardship:

- a. *Extraordinary conditions*. There are extraordinary and exceptional conditions pertaining to the particular piece of property, which could exist due to topography, street widening or other conditions which make it difficult or impossible to make an economically feasible use of the property.
- b. *Other property*. Extraordinary conditions generally do not apply to other property in the vicinity.
- c. *Utilization*. Because of these extraordinary conditions, the application of this chapter's provisions to a particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property.
- d. *Detriment*. The authorization of a variance will not be of substantial detriment to adjacent property or the public good, and the character of the district will not be harmed by granting of the variance.

Background: The applicant was notified by staff concerning the need for the setback variance after an anonymous complaint about work without a permit. The setback variance was determined at the time of application for the permit to construct the gazebo.

The applicant's request appears to meet all four criteria for the approval of a variance.



Town of Summerville
 200 South Main Street
 Summerville, SC 29483
 843.851.4214

[For Office Use Only]
Date Received/Initials: _____
Property Zoned: _____
BZA Meeting Date: _____
Ad in Paper Date: _____
Posted Signs on Property: _____

**BOARD OF ZONING APPEALS (BZA)
 VARIANCE APPLICATION**

Per Town of Summerville Zoning Ordinance, Chapter 32, Article II
 (SC Code of Laws 6-29-780)

Date: 12/18/2019 TMS#: 137 - 05 - 09 - 013 Zoned: PUD

Property Owner: BOB CALLAHAN Phone: 8082265695

Email: OFFSHOREHUNTER63@GMAIL.COM
ELITETIGERLANDSCAPING@GMAIL.COM

Mailing Address: 109 OLD POSTERN RD.

Site Address: 109 OLD POSTERN RD

Subdivision: PARSONS RD

Representative for Property Owner (if applicable)*: WILLIAM CLIFF / ELITE TIGER LANDSCAPING

Request for variance relating to: (please check one): Setbacks Buffer yard Height

Parking Other: _____

Ordinance Requires: 10' SIDE SETBACK

Property Owner Requests: 2' SIDE SETBACK

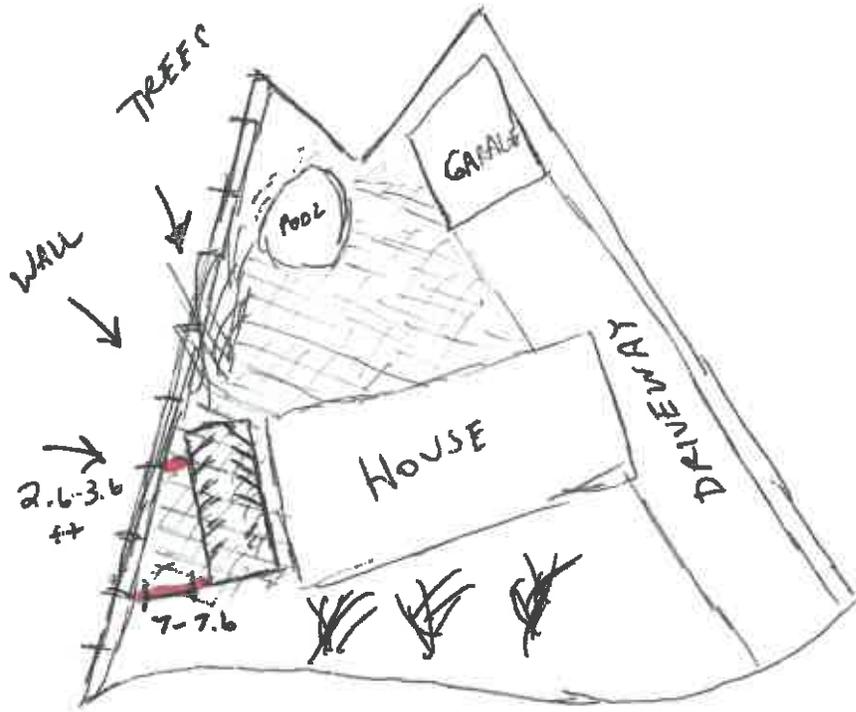
Present Use of Property: (please check one): Residential Commercial Institutional

Industrial Other: _____

THE FOLLOWING MUST BE SUBMITTED WITH THIS APPLICATION:

1. Copy of recorded plat of property with proposed site plan demonstrating the requested variance.
2. Non-refundable fee of \$100 – check made payable to Town of Summerville.
3. Statement of property owner addressing the State mandated criteria below (please address all four criteria):
 - (a) *Extraordinary Conditions:* There are extraordinary and exceptional conditions pertaining to the particular piece of property, which could exist due to topography, street widening or other conditions which make it difficult or impossible to make an economically feasible use of the property.
 - (b) *Other Property:* Extraordinary conditions generally do not apply to other property in the vicinity.

