



**TOWN OF SUMMERVILLE
COMMERCIAL DESIGN REVIEW BOARD – AGENDA
Summerville Municipal Complex
Annex Building 2nd Floor Training Room
November 17, 2016 4:00 p.m.**

Approval of October 20, 2016 minutes.

APPLICANTS –

For additional information regarding this public meeting please contact the Planning Department at 843.851.5200. All applications and related documents for this public meeting are available for review at the Planning Department during regular business hours, Monday–Friday, 8:30–5:00 excluding Town of Summerville holidays.

OLD BUSINESS:

- 1. Southeastern Design Office building – 126 E. 2nd North Street – Landscape plan changes (B-3)**
The applicant is applying for final approval for changes to a previously approved landscape plan.
- 2. BJs Wholesale Club – 1035 Jockey Court – Gas station kiosk changes (B-3)**
The applicant is applying for final approval for changes to the previously approved gas station kiosk elevations.
- 3. Staybridge Suites – 225 Holiday Drive – New building construction (B-3)**
The applicant is applying for final approval to build a new hotel.
- 4. Summerville Commons – Berlin G. Myers Parkway & E. 9th North Street – New building construction (B-3)**
The applicant is applying for preliminary approval to build a new shopping center development.

NEW BUSINESS:

- 1. Taco Bell Oakbrook – 10115 Dorchester Road – Demolition & new building construction (B-3)**
The applicant is applying for preliminary approval to demolish an existing restaurant and build a new one.
- 2. Signs**
Any additional signs as needed

MISCELLANEOUS:

ADJOURN:

Posted November 10, 2016

Commercial Design Review Board Minutes
Thursday, October 20, 2016
Summerville Municipal Complex –Annex Building Training Room

Members Present:

Chris Campeau, Vice Chairman
Bill Beauchene
Candy Pratt
Jennifer Palmer
Mildred Blanton
Carolyn Rogerson

Staff Present:

Jessi Shuler, Zoning Administrator
Tim Macholl, Annexation & Development
Coordinator
Russ Cornette, Town Engineer
Rich Palmer, Chief Building Official

Items on the agenda:

OLD BUSINESS:

1. **Heritage Square – 366 E. 5th North Street – Building and site renovation (B-3)**
2. **Legends at Azalea – Pinckney Marsh Lane – Site lighting changes (PUD)**
3. **Summerville Medical Center – 295 Midland Parkway – Surgery & women service expansion (PUD)**

NEW BUSINESS:

1. **Summerville Commons – Berlin G. Myers Parkway & E. 9th North Street – New building construction (B-3)**

MISCELLANEOUS:

The meeting was called to order at 4:02 pm. The Chairman was unable to attend, so the Vice Chairman as acting Chairman asked for consideration of the minutes of the September 15, 2016 meeting. A motion for approval of the minutes was made by Jenny Palmer and a second was made by Candy Pratt. All voted in favor of the motion. The acting Chairman, with the approval of the other Board members, moved the second item under Old Business to the end of the agenda since it would require the recusal of two of the Board members.

OLD BUSINESS

1. **Heritage Square:** The first item under Old Business was final approval for revisions to the previously approved plans for Heritage Square. Ms. Shuler read the staff comments into the record. Dennis Childs with Construction Services of SC, LLC explained the changes to the previously approved plan including the expansion of an existing loading dock on the rear of the building, the addition of a transformer pad in a parking lot island in the rear, which required the relocation of a canopy tree one space over, the addition of a storage room on an existing loading dock in the rear, and the addition of windows and side lights on the door on the rear elevation of Planet Fitness. Ms. Pratt asked about the materials of the storage room addition, and Mr. Childs stated that it would match the existing materials along the rear.

Mr. Beauchene made a motion for approval with the staff condition that the storage addition could not be built until the new FIRM maps are adopted, and Ms. Palmer made the second. The motion passed unanimously.

2. **Legends at Azalea:** This item was moved to the end of the agenda. Mr. Campeau and Ms. Palmer recused themselves for this agenda item. Ms. Shuler explained that the apartment complex that is under construction is requesting to change their site lighting and wall pack designs. She stated that the original wall pack submitted was not shielded as required, so a new wall pack was submitted which met this requirement (copies of the cut sheet for the new wall pack design were distributed). As two possible designs were shown for the pole lights, the Board members asked which one was preferred, and Ms. Shuler responded that the applicant would like to option to choose either one.

Mr. Beauchene made a motion for final approval of the revised wall pack and either pole light option, and Ms. Blanton made the second. The motion passed unanimously.

3. **Summerville Medical Center:** The next item was preliminary and final approval for the Surgery and Women's Service expansion to the Summerville Medical Center located at 295 Midland Parkway. Ms. Shuler stated that based on preliminary staff

review, the project appears to meet ordinance requirements. Rob Hamby and Ryan Rohe with Gresham, Smith and Partners presented the application. They presented material and color samples for the addition, and showed a picture of a mock-up of the materials showing the brick and the stone materials with the EIFS. The plant species to be used were also presented explaining that some taller species would be used as well. In discussing the materials and colors, the applicants explained that the darker brick (Belden Seal Brown Velour) would be on the inset with the lighter brick (Belden Lighthouse Gray Velour) around, while the lighter EIFS (Dryvit China White – sandblast finish) would be on the inset area, and that cast stone (Arriscraft Magnolia Smooth) pieces would help transition between materials. The darker EIFS will be Dryvit SW Color # 6078 – sandblast finish. The glass (PPG Solarban 60 – Solexia) presented had a slight green hue, and the spandrel glass (PPG Opacicoat Wildflower) had a green tint, but the outside of the spandrel will look like windows. The signage will be LED backlit channel letters, but the hospital logo will not be lit. Mr. Campeau asked about the site lighting, and the applicants explained that the only lighting that was being added was wall packs over the doorways and some slightly higher up on the building to light the walkways. The Board also asked about the fencing in the rear of the building and the dumpster location. The applicants stated that they would be adding some fencing and patching the chain-link on the existing fence and extending the screen wall slightly. Mr. Campeau asked about the material of the pervious pavers shown in the drive aisle along the side of the addition. Based on the discussion, the following comment was made:

- The applicants will provide pervious paver samples to staff for review and approval.

Ms. Palmer made a motion for final approval with the comment noted, and Ms. Rogerson made the second. The motion passed unanimously.

NEW BUSINESS

1. **Summerville Commons:** The first and only item under New Business was conceptual review of a new shopping center at the corner of the Berlin G. Myers Parkway and E. 9th North Street. Ms. Shuler summarized the staff comments for the Board. Justin Muller with Kimley-Horn, Thomas Hickman with GBT Realty, Steve Maxwell with MJM Architects, and Rick Reiff with Ramey Kemp presented the application. Mr. Hickman gave an overall description of the property, and confirmed that they would be subdividing the property into three parcels (one for each major tenant and one for the outbuilding). Ms. Palmer asked them to explain why it was laid out as shown and why they were requesting a decrease in the front landscape border width. Mr. Hickman stated that they were trying to fit the required number of parking spaces while still meeting the tenant requests, and Mr. Muller stated that due to the large right-of-way of the Parkway, the border would appear larger than the 15 feet they were requesting. Mr. Campeau asked the applicant if they had considered bringing the buildings up to the street. Mr. Hickman stated that they had looked at it, but due to the size of the road, it did not appear to be appropriate, and it would create maneuverability problems for the large delivery trucks. Further discussion ensued about ways to create a more pedestrian scale site design and the following suggestions were made:

- Enhance the pedestrian realm. Consider bringing the buildings up to the street or adding a low screen wall to block the expanse of parking.
- Put a lot of effort into the design of the Parkway corridor and the E. 9th North Street corridor. A wider sidewalk with the appropriate amount of landscaping could soften the view. Be creative with the design.
- Work to break the parking lot up into “rooms” by either using landscape strips, staggering islands, or a combination of both.
- If the buildings are not brought up to the street, create a pedestrian friendly drive aisle along the front of the buildings. Consider using landscaping, wider sidewalks, specialty paving materials, and extending the parking islands on the opposite side of the drive aisle from the buildings to limit vehicle access points and slow cars down.
- Coordinate with the adjacent developer on the access points to E. 9th North Street and the design of that right-of-way.

Following the discussion about the site, the Board moved to the architecture of the two main buildings. Mr. Maxwell stated that they were using brick, hardi-siding, and stucco with a metal awning in the front and canvas awning on the side. He stated that the elevations were somewhat prototypical, but that they had been embellished, and the color scheme and elevations had been carried around the corner from the front to the side. On the larger building, the architect explained that the stripe and the letter on the building are a part of the retailer’s signage scheme. Based on the continued discussion, the following comments were made regarding the architecture and signage:

- Freestanding signage meets what is typically approved.
- Any wall packs used on the buildings should be shielded.

- Buildings look like they could be seen anywhere. Incorporate lowcountry architectural details.
- Do not like the stripe and hardiplank siding used on the larger building. Consider using a different material.
- Break up the massing of the buildings. Consider articulating the panels using brick pilasters. The Family Dollar at 501 Old Trolley Road and the Roper Express Care at 1114 N. Main Street are good examples of where this has been done.
- Consider adding more glass or spandrel glass under the entire overhang on the Sports store entry.
- Use the building architecture and landscaping along the front of the buildings (can use plant material that will not block signage) to create a better pedestrian experience along the storefront. Consider the sidewalk furnishing as well, and show areas of outdoor display.
- The sides of the smaller retailer need architectural detailing, and all doors should have awnings over them.

No action was required for conceptual review, and none was taken.

MISCELLANEOUS

There were no items under Miscellaneous.

ADJOURN:

There being no further business, the meeting was adjourned at 5:16 PM on a motion by Ms. Rogerson.

Respectfully Submitted,
 Jessi Shuler
 Zoning Administrator

Date: _____

Approved: Michael Gregor, Chairman _____; or,
 Chris Campeau, Vice Chairman _____

**STAFF REPORT
CDRB Meeting
November 17, 2016 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: November 9, 2016

GENERAL INFORMATION

Applicant: John Dumas/SE Design
Property Owner: A. David Willis
Requested Action: The applicant is requesting final approval for changes to a previously approved landscape plan.
Requested Approval: Final Approval
Existing Zoning: B-3, General Business
Location: 126 E. 2nd North Street
Existing Land Use: Office Building recently constructed

Ordinance Reference:

Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based upon preliminary staff review, requested changes numbered 6 and 7 do not meet the Zoning Ordinance. The ordinance requires that all parking lot islands be planted with a canopy tree, and that the front border include shrubs two foot in height and shrubs four feet in height. The Board has the authority to approve these changes if they feel it meets the intent of the ordinance. All of the landscape changes proposed must be approved by the Board.

Southeastern Design and Development, Inc.
112 West Doty Ave.
Summerville, SC 29483

October 27, 2016

To: Commercial Design Review Board
Town of Summerville

We request a re-submittal of the landscape design for our new office building located at East 2nd North Street. This is a change request to the previously approved landscape plan.

We request approval for the following changes as shown on the attached drawing, L101.b:

1. Delete 6 Crepe Myrtle understory trees at the front planting area adjacent to the front elevation of the building. Reason: The trees will obstruct the glass.
2. Delete 4 Willow Oak canopy trees at the rear property line. Reason: The trees will grow into the existing power lines and will need to be severely cut back within five years. Substitute 4 Redbud understory trees in lieu of the Willow Oaks.
3. Change 15 Willow Oak canopy trees at the side and front planting areas to Regal Prince Oaks. Reason: Recommendation of the landscape subcontractor.
4. Change 2 Willow Oak canopy trees at the front planting area to Regal Prince Oaks. Reason: Recommendation of the landscape subcontractor.
5. Change 2 Live Oak canopy trees at the side and front planting areas to Chinese Elm canopy trees. Reason: Recommendation of the landscape subcontractor.
6. Delete 2 Live Oak and 4 Crepe Myrtle trees at the two parking separator islands and install sod. Reason: Owner does not want to have trees at these two planting locations since they will eventually cause damage to the adjacent concrete paving and because the trees will obstruct the view of the building. Since there are only 8 parking spaces on one side of the parking area and 9 parking spaces on the other side, the owner requests a waiver of the island tree planting requirement.
7. Change all shrubs in the side and front planting areas to Purple Fountain Grass. Quantities would remain the same as the count for shrubs previously indicated. Reason: Recommendation of the landscape subcontractor and the due to the owner's preference.


John G. Dumas, Architect

Drawing May Not Be Reproduced Without Permission of Architect
 All Rights Reserved
 Member National Council of Architectural Registration Boards
 John G. Dumas, N.C.A.R.B.
 Southeastern Design and Development, Inc.
 Copy Right ©2014

LANDSCAPE SCHEDULE:

-  CHINESE ELM, 3" CALIPER AND 12 FT HIGH MIN
-  REGAL PRINCE OAK, 3" CALIPER AND 12' HIGH MIN
-  REDBUD; 1 1/2" CALIPER MIN AND 6' HIGH MINIMUM
-  PFG-PURPLE FOUNTAIN GRASS, 1 GALLON SIZE

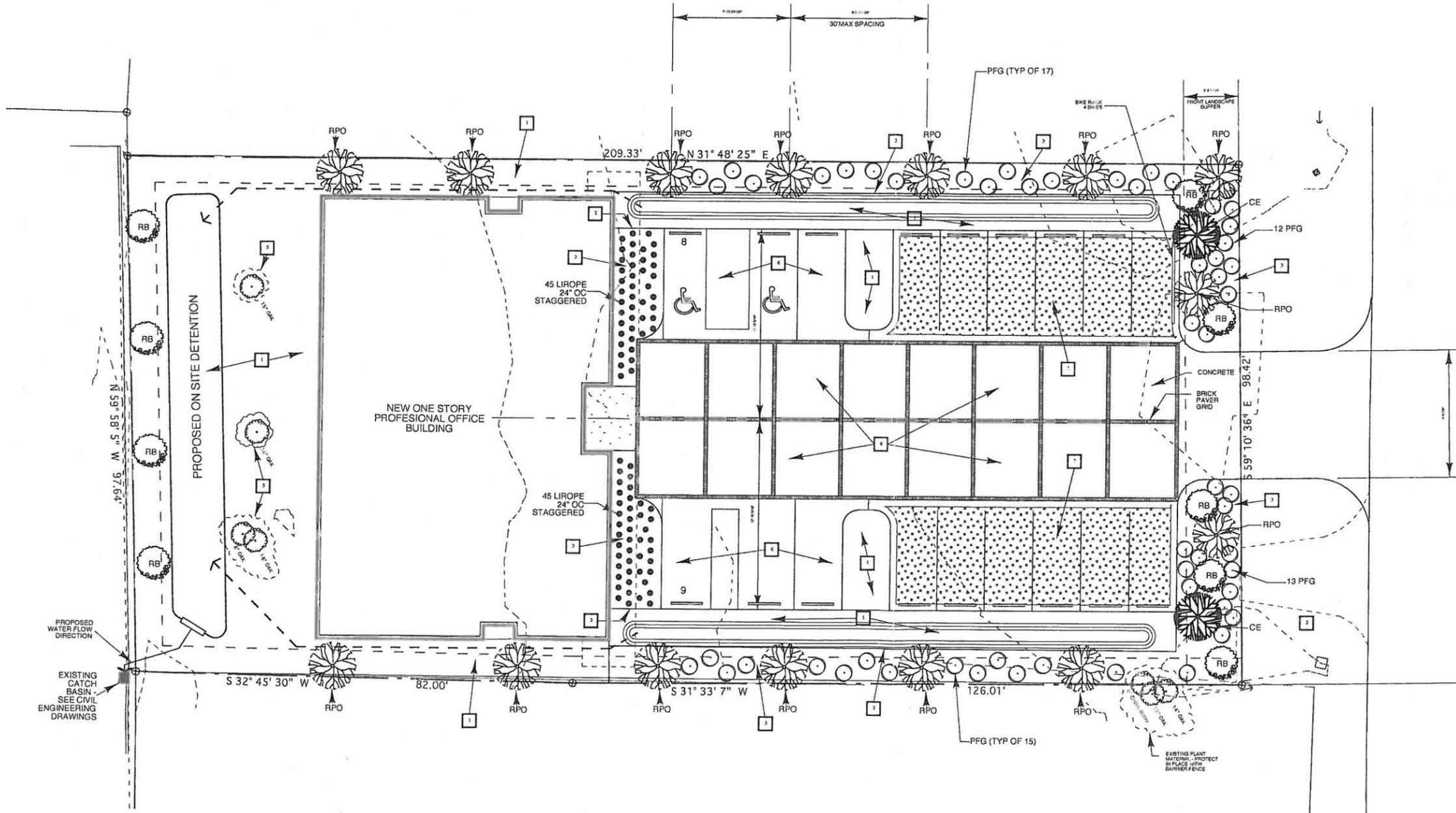
BUILDING GROSS AREA: 4,479 GSF
 REQUIRED NUMBER OF PARKING SPACES: 15
 ACTUAL NUMBER OF PARKING SPACES: 17

CONSTRUCTION NOTES:

1. SEE SPECIFICATIONS
2. PLASTIC PLANTER EDGE STRIP
3. 3" FINE STRAW MULCH
4. INTERLOCKED WITH PROPERTY LINE TO EDGE OF PAVEMENT
5. BRUSH BURNED OFFICE ARCHITECTURE PLANT MATERIAL TO EXISTING MATERIAL IN PLACE
6. CONCRETE PAVING - SEE CIVIL DRAWINGS
7. PERVIOUS SURFACE ROCK PAVING - SEE CIVIL DRAWINGS

LANDSCAPE BUFFER CALCULATION:

| | |
|---------------------------------|---|
| AVERAGE LOT DEPTH | 208.7' |
| 6% OF AVERAGE LOT DEPTH | 12.5' |
| FRONT LANDSCAPE BUFFER AREA | 1,263.5 sq ft |
| LANDSCAPE SECTIONS REQUIRED | 1,263.5 / 207 = 6 |
| BUFFER CANOPY TREE REQUIREMENTS | 3" CALIPER X 5 SECTIONS = 5 - 3" CALIPER TREES |
| UNDERSTORY TREE REQUIREMENTS | 3" CALIPER X 5 SECTIONS = 5 - 3" CALIPER UNDERSTORY TREES |
| MEDIUM SHRUB REQUIREMENTS | 2 X 5 = 10 |
| LOW SHRUB REQUIREMENTS | 3 X 5 = 15 |
| ACTUAL BUFFER DESIGN | |
| BUFFER CANOPY TREE REQUIREMENTS | 3 - 3" REGAL PRINCE OAK 2 - 3" CHINESE ELM |
| UNDERSTORY TREE REQUIREMENTS | 5 - 1 1/2" REDBUD |
| MEDIUM SHRUB REQUIREMENTS | 25 SHRUBS |
| ACTUAL | 25 PURPLE FOUNTAIN GRASS |



SOUTHEASTERN NEW OFFICE BUILDING
 for Southeastern Construction Co.
 East 2nd North Street
 Summerville, South Carolina

SOUTHEASTERN
 DESIGN AND DEVELOPMENT, INC.
 Tel. 843.821.1666
 112 West Doty Avenue, Suite A, Summerville, SC 29483
 Fax. 843.821.0054



SITE LANDSCAPE PLAN
 D14.130
L101.b
 10/25/16

REVISED LANDSCAPE PLAN

STAFF REPORT
CDRB Meeting
November 17, 2016 at 4:00 p.m.

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: November 9, 2016

GENERAL INFORMATION

Applicant: GBT Realty Corp.
Property Owner: GBT Realty Corp
Requested Action: The applicant is applying for Final Approval for changes to the previously approved BJ's Wholesale Club fuel station kiosk
Requested Approval: Final Approval
Existing Zoning: B-3, General Business
Location: 1035 Jockey Court
Existing Land Use: Under Construction

Ordinance Reference:

Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

This project received Final Approval from the Board on September 17, 2015. The proposed changes include the dimensions of the fuel station kiosk and the location of the HVAC equipment on top of the kiosk. The zoning ordinance requires that mechanical equipment be shielded and screened from public view. The Board has the authority to determine if the equipment is adequately screened.

Town of Summerville



| | |
|----------------|-----------------|
| Date Received: | <u>10/28/16</u> |
| Amount Paid: | <u>N/A</u> |
| Staff Initial: | <u>Q8</u> |

Department of Planning & Development
 200 S. Main Street
 Summerville, SC 29483

COMMERCIAL DESIGN REVIEW BOARD APPLICATION

REQUIREMENTS: This application, **9 sets (eight 11x17 and one full size) of plans** (site, landscape, and architectural), and any applicable fees (see fee schedule) must be submitted to the Department of Planning and Development at least 15 days prior to the Commercial Development Design Review Board meeting. Applications must include all applicable information required in the Commercial Design Review Application Checklist and **all sets of plans must be collated and folded**. Final plans must carry the seal of a registered architect or engineer licensed in the State of South Carolina. Applicants or a representative must be present for an item to be heard.

REQUEST:

- Conceptual Review (only requires photos of site, proposed building elevations, and site plan)
- Preliminary Approval (see attached checklist)
- Final Approval (see attached checklist) Preliminary Approval Granted On: _____

PROJECT NAME: BJ's Wholesale Club

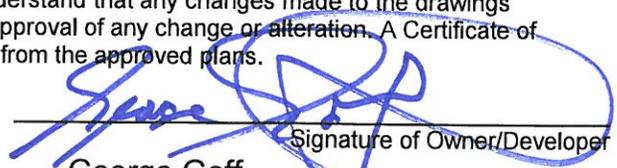
PROJECT'S COMPLETE ADDRESS (if in shopping center, indicate name)
1035 Jockey Court, Summerville, SC 29483; TMS# 2320002187

PRIMARY CONTACT'S EMAIL ADDRESS: ggoff@bjs.com

Owner/Developer's Name Jeff Pape Firm GBT Realty Corp. Phone 615-370-0670
 Primary Contact's Name George Goff Firm BJ's Wholesale Club, Inc Phone 774-512-7955
 Architect's Name Rich Loeschke Firm Bignell Watkins Hasser Architects Phone 443-951-4038
 Landscape Arch. Name David Floyd Firm Site Solutions Phone 404-704-9411
 Engineers Name Bob McCann Firm Haines Gibson Phone 770-491-7550

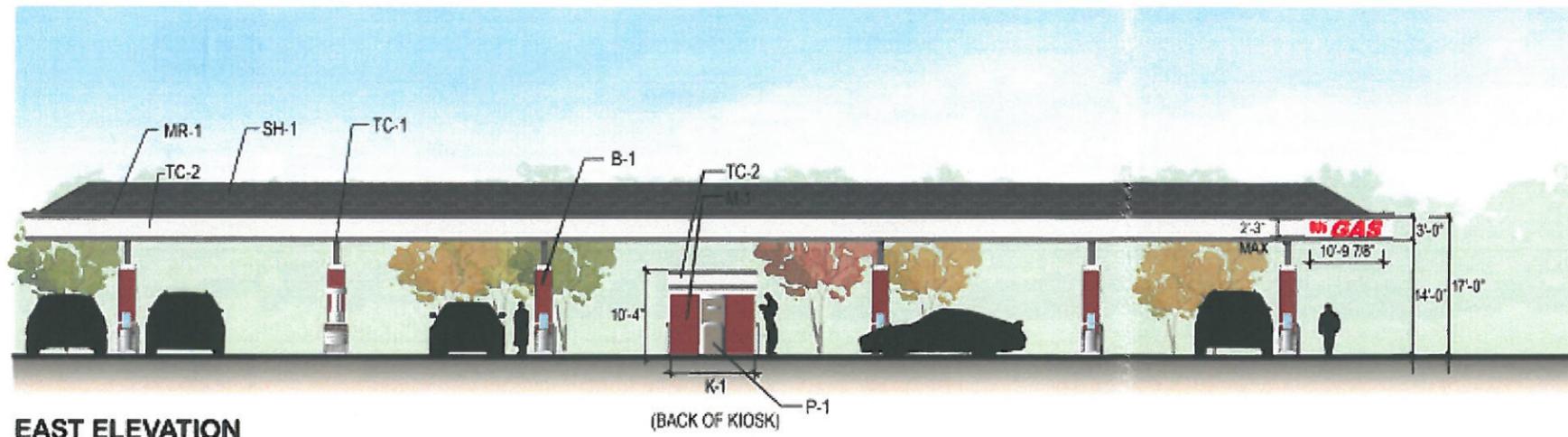
The Commercial Development Design Review Board will meet at 4:00 p.m. on Nov. 17, 2016

I have read and understand the instructions accompanying this application form. I certify that all information required by the Site and Architectural Plan Checklist is included and the application is complete. If an application is found to be incomplete, the primary contact will be notified and the application will be removed from the agenda. I also understand that any changes made to the drawings approved by the Commercial Design Review Board must be resubmitted for approval of any change or alteration. A Certificate of Occupancy will not be issued if the building and/or site and landscaping differ from the approved plans.