PAVED
AREA



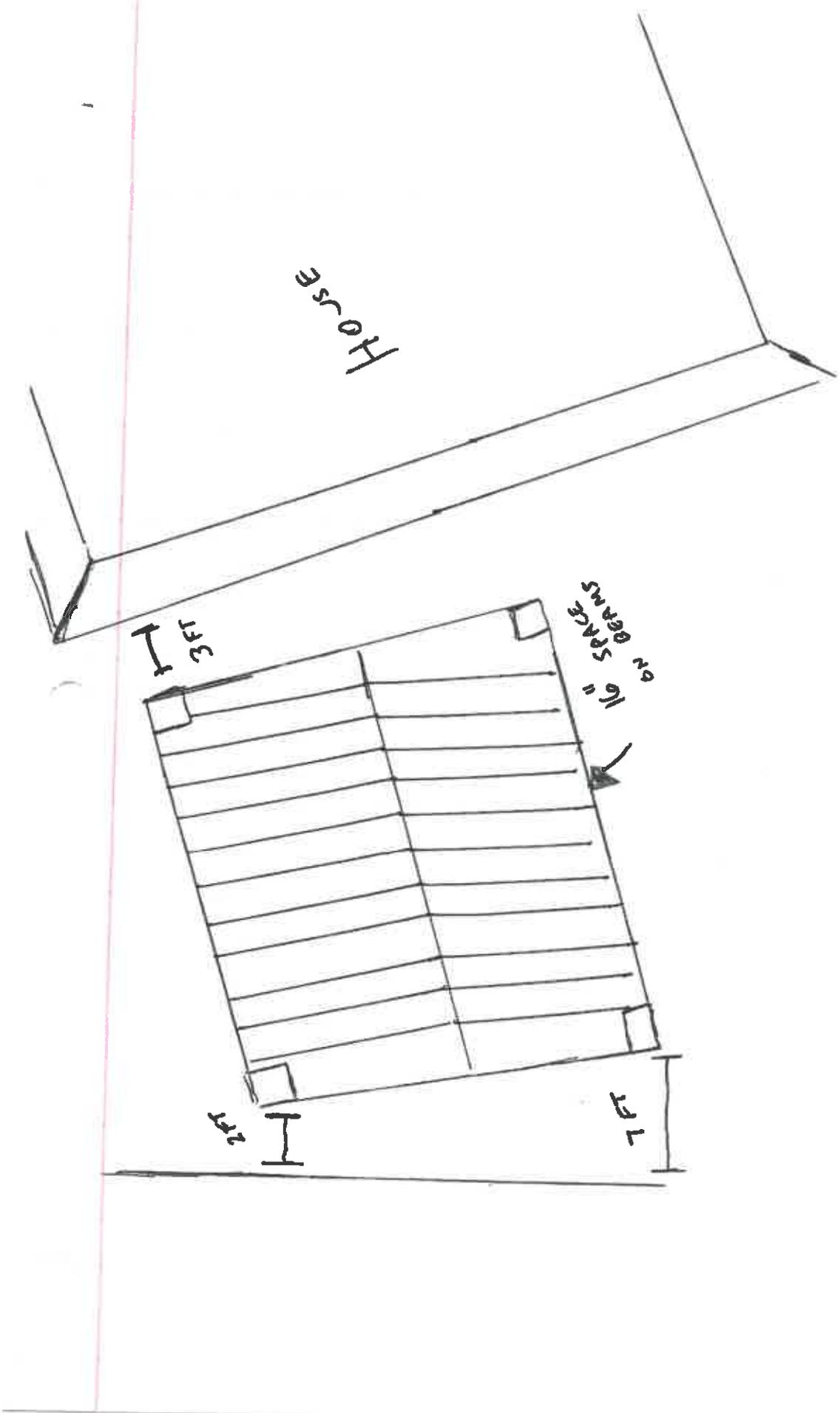
Horse

3 FT

16" SPACING
ON BEAMS

7 FT

7 FT



LOCATION OF GAZEBO

Google Maps 106 Old Postern Rd

PROPERTY LINE



Image capture: Nov 2018 © 2019 Google

Summerville, South Carolina