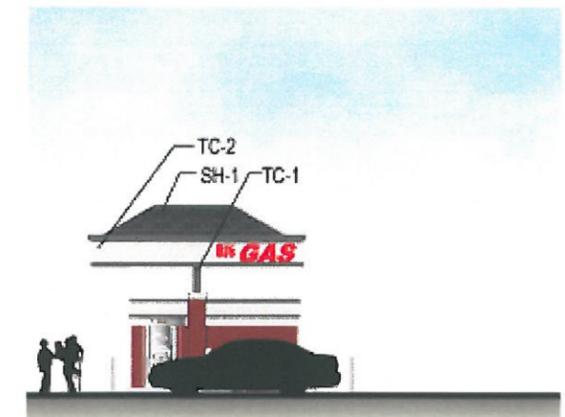


 Signature of Owner/Developer
 George Goff
 BJ's Wholesale Club, Inc.

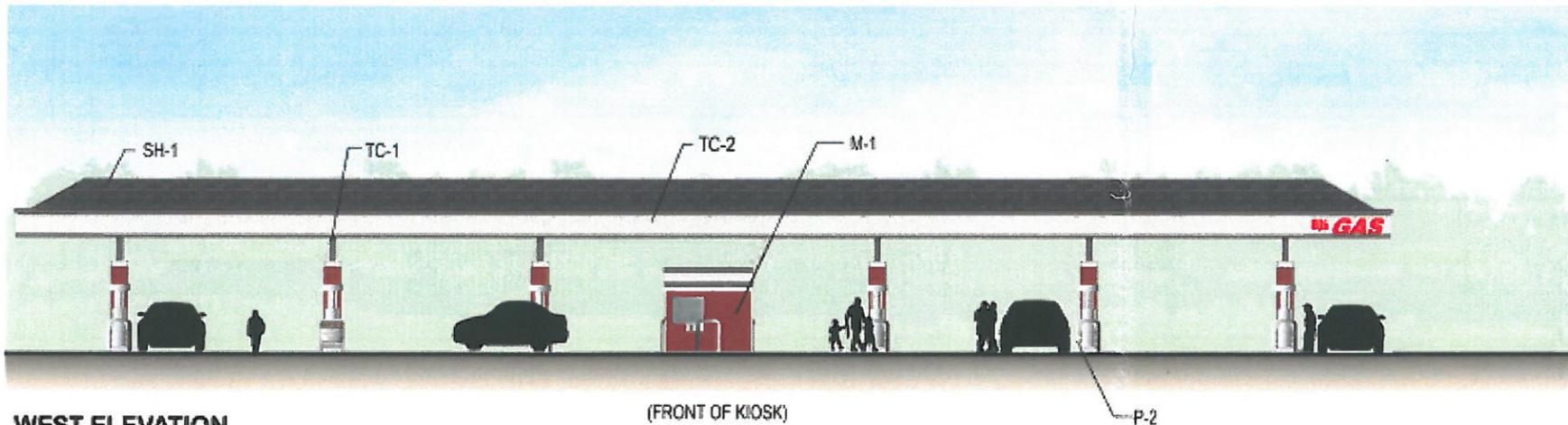
Fueling Facility Elevations - Previously CDRB Approved



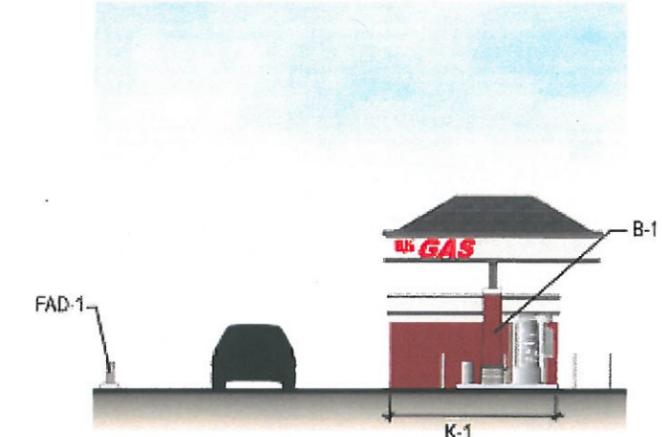
EAST ELEVATION



SOUTH ELEVATION



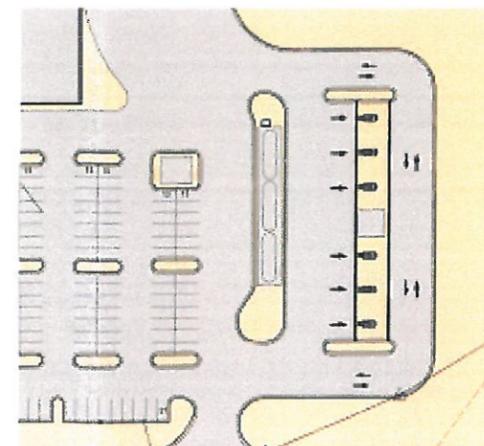
WEST ELEVATION



NORTH ELEVATION

MATERIALS KEY

- B-1- To Match building B-1
- TC-1 Coating to Match Building (Accent Color)
- TC-2 Coating to Match Building (Field Color)
- P-1 Paint to Match Adjacent Wall
- P-2 Paint White
- M-1 Pre-finished Metal to Match B-1
- MR-1 Pre-finished Metal Coping- to Match TC-1
- FAD-1 Free Air Dispenser
- K-1 10'-6" W x 18'-6" L Kiosk
- SH-1 Architectural Laminated Shingles- Gray/Brown Blend



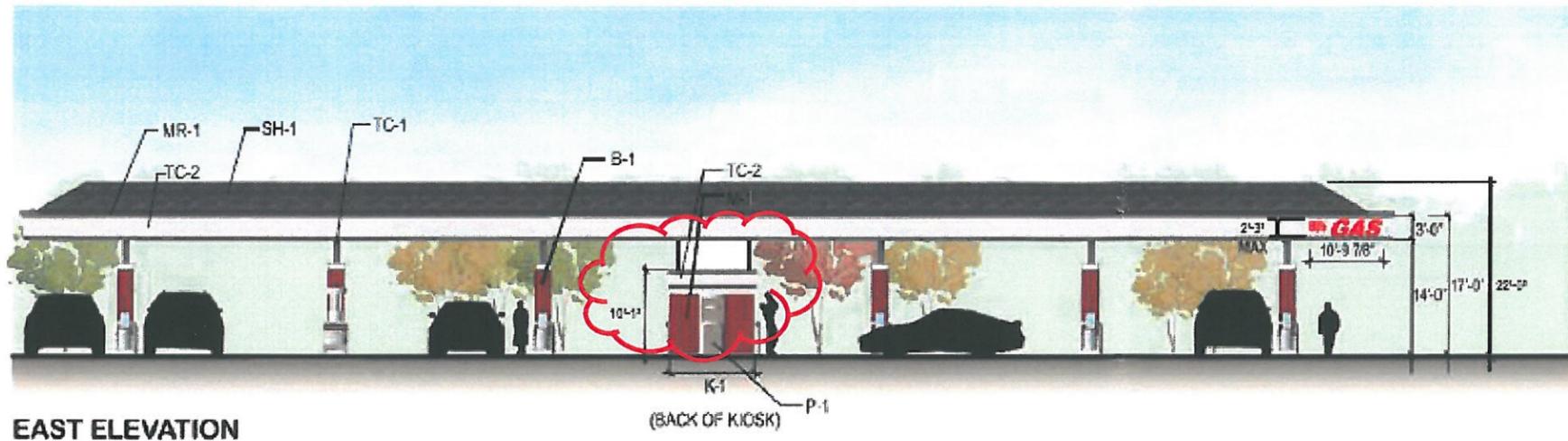
KEY PLAN
LAYOUT FOR REFERENCE ONLY



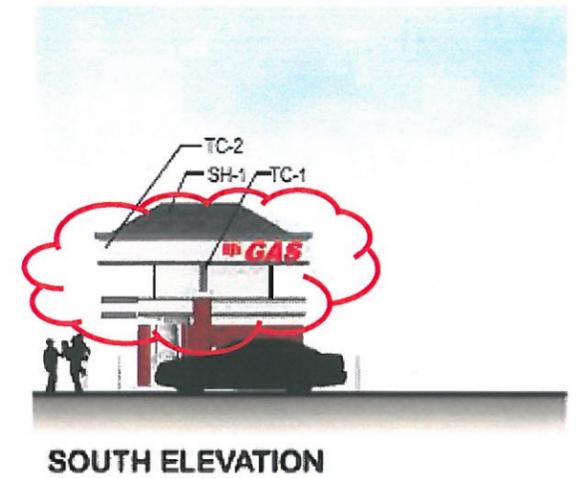
PROPOSED FUELING FACILITY
SUMMERVILLE, SOUTH CAROLINA

15008.00 08.31.15
Bignell Watkins Hasser
ARCHITECTS P.C.

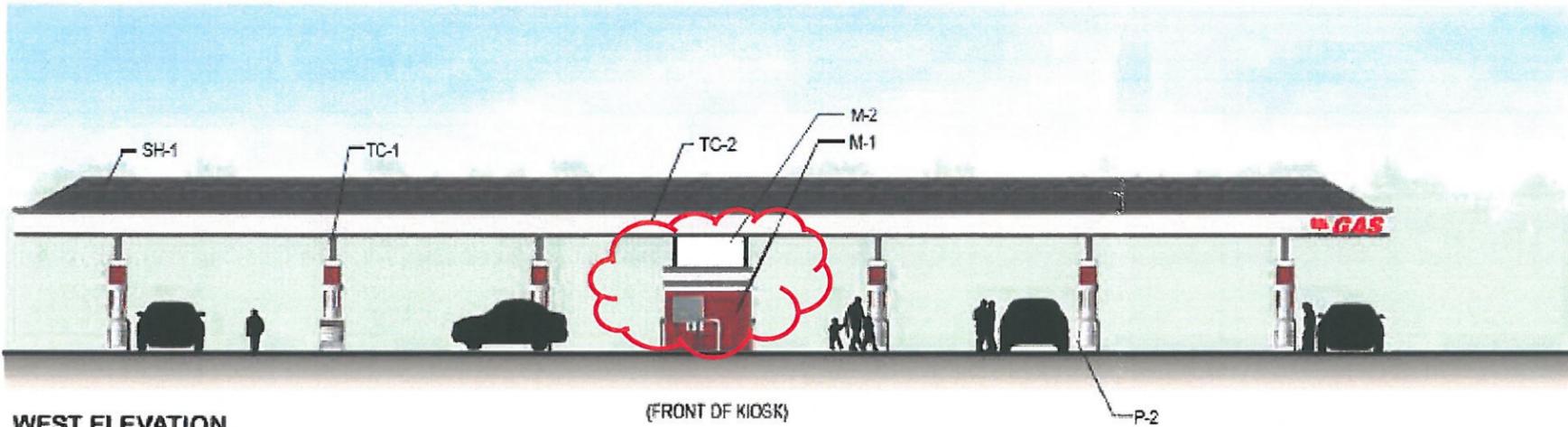
Fueling Facility Elevations – Proposed



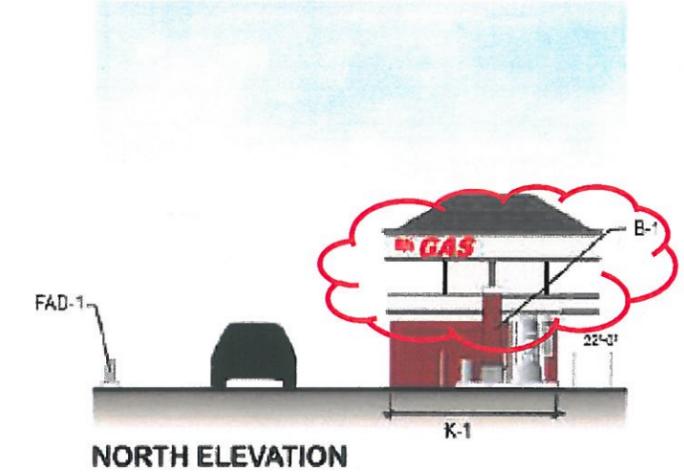
EAST ELEVATION



SOUTH ELEVATION



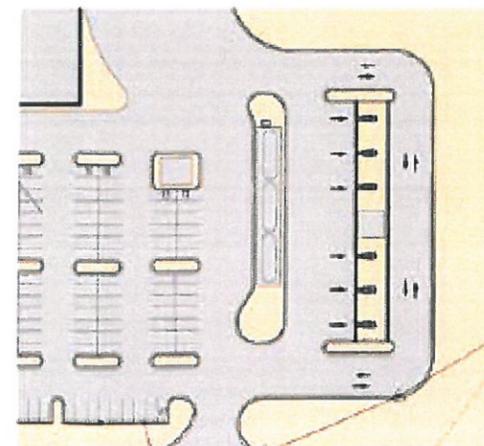
WEST ELEVATION



NORTH ELEVATION

MATERIALS KEY

- B-1- To Match building B-1
- TC-1 Coating to Match Building (Accent Color)
- TC-2 Coating to Match Building (Field Color)
- P-1 Paint to Match Adjacent Wall
- P-2 Paint White
- M-1 Pre-finished Metal to Match B-1
- M-2 Pre-finished Metal to Match TC-2
- MR-1 Pre-finished Metal Coping to Match TC-1
- FAD-1 Free Air Dispenser
- K-1 8'-2" W x 20'-2" L Kiosk (w/ 4'-0" overhang canopy)



KEY PLAN
LAYOUT FOR REFERENCE ONLY



PROPOSED FUELING FACILITY
SUMMERVILLE, SOUTH CAROLINA

15008.00

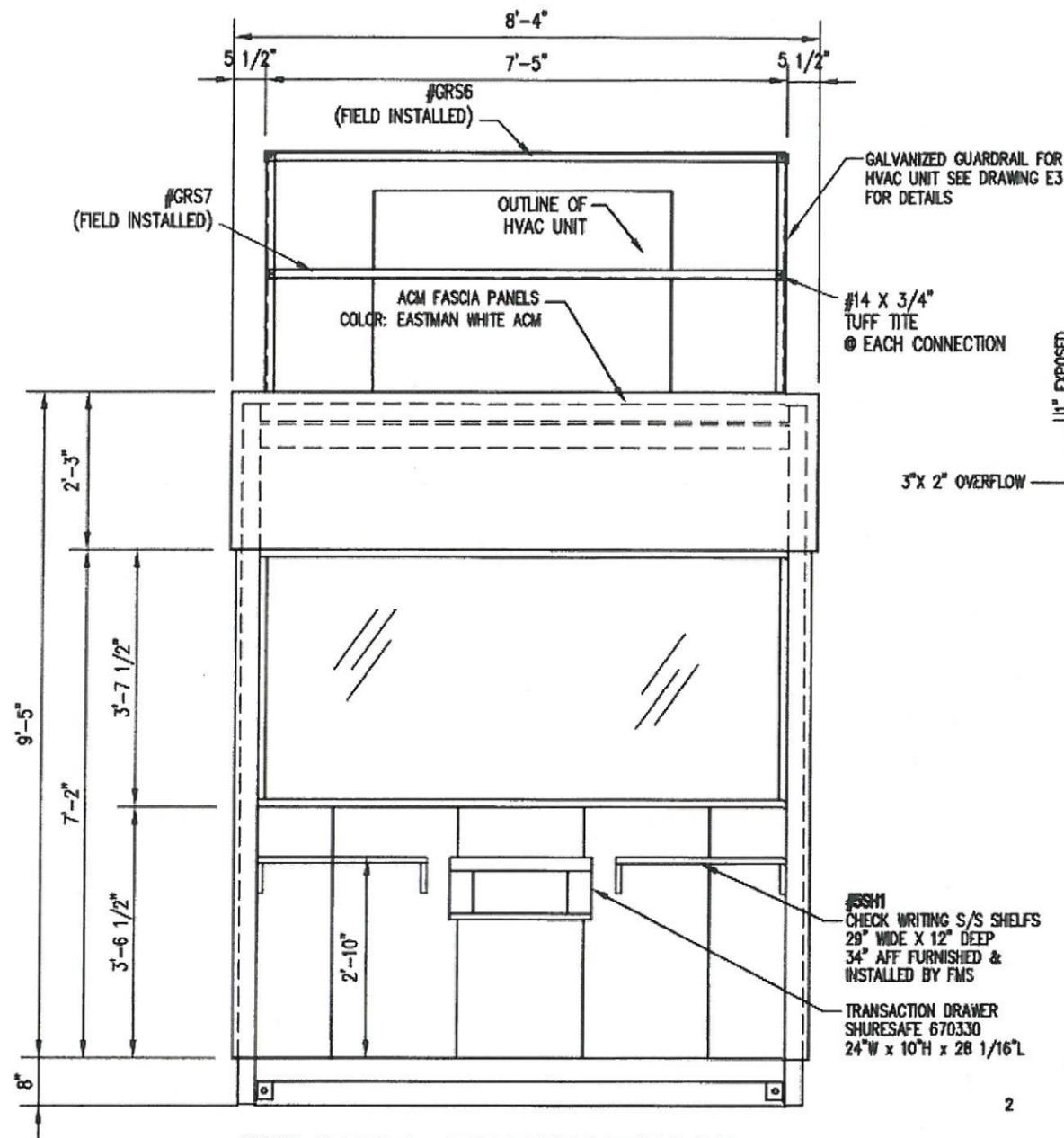
10.28.16

Bignell Watkins Hasser
ARCHITECTS P.C.

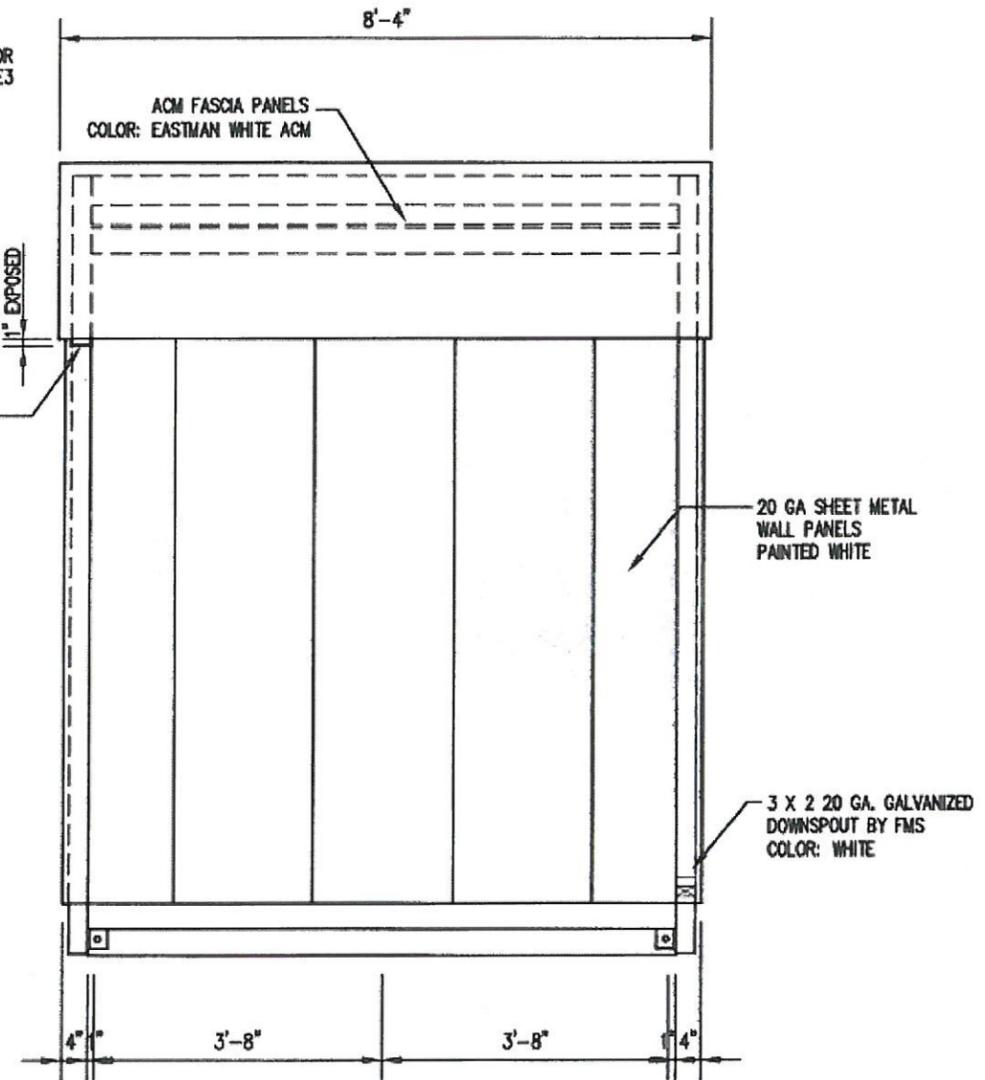
Photos of Typical Kiosk with HVAC and Railing