Google

Street View

Google Maps

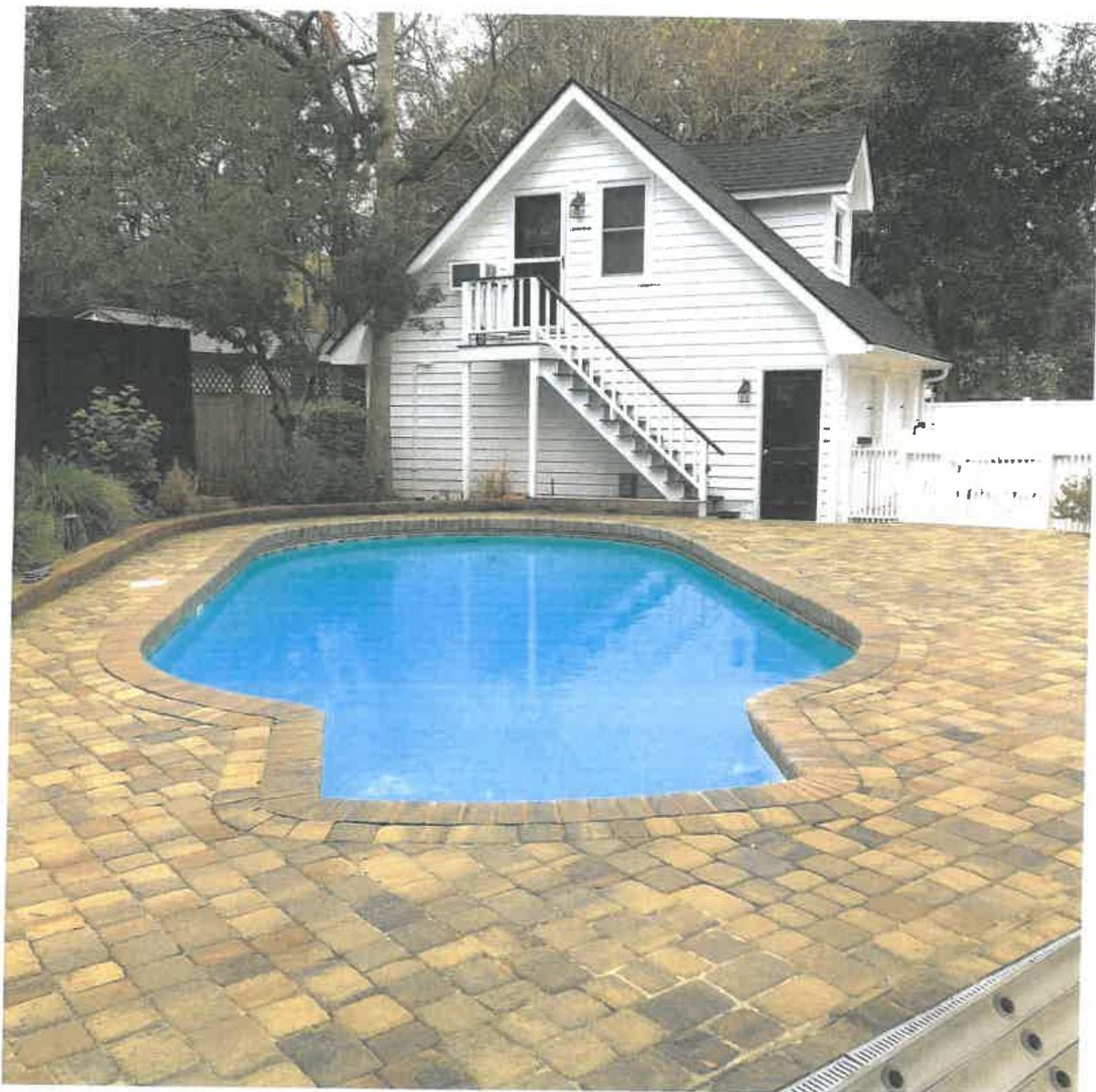
POOL

GARAGE



Map data ©2019, Map data ©2019 20 ft

BRICK WALL FENCE



**VIEW OF CURRENT
BACKYARD**



EXPOSED WOOD WILL BE
PAINTED WHITE TO MATCH
HOME EXTERIOR.