Kiosk – Front and Rear Elevations

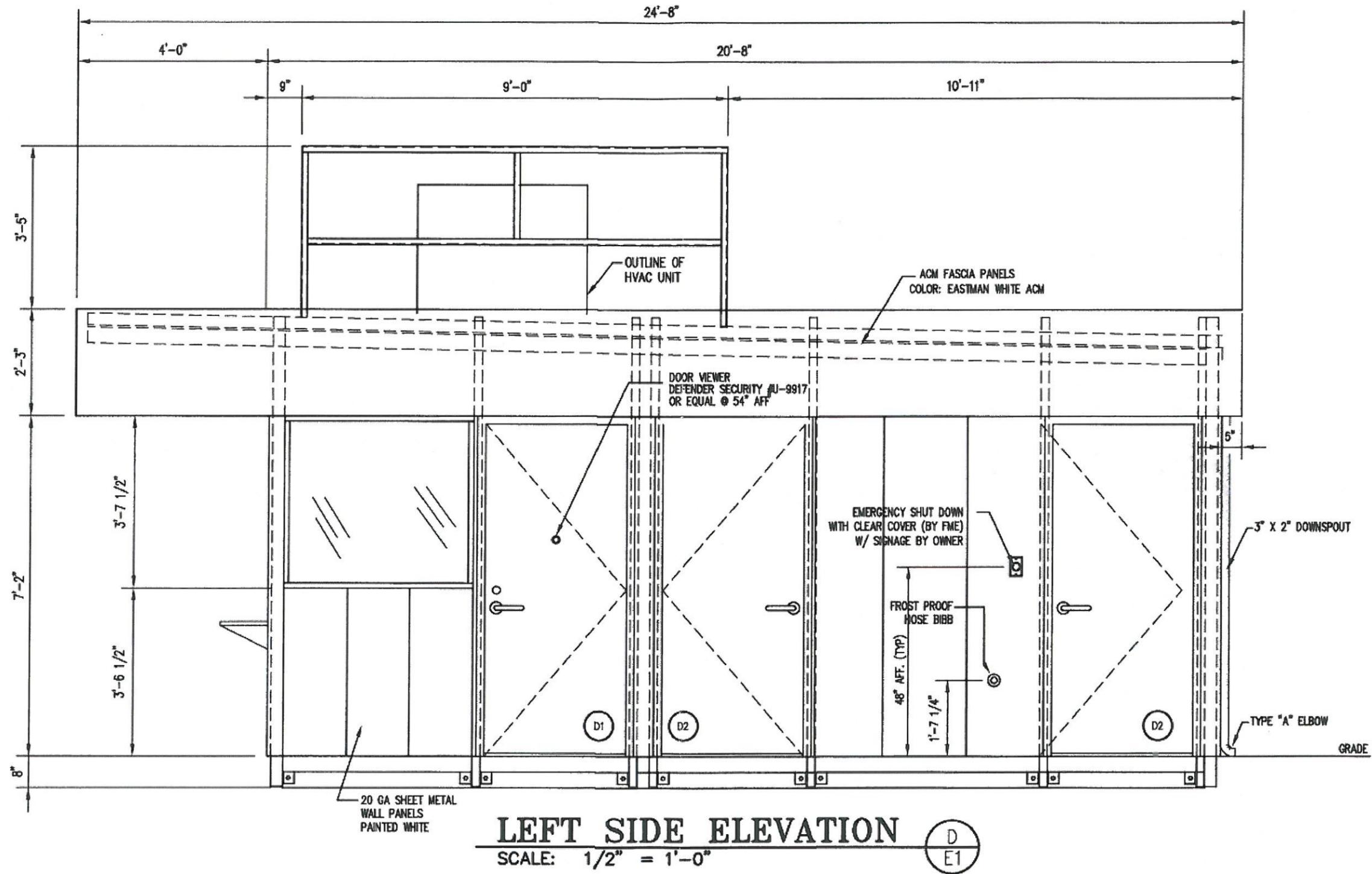


FRONT ELEVATION (B) (E1)
SCALE: 1/2" = 1'-0"

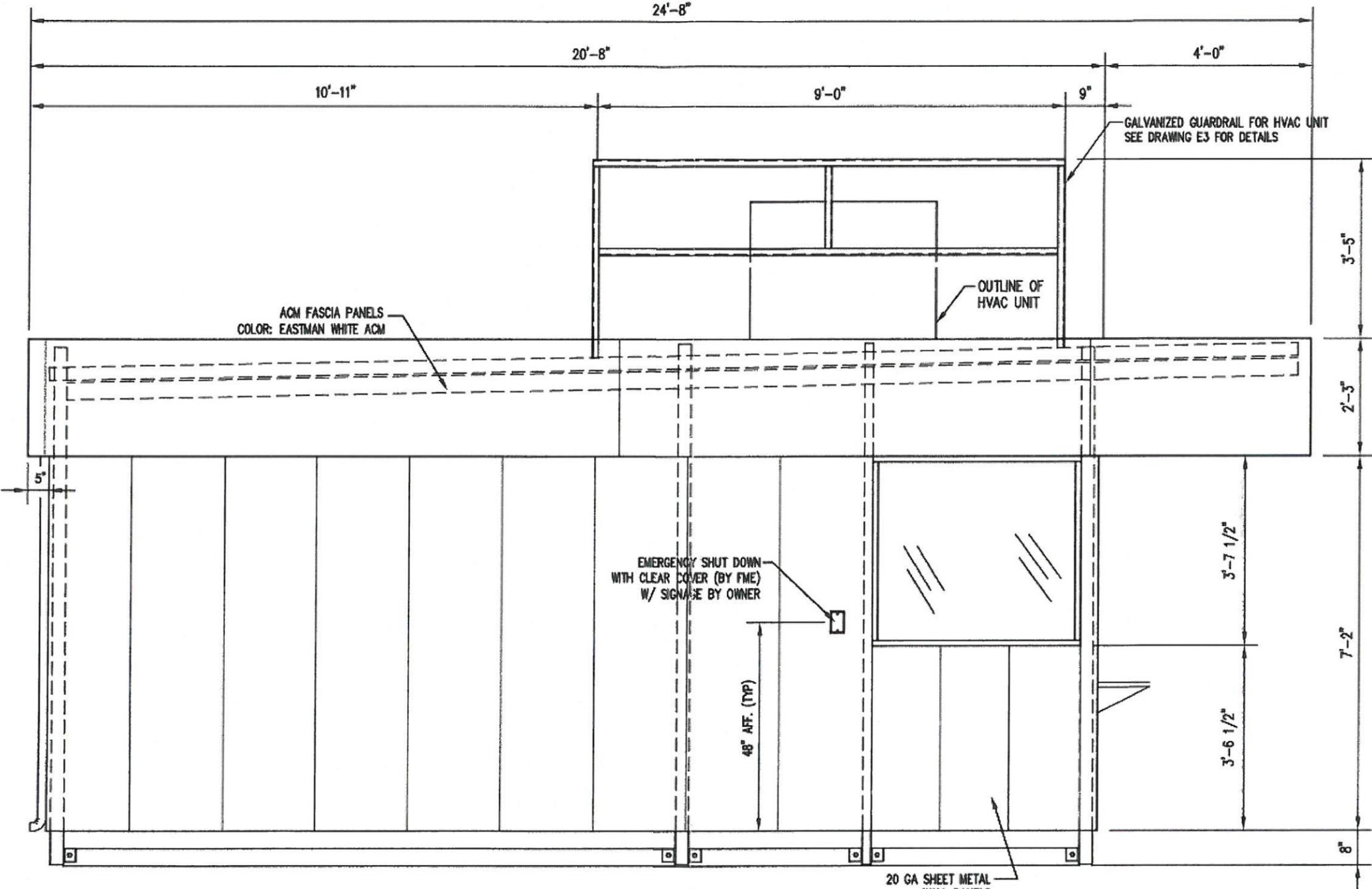


REAR ELEVATION (A) (E1)
SCALE: 1/2" = 1'-0"

Kiosk – Left Side Elevation



Kiosk – Right Side Elevation



RIGHT SIDE ELEVATION

SCALE: 1/2" = 1'-0"

C
E1

20 GA SHEET METAL
WALL PANELS
PAINTED WHITE

EMERGENCY SHUT DOWN
WITH CLEAR COVER (BY FME)
W/ SIGNAGE BY OWNER

48" AFF. (TYP)

ACM FASCIA PANELS
COLOR: EASTMAN WHITE ACM

GALVANIZED GUARDRAIL FOR HVAC UNIT
SEE DRAWING E3 FOR DETAILS

OUTLINE OF
HVAC UNIT

STAFF REPORT
CDRB Meeting
November 17, 2016 at 4:00 p.m.

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: November 9, 2016

GENERAL INFORMATION

Applicant: Staybridge Suites
Property Owner: Vishal Patel/JAI AMBE II, LLC
Requested Action: The applicant is requesting final approval to build a new hotel.
Requested Approval: Final Approval
Existing Zoning: B-3, General Business
Location: 225 Holiday Drive
Existing Land Use: Vacant

Ordinance Reference:

Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based upon preliminary staff review, the project does not appear to meet the Zoning Ordinance. The Board must approve the planting in the reduced planting in the front border due to the required sight distance triangle as specified by SCDOT. Per the Town's Engineering Department, an access easement will need to be platted for the shared driveway with the Home2Hotel. It appears that the drainage flow direction is shown incorrectly in the SCDOT drainage ditches, and a SCDOT encroachment permit will be needed for the outfall into the SCDOT ditch in the rear of the property. Approval will be needed from SCE&G for the portion of the sidewalk shown in the SCE&G easement on the side of the property. The sidewalk along the road appears to conflict with the slope of the existing roadside ditch. The sidewalk along the road needs to either align with the sidewalk on the Home2Hotel property or at least be connected – it appears that the sidewalk dead ends at the proposed monument sign location.

Town of Summerville



| | |
|----------------|----------------|
| Date Received: | <u>11/2/16</u> |
| Amount Paid: | <u>N/A</u> |
| Staff Initial: | <u>qs</u> |

Department of Planning & Development
 200 S. Main Street
 Summerville, SC 29483

COMMERCIAL DESIGN REVIEW BOARD APPLICATION

REQUIREMENTS: This application, **9 sets (eight 11x17 and one full size) of plans** (site, landscape, and architectural), and any applicable fees (see fee schedule) must be submitted to the Department of Planning and Development at least 15 days prior to the Commercial Development Design Review Board meeting. Applications must include all applicable information required in the Commercial Design Review Application Checklist and **all sets of plans must be collated and folded**. Final plans must carry the seal of a registered architect or engineer licensed in the State of South Carolina. Applicants or a representative must be present for an item to be heard.

REQUEST:

- Conceptual Review (only requires photos of site, proposed building elevations, and site plan)
- Preliminary Approval (see attached checklist)
- Final Approval (see attached checklist) Preliminary Approval Granted On: 10/15/16

PROJECT NAME: STAY BRIDGE SUITES.

PROJECT'S COMPLETE ADDRESS (if in shopping center, indicate name)
225 HOLIDAY DR SUMMERVILLE SC.

PRIMARY CONTACT'S EMAIL ADDRESS: _____

Owner/Developer's Name VISHAL PATEL Firm INDIGO Phone 843-599-0231

Primary Contact's Name KYLE WOODSTRA Firm DJV ARCH Phone 843-531-6843

Architect's Name _____ Firm _____ Phone _____

Landscape Arch. Name _____ Firm _____ Phone _____

Engineers Name _____ Firm _____ Phone _____

The Commercial Development Design Review Board will meet at 4:00 p.m. on _____

I have read and understand the instructions accompanying this application form. I certify that all information required by the Site and Architectural Plan Checklist is included and the application is complete. If an application is found to be incomplete, the primary contact will be notified and the application will be removed from the agenda. I also understand that any changes made to the drawings approved by the Commercial Design Review Board must be resubmitted for approval of any change or alteration. A Certificate of Occupancy will not be issued if the building and/or site and landscaping differ from the approved plans.

 Signature of Owner/Developer
12/2

Brandon Shaw

From: Grooms, Robert W. [GroomsRW@scdot.org]
Sent: Friday, September 23, 2016 2:43 PM
To: Brandon Shaw
Cc: Fleming, Juleigh B.
Subject: RE: Staybridge Suites Summerville - Site Exhibit
Attachments: image002.jpg; image003.png; Call from Richard Dowling - Stay Fresh Hotels (553 KB)

Brandon,

The line of sight has to be measured from a point 15' back from the edge of the roadway (Holiday Dr). This needs to be shown and dimensioned on the plans.

There shall be no obstructions in the required line of sight. See attached email.

This needs to be shown for both driveways shown on your site plan.

Respectfully,
Wade Grooms



District Permit Engineer
SCDOT – District 6
6355 Fain Street
North Charleston, SC 29406

From: Brandon Shaw [mailto:shawb@earthsourceeng.com]
Sent: Friday, September 23, 2016 2:17 PM
To: Fleming, Juleigh B.
Cc: Grooms, Robert W.
Subject: Staybridge Suites Summerville - Site Exhibit

Good Afternoon Juleigh,

Last week we went through Preliminary DRB for this Staybridge Suites Summerville project and have been in contact with Palmetto Civil of the Home2 hotel development adjacent to us. After coordinating with both Palmetto Civil and Summerville, I've put together an exhibit (attached) and would appreciate it if you could review it and let me know if you see anything that may cause issue.

The majority of the discussion at DRB, regarding the site layout, was about the landscaping buffer along Holiday Drive. Their ordinance requires quite a dense landscape buffer but this planting would have caused issue with our sight visibility triangle. The solution we've proposed is to have the canopy tree stalks all be a minimum of 6-ft tall, remove all 4-ft shrubs and understory trees from the middle buffer area, and have shrubs no taller than 2-ft within this buffer -- notes are on the plans stating these requirements. The purpose of this was to still provide some landscaping for Summerville while not imposing on the sight visibility triangles. Please let me know if you see any issue with this, and if so, please let me know if you have any potential solutions. Feel free to call me about this.

Thank you,

Brandon Shaw, EIT

- D) Label guardrail; vertical face curb; sidewalks; edge of pavement and right-of-way line on sketch.
- E) State distance plant material is from curb or edge of pavement (offset).

The following guidelines establish a framework for preparing design work for projects of this nature.

- A) Applicants shall furnish, install, and maintain all plantings. They shall be responsible for maintaining all vegetation within the right-of-way that is contiguous with the landscaping. The Department shall not be responsible for providing water, fertilizer, labor, materials, or maintenance within the landscaping limits of the right-of-way.
- B) The Department will exercise care in maintenance, construction, or reconstruction to avoid unnecessary damage. It cannot, however, accept responsibility to protect plants or irrigation systems against damage or theft. If subsequent changes in the highway require removal of plants, this must be done by applicant.
- C) All landscaping work within the SCDOT right-of-way must conform to all local ordinances and all state environmental regulations.
- D) The applicant will perform installation under the supervision of the SCDOT, and shall not block traffic at any time. All traffic control devices will be the responsibility of the applicant and shall conform to section V of the MUTCD. Plantings shall not block billboards, and plantings in the vicinity of billboards will have to be approved on-site by the local District Outdoor Advertising Coordinator prior to the start of planting.
- E) No tree, shrub, etc., shall be permitted in any location where it may interfere with highway safety or traffic visibility or impair standard sight distance in any way. Plants that might prove detrimental to safety, to the highway, or to adjacent property will not be permitted. Otherwise, the selection of plants is left to the discretion of the applicant. Experience has proven that indigenous plant material is more satisfactory. Features such as autumn foliage, flower effects, etc., should be considered. If advice in landscape planning is needed, the Department's Landscape Architect may be contacted through Preconstruction Support. Applicants may want to contact the South Carolina Forestry Commission's Urban Forester for their region for advice.
- F) Minimum offsets for trees and shrubs shall be as described in [Table 9-18](#). This offset would not apply if the location does not leave at least 5 feet of a grassed area suitable for pedestrian traffic along roads without sidewalks. This area is to be seeded or sodded as needed to prevent erosion and provide stable footing for pedestrian traffic. Cross tie planters may be allowed 5 feet from any roadway structure if buried flush with the existing grade.
- G) No trees will be allowed close enough to the road to allow root systems to undermine or damage any roadway structure, such as curbing, sidewalk, or drainage components, at any time during the tree's life. A biological or physical root barrier system may be considered in extenuating circumstances, on a case-by-case basis, as determined by the Department's Landscape Architect.
- H) Trees, shrubs, or earthen mounds shall not block the line of sight along the roadway. This means that no planting shall occur in the area



EARTHSOURCE ENGINEERING
 888 Adams Drive, Suite 208
 Mount Pleasant, SC 29464
 www.earthsourceeng.com
 Phone: 843.881.0525
 Email: info@earthsourceeng.com



STAYBRIDGE SUITES SUMMERVILLE
 225 HOLIDAY DRIVE
 SUMMERVILLE, SC 29483

SCDOT SITE EXHIBIT

| NO. | DATE | REVISIONS | BY |
|-----|----------|---------------------------------|-----|
| 1. | 11.01.16 | SCDOT & PRELIMINARY CORRECTIONS | BDS |

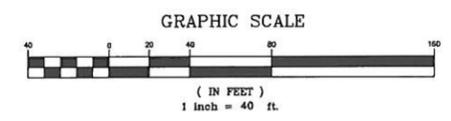
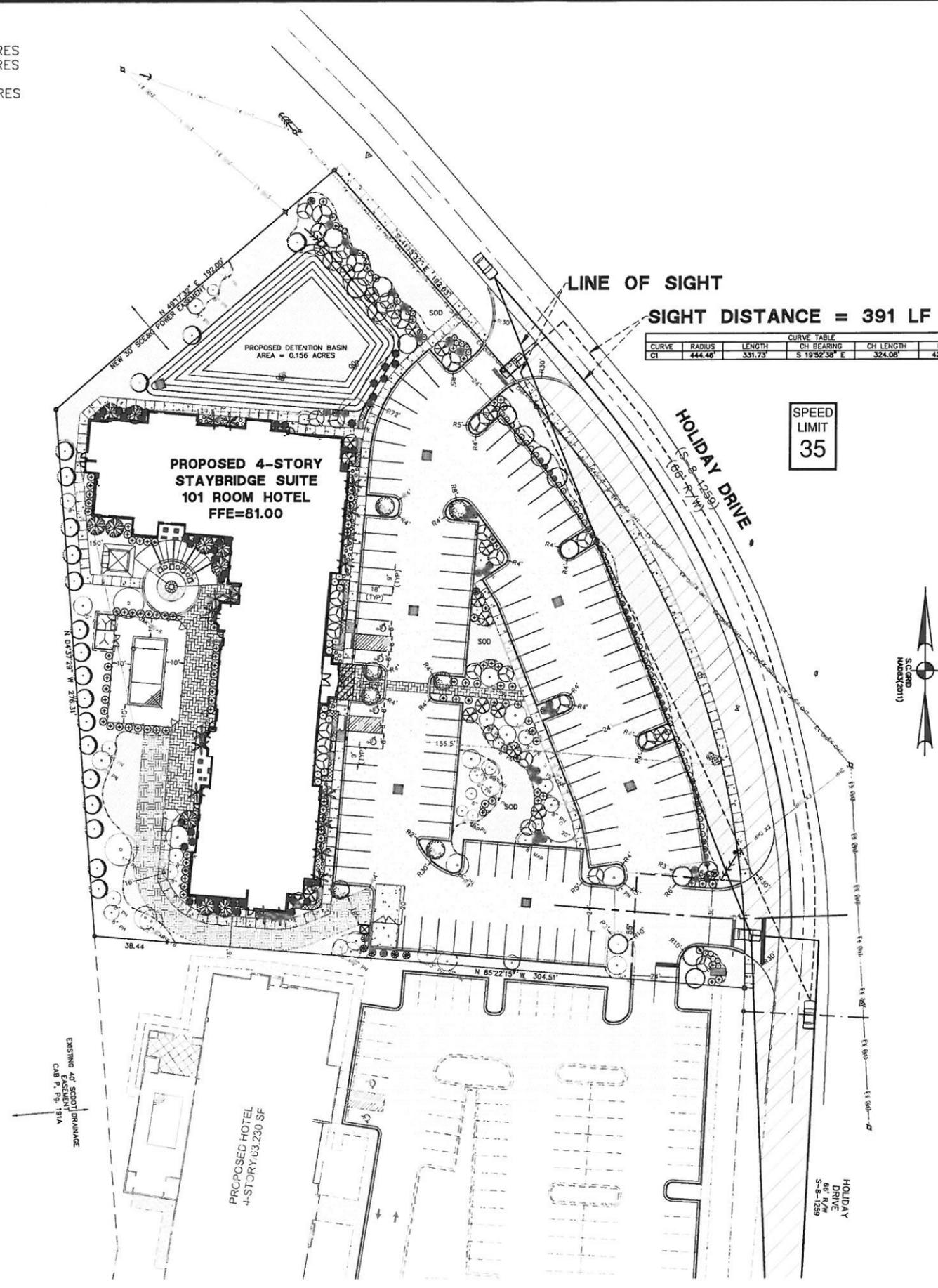
DRAWN: BDS
 CHECKED: KMB
 DATE: 11.01.2016
 JOB NO. 16-131
PERMIT REVIEW SET
 SHEET NUMBER C-202

- LEGEND:**
- PROPERTY LINE
 - ADJACENT PROPERTY
 - EX-SWM
 - EX-SFM
 - EX-WTR
 - EDGE OF PAVEMENT
 - EX-UCP
 - EXISTING UNDERGROUND POWER
 - EXISTING INGRESS/EGRESS EASEMENT
 - EXISTING UTILITY EASEMENT
 - LIMITS OF DISTURBANCE
 - EX-STNG 24 HDPE STORM DRAIN
 - EX-STNG 18" CMP STORM DRAIN
 - EX-ELECTRICAL BOX
 - EX-SEWER MANHOLE
 - EX-AIR RELEASE VALVE
 - EX ASPHALT
 - PROPOSED 8" WOOD STOCKADE FENCE
 - PROPOSED 15" RCP
 - PROPOSED 18" RCP
 - PROPOSED 24" RCP
 - PROPOSED GRATE INLET
 - PROPOSED CURB INLET
 - PROPOSED CONCRETE
 - PROPOSED LIGHT-DUTY ASPHALT
 - PROPOSED TRAFFIC RATED TURF MATERIAL
- SITE SURFACES**
- IMPERVIOUS = 1.43 ACRES
 PERVIOUS = 1.05 ACRES
 TOTAL AREA = 2.48 ACRES

- LANDSCAPING BUFFER NOTES:**
- ALL CANOPY TREES WITHIN THE BUFFER BETWEEN THE TWO DRIVEWAY ENTRIES SHALL BE DE-LIMBED AND KEPT LIMBLESS FOR THE FIRST 6-FT IN HEIGHT AND UP TO 7-FT IN HEIGHT WHERE TREES ARE NEAR PEDESTRIAN WALKWAYS.
 - 4-FT TALL SHRUBS SHALL NOT BE PLANTED IN THE BUFFER BETWEEN THE TWO DRIVEWAY ENTRIES.
 - THE HEIGHT OF THE SHRUBS WITHIN THE BUFFER BETWEEN THE TWO DRIVEWAY ENTRIES SHALL BE MAINTAINED, TRIMMED AND NOT EXCEED THIRTY (30) INCHES IN HEIGHT.

SITE DATA:
 TMS#: 221-00-00-161
 LOT SIZE (TOTAL): ±2.48 ACRES
 AREA OF DISTURBANCE: 2.5 ACRES
 FLOOD ZONE: X
 FIRM PANEL#: 45015C 0570D
 DATE: OCTOBER 16, 2003
 ZONED: B-3 (GENERAL BUSINESS)
 BUFFERS:
 FRONT: 13.4' (5% AVG. DEPTH OF PROP.)
 SIDES: 5'
 REAR: 5'
 SETBACKS:
 FRONT: 30'
 SIDE: NONE
 REAR: NONE
 PROPOSED HOTEL: 101 ROOMS
 PARKING REQUIRED:
 HOTEL: 1 SPACE PER ROOM = 101 SPACES
 10 EMPLOYEES: 1 SPACE PER 3 = 4 SPACES
 PARKING PROVIDED:
 REGULAR = 101 SPACES
 HANDICAP = 4 SPACES
 TOTAL = 105 SPACES

BENCH MARK DATA:
 TBM#: NGS DISK DOTY SCSPC 3900 (2011 ADJ.)
 ELEV: -72.4' DATUM: NAVD88

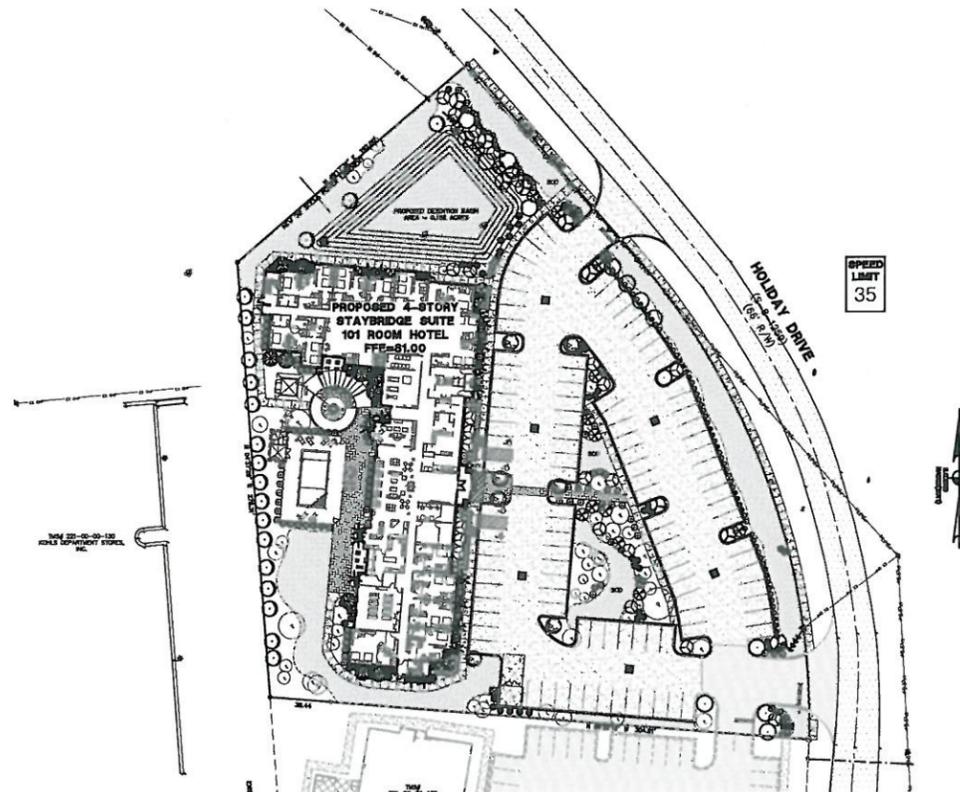


STAYBRIDGE SUITES SUMMERVILLE

225 HOLIDAY DRIVE
SUMMERVILLE, SC 29483



LOCATION MAP (NTS)



SHEET INDEX SITE AND CIVIL DRAWINGS

| DESCRIPTION | SHEET NUMBER |
|--|--------------|
| COVER SHEET | |
| NOTES | C-001 |
| EXISTING CONDITIONS & TREE PROTECTION PLAN | C-100 |
| SITE & LAYOUT PLAN | C-200 |
| SITE LAYOUT PLAN W/ TREE REMOVAL OVERLAY | C-201 |
| GRADING AND DRAINAGE | C-300 |
| UTILITY & FIRE ACCESS PLAN | C-400 |
| DETAIL SHEET (SITE) | C-500 |
| DETAIL SHEET (STORMWATER) | C-501 |
| DETAIL SHEET (UTILITIES) | C-502 |
| LANDSCAPE | |
| LANDSCAPE PLAN | L-100 |

OWNER:
JAI AMBE II, LLC
16 IRON BOTTOM LANE
D1, SC 29492
CONTACT: VISHAL PATEL
(843) 599-0231
VP1340@GMAIL.COM

ARCHITECT:
R4 ARCHITECTURE
7301 RIVERS AVE., SUITE 188
NORTH CHARLESTON, SC 29406
(843) 531-6848
CONTACT: KYLE WOULDSTRA, AIA

SURVEYOR:
THOMAS & HUTTON
682 JOHNNIE DODDS BLVD, SUITE 100
MOUNT PLEASANT, SC 29464
(843) 849-0200
CONTACT: F. ELLIOTTE QUINN

UTILITIES & MUNICIPALITIES

| CONTACTS | TELEPHONE |
|---------------------------------|----------------|
| SCDHEC/ OCRM | |
| PAMELA WINKLER | (843) 953-5324 |
| TOWN OF SUMMERVILLE CPW | |
| CHRIS KAHLER | (843) 875-8761 |
| TOWN OF SUMMERVILLE PLANNING | |
| JESSI SHULER | (843) 851-5200 |
| TOWN OF SUMMERVILLE ENGINEERING | |
| BONNIE MILEY | (843) 851-4235 |

PROJECT NARRATIVE:
THE OWNER OF THE SUBJECT LOT PROPOSES TO BUILD A 101 ROOM HOTEL ON THIS SPECIFIC PROPERTY.

SITE DATA:
TMS#: 221-00-00-161
LOT SIZE (TOTAL): ±2.48 ACRES
AREA OF DISTURBANCE: 2.5 ACRES
FLOOD ZONE: X
FIRM PANEL#: 45015C 0570D
DATE: OCTOBER 16, 2003
ZONED: B-3 (GENERAL BUSINESS)
BUFFERS:
FRONT: 13.4' (5% AVG. DEPTH OF PROP.)
SIDES: 5'
REAR: 5'
SETBACKS:
FRONT: 30'
SIDE: NONE
REAR: NONE
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HOTEL: 1 SPACE PER ROOM = 101 SPACES
10 EMPLOYEES: 1 SPACE PER 3 = 4 SPACES
PARKING PROVIDED:
REGULAR = 101 SPACES
HANDICAP = 4 SPACES
TOTAL = 105 SPACES

BENCH MARK DATA:
TBM#: NGS DISK DOTY SCSPC 3900 (2011 ADJ.)
ELEV.=72.4' DATUM: NAVD88

EARTHSOURCE ENGINEERING
ONE THELEPHONIC WAY, SUITE 200
MOUNT PLEASANT, SC 29464
www.earthsourceeng.com
earthsourceeng@gmail.com



**STAYBRIDGE SUITES
SUMMERVILLE**
225 HOLIDAY DRIVE
SUMMERVILLE, SC 29483
COVER

| NO. | DATE | REVISIONS |
|-----|----------|------------------------------------|
| 1. | 11.01.16 | SCDOT & PRELIMINARY CORB REVISIONS |

DRAWN: BDS
CHECKED: KMB
DATE: 11.01.2016
JOB NO.
16-131

PERMIT REVIEW SET
SHEET NUMBER
Cover

SITE DATA

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HANDICAP =4 SPACES
TOTAL =105 SPACES
BENCH MARK DATA:
TBM#: NGS DISK DOTY SCSPC 3900 (2011 ADJ.)
ELEV.=72.4' DATUM: NAVD88

GENERAL CLEARING NOTES

- 1. THE CONTRACTOR SHALL VERIFY ALL TREES TO BE PROTECTED AND IS TO PROTECT THESE TREES AS SPECIFIED IN THE TREE PROTECTION DETAIL.
2. THE CONTRACTOR SHALL MEET WITH THE PROJECT'S LANDSCAPE DESIGNER PRIOR TO CONSTRUCTION TO COORDINATE EXISTING VEGETATION TO REMAIN.
3. ANYTHING REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR ACCORDING TO THE MUNICIPALITIES REQUIREMENTS.
4. REMOVAL OF VEGETATION OUTSIDE OF WHAT IS DEPICTED ON THESE PLANS IS PROHIBITED UNLESS DISCUSSED WITH BOTH THE ENGINEER AND THE MUNICIPALITY.
5. SITE WORK IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. ANY WILLFUL OR ACCIDENTAL DESTRUCTION OF PROTECTED VEGETATION WILL REQUIRE MITIGATION APPROVED BY THE ENGINEER, OWNER, AND THE MUNICIPALITY.
6. THE APPROVAL OF ALL TREE BARRICADES WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT AREA.
8. CONTRACTOR TO ENSURE THE PROTECTION OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO WATER MAIN(S), SERVICE LATERAL(S), VALVE BOX(ES), FIRE HYDRANT(S), SEWER MAIN(S), SEWER STRUCTURE(S), ETC. THROUGHOUT ALL PHASES OF CONSTRUCTION. IF ANY EXISTING UTILITY ITEM IS DAMAGED OR DESTROYED, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO REPLACE SAID ITEM(S) WITH THE SAME OR SIMILARLY APPROVED EQUIVALENT.

GENERAL & SPECIAL SITE NOTES

- GENERAL SITE NOTES:
1. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DETERMINE IF THERE ARE ANY DISCREPANCIES FROM THE PLANS PRIOR TO CONSTRUCTION. IF ANY PROBLEMS ARE FOUND, CONTRACTOR IS TO CONTACT EARTHSOURCE ENGINEERING.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS WHICH ARE TYPICALLY TO EDGE OF ASPHALT, FACE OF CURB.
3. CONTRACTOR TO USE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS OF BUILDINGS.
4. ALL PARKING LOT STRIPING SHALL BE SHERWIN WILLIAMS "PRO-MAR" TRAFFIC MARKING PAINT
5. CONTRACTOR TO FOLLOW AND UTILIZE ALL SCODOT SAFETY AND TRAFFIC CONTROL GUIDELINES SET FORTH BY MUTCD FOR ALL WORK PERFORMED IN THE RIGHT-OF-WAY. CONTRACTOR TO COORDINATE AND CALL FOR INSPECTIONS AS SPECIFIED IN THE PERMIT. CONTRACTOR IS TO CUT A CLEAN EDGE ALONG EXISTING PAVEMENT PRIOR TO TYING IN NEW DRIVE, NEW ASPHALT, BASE MATERIAL, AND PAVEMENT CONSTRUCTION METHODS SHALL MEET MINIMUM REQUIREMENTS OF THE SCODOT.
7. ALL TRAFFIC SIGNAGE AND STREET MARKINGS IN THE RIGHT-OF-WAY SHALL USE REFLECTIVE SHEETING THAT MEETS THE REQUIREMENTS OF ASTM 04856-09. OBTAIN SHEETING FROM MANUFACTURERS PREQUALIFIED IN ACCORDANCE WITH SCODOT QUALIFIED PRODUCT POLICY 20 AND WHO APPEAR IN THE CURRENT EDITION OF SCODOT QUALIFIED PRODUCTS LIST 20.
8. A MINIMUM OF TYPE III REFLECTIVE SHEETING (BEADED OR MICROPRISMATIC) ARE TO BE USED ON ALL HIGHWAY SIGNS.
POOL NOTES:
1. THREE (3) MINUTE CONTINUOUS BACKWASH FLOW MUST BE DEMONSTRATED AT TIME OF FINAL INSPECTION WITH NO BACKUPS OR OVERTFLOWING OF THE RETENTION SYSTEM OR STORM DRAIN. WHEN DISCHARGING THE ENTIRE VOLUME OF THE POOL INTO THE STORM WATER SYSTEM, THE FOLLOWING CHEMICAL LEVEL GUIDELINES ARE TO BE HELD:
• pH 7.0 +/- 0.5
• CHLORINE NEUTRALIZED TO ZERO (0)
• NO COPPER/SILVER BASED ALGAEICIDES TO BE USED
• SUSPENDED SOLIDS BELOW 60 MG/L
• A CHLORINE NEUTRALIZING AGENT SUCH AS SODIUM THIOSULFATE/SODIUM BISULFATE OR SIMILAR CHEMICAL SHOULD BE ADDED TO THE POOL TO NEUTRALIZE THE FREE AVAILABLE CHLORINE (FA C) PRIOR TO DISCHARGING THE ENTIRE CONTENTS OF THE POOL. ALTERNATIVELY, THE POOL WATER SHOULD BE ALLOWED TO SIT FOR TWO (2) OR MORE DAYS TO ALLOW THE FAC RESIDUAL TO DISSIPATE NATURALLY (IN SITU) PRIOR TO DISCHARGE.
• DISCHARGING THE ENTIRE VOLUME OF THE POOL MUST NOT TAKE PLACE DURING A RAIN EVENT OR WITHIN 72 HOURS AFTER A RAIN EVENT
3. WHEN DISCHARGING POOL BACKWASH WATER INTO THE STORM WATER SYSTEM THE FAC MUST BE NEUTRALIZED TO ZERO (0) THROUGH USE OF A DECHLORINATING AGENT SUCH AS THE INDUSTRIES ELIMINATOR WITH CAPTOR (CHEMICAL NEUTRALIZING AGENT) OR EQUIVALENT DEVICE.
4. BACKWASH PIPING SHALL BE EQUIPPED WITH TWO FLAPPER TYPE CHECK VALVES THAT WILL PREVENT STORM WATER FROM BACKING UP INTO THE POOL WATER SYSTEM.
5. POOL DRAINAGE WILL REQUIRE A SEPARATE STORM WATER MANAGEMENT PLAN AND APPROVAL IF THE FUTURE DESIGN (BY OTHERS) OUTF ALLS THE POOL BACKFLOW INTO THE MS4'S STORM WATER SYSTEM.

EROSION CONTROL, GENERAL PAVING, & GRADING NOTES

EROSION CONTROL NOTES:

- 1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
• WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
• WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK, IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION, FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THE FOLLOWING PLANS DURING CONSTRUCTION AND OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCRI00000.
8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
11. A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).
16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
• WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
• WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS; FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
17. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
18. IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE BEGINNING OF CONSTRUCTION. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE, THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

GENERAL PAVING AND GRADING NOTES:

- 1. CONTRACTOR TO VERIFY ALL ELEVATIONS, GRADES, AND DRAINAGE STRUCTURES PRIOR TO CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE ENGINEER.
2. CONTRACTOR IS TO HAVE SCHCC/OCRM LAND DISTURBANCE PERMIT AND APPROVED DRAWINGS AND SHALL APPLY FOR THE PLACARD IF REQUIRED.
3. A CLEARING AND GRADING PERMIT PROVIDED BY THE LOCAL MUNICIPALITY SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. CONTRACTOR SHALL FOLLOW THE CONSTRUCTION SEQUENCE ON THE DETAIL SHEET C-001 TO PREVENT STORMWATER AND SEDIMENT FROM LEAVING THE SITE.
5. WATER ENCOUNTERED WHILE TRENCHING FOR UTILITIES MUST BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE DISCHARGING OFF SITE. PUMP INTAKES SHOULD HAVE A FLOAT OR SIT ON A BED OF ROCK TO PREVENT DREDGING AND THE DISCHARGE SHOULD BE THROUGH AN ENERGY DISSIPATER AND/OR SEDIMENT TRAP.
6. CONTRACTOR SHALL ENSURE THAT ALL EXISTING DRAINAGE STRUCTURES WITHIN THE ADJACENT RIGHT-OF-WAYS AND INGRESS/EGRESS EASEMENTS SHALL CONTINUE TO FUNCTION DURING ALL PHASES OF CONSTRUCTION.
7. GRADING AROUND ANY PROTECTED TREE SHALL BE KEPT TO A MINIMUM.
8. ON ALL PORTIONS OF BUILDINGS WITHOUT DOWN SPOUTS, CONTRACTOR IS TO INSTALL A GRAVEL BASE AROUND THE AREA UNDERNEATH THE DRIP LINE ON THE ENDS OF THE BUILDINGS TO PREVENT EROSION.
9. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
10. ALL EXISTING DRAINAGE STRUCTURES ARE TO BE CLEANED AND MAINTAINED AND SHALL REMAIN OPERATIONAL THROUGHOUT ALL PHASES OF CONSTRUCTION.
11. POST-CONSTRUCTION MAINTENANCE OF THE ON-SITE STORMWATER SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
12. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS ARE TO BE STABILIZED. DAMAGED OR INEFFECTIVE EROSION CONTROL DEVICES SHALL BE REPAIRED OR REPLACED AS NECESSARY.

SEQUENCE OF CONSTRUCTION(PHASE I):

- 1. RECEIVE NPDES COVERAGE FROM DHEC.
2. CONDUCT PRE-CONSTRUCTION MEETING (ON-SITE MORE THAN 10 ACRES TO BE DISTURBED) AND THE PROJECT IS NON LINEAR.
3. NOTIFY DHEC EQC OFFICE OR OCRM 48 HOURS PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES.
4. INSTALL CONSTRUCTION ENTRANCES(S) AND BEGIN MAINTENANCE OF SEDIMENT AS NECESSARY. CONTINUE MAINTENANCE UNTIL ALL FINAL STABILIZATION MEASURES ARE IN PLACE AND REMOVAL OF CONTROL DEVICES IS APPROVED BY THE DESIGNATED AUTHORITY.
5. CLEAR AND GRUB FOR THE INSTALLATION OF PERIMETER CONTROLS.
6. INSTALL TREE PROTECTION AS APPLICABLE.
7. DEMOLISH AND REMOVE EXISTING STRUCTURES, HARDSCAPES, AND DEBRIS AS APPLICABLE.
8. CLEAR, GRUB, AND GRADE FOR ACCESS TO AND INSTALLATION OF BASINS/TRAPS/PONDS AS APPLICABLE.

- STOCKPILE & CONSTRUCTION DEBRIS MANAGEMENT NOTE(PHASE I):
1. LITTER, CONSTRUCTION DEBRIS, CONCRETE WASHOUT, OILS, FUELS, AND BUILDING PRODUCTS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES. SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCKPILE AREAS AND SHALL BE CHECKED AFTER EACH RAIN EVENT AND AT THE END OF EACH WORKING DAY. SILT FENCE SHALL BE MAINTAINED AT ALL TIMES.
2. ALL CONSTRUCTION WASTE MATERIALS EXPECTED TO BE STORED ON-SITE SHALL BE CONTROLLED BY PROPER STORAGE PRACTICES SUCH AS ROLL-OFF CONTAINERS. A SPILL PREVENTION PLAN MUST BE ESTABLISHED BY THE CONTRACTOR THAT MINIMIZE EXPOSURE OF THESE WASTE MATERIALS TO STORMWATER DISCHARGES.

LAND DISTURBANCE PHASE I NOTES:

- (THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE INITIAL LAND DISTURBANCE PHASE.)
1. THE CONSTRUCTION ENTRANCE SHALL BE PLACED AS SHOWN ON THE PLANS.
2. IMMEDIATELY AFTER THE ESTABLISHMENT OF THE CONSTRUCTION ENTRANCE, ALL PERIMETER EROSION CONTROL & STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE INITIAL PHASE OF CONSTRUCTION PLANS.
3. SILT FENCE, WHETHER REGULAR, REINFORCED, OR DOUBLE ROW OF EITHER, SHALL BE INSTALLED AT THE PERIMETER OF THE LAND DISTURBANCE. THE SILT FENCE SHOULD BE KEPT ERECT AT ALL TIMES & REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR OR PROJECT DESIGN PROFESSIONAL OF RECORD.
4. SILT SHOULD BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER. THE PERIMETER SILT FENCE SHOULD BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES OF SAID FENCE SHOULD BE REPAIRED IMMEDIATELY.
5. INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM DRAINAGE STRUCTURES AS SHOWN ON PLAN.
6. STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS NECESSARY.
7. TEMPORARY DIVERSION DITCHES SHALL BE INSTALLED TO DIRECT FLOW TO THE BASINS/TRAPS/PONDS UNTIL ROUGH GRADING BE-DIRECTS FLOWS AS NECESSARY.
8. PERIMETER FENCING SHOULD BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBANCE & MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. ANY FAILURES OF SAID FENCING SHALL BE REPAIRED IMMEDIATELY.
9. NO BURN OR BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE WITHOUT PERMISSION BY THE OWNER &/OR THE ENGINEER OF RECORD.
10. TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE CEASING.

SEDIMENT & EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT & AT THE END OF EACH WORKING DAY. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF THE SEDIMENT ACCUMULATION HAS REACHED THE CAPACITY OF THE DEVICE.

SEQUENCE OF CONSTRUCTION(PHASE II):

- 1. CONTINUE MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL ALL FINAL STABILIZATION MEASURES ARE IN PLACE AND REMOVAL OF CONTROLS IS APPROVED BY THE DESIGNATED AUTHORITY.
2. CLEAR AND GRUB THE REMAINDER OF THE SITE.
3. COMPLETE ROUGH GRADING.
4. INITIATE INSTALLATION OF UTILITIES AND BUILDING CONSTRUCTION AS APPLICABLE.
5. INSTALL STORM DRAINAGE SYSTEM INCLUDING SEDIMENT PROTECTION AS EACH STRUCTURE IS INSTALLED.

LAND DISTURBANCE PHASE II NOTES (CONSTRUCTION PHASE):

- 1. SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCK PILE AREAS.
2. INLET SEDIMENT PROTECTION SHALL BE INSTALLED ON ALL STORM DRAINAGE STRUCTURES AS THEY ARE CONSTRUCTED. SEE PLAN VIEW AND DETAILS FOR TYPE AND INFORMATION.
3. STORM DRAIN OUTLET PROTECTION SHALL BE PLACED AT ALL OUTLETS AS THEY ARE INSTALLED.
4. ALL DRAINAGE SWALES SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADES ARE ACHIEVED.
5. ALL GRADED AREAS SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADES ARE ACHIEVED.
6. TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE CEASING.
SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT AND AT THE END OF EACH WORKING DAY. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF THE SEDIMENT ACCUMULATION HAS REACHED THE CAPACITY OF THE DEVICE.
THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLE ONTO PUBLIC RIGHTS-OF-WAY OR INTO STORM DRAINAGE SHALL BE IMMEDIATELY REMOVED.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF EROSION CONTROL MEASURES SHOWN ON THE PLANS DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS DIRECTED BY THE ON-SITE INSPECTOR OR ENGINEER.

THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING TO LIMIT THE AMOUNT OF LAND STRIPPED OF ITS NATURAL COVER AND THEREFORE LIMIT DURATION BEFORE STABILIZATION COVER IS ESTABLISHED.

SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM SEDIMENT BASINS AND PLACED ON-SITE AND STABILIZED OR HAULED OFF-SITE SO THAT IT DOES NOT ENTER INLETS AGAIN.

EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE HAS OCCURRED. THE LOCATION OF SOME EROSION CONTROL DEVICES MAY NEED TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DO NOT FOLLOW THE PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE DESIGN ENGINEER.

CUT AND FILL SLOPES SHALL NOT EXCEED 2H:1V. 3H:1V IS PREFERRED IN ALL LOCATIONS UNLESS INFEASIBLE.

SEQUENCE OF CONSTRUCTION(PHASE III):

- 1. CONTINUE MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL ALL FINAL STABILIZATION MEASURES ARE IN PLACE AND REMOVAL OF CONTROLS IS APPROVED BY THE DESIGNATED AUTHORITY.
2. COMPLETE SITE SURFACE IMPROVEMENTS INCLUDING CURBS, WALKS, PAVEMENT, ETC.
3. INSTALL LANDSCAPING AND ESTABLISH PERMANENT SOIL STABILIZATION.
4. WHERE REQUIRED CLEAN, RE-GRADE, AND RE-ESTABLISH SOIL STABILIZATION FOR DETENTION BASINS STRUCTURES, MODIFY DETENTION BASIN RISER TO CONVERT IT TO THE PERMANENT OUTLET.
5. REMOVE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AFTER THE ENTIRE AREA DRAINAGE TO EACH MEASURE IS PERMANENTLY STABILIZED AND APPROVED BY THE DESIGNATED AUTHORITY.
6. PERFORM AS-BUILT SURVEYS OF ALL DETENTION STRUCTURES AND SUBMIT TO DHEC OR MS4 FOR ACCEPTANCE.
7. SUBMIT NOTICE OF TERMINATION (NOT) TO DHEC.

STABILIZATION PHASE NOTES (PHASE III):

- 1. SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED FROM SEDIMENT BASINS AND PLACED ON-SITE AND STABILIZED OR HAULED OFF-SITE SO THAT IT DOES NOT ENTER INLETS AGAIN.
2. TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE CEASING.
3. THE CONTRACTOR SHALL MAINTAIN ALL SEDIMENT PONDS AND EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE CLEANED OUT OF THE POND WHEN IT REACHES THE HALFWAY POINT ON THE RISER.
4. AFTER CURBING, AGGREGATE BASE AND PAVING HAS BEEN INSTALLED ALL INLET SEDIMENT TRAPS INSTALLED ON CURB INLETS SHALL BE REMOVED AND REPLACED WITH CURB INLET FILTER PROTECTION.
5. ALL ROADWAY AND PARKING SHOULDERS SHOULD BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED BEHIND CURBS.
6. SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT AND AT THE END OF EACH WORKING DAY. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF THE SEDIMENT ACCUMULATION HAS REACHED THE CAPACITY OF THE DEVICE.
7. THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLE ONTO PUBLIC RIGHTS-OF-WAY OR INTO STORM DRAINAGE SHALL BE IMMEDIATELY REMOVED.
8. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF EROSION CONTROL MEASURES SHOWN ON THE PLANS DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS DIRECTED BY THE ON-SITE INSPECTOR OR ENGINEER.
9. UPON COMPLETION OF THE PROJECT AND AUTHORIZATION FROM THE AUTHORITY HAVING JURISDICTION, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND DISPOSE OF THEM UNLESS NOTED ON PLANS.

CLOSEOUT NOTES (PHASE III):

PERMANENT MAINTENANCE COVENANTS AND AS-BUILT DRAWINGS FOR STORMWATER FACILITIES IN ACCORDANCE WITH BERKELEY COUNTY SPECIFICATIONS NEED TO BE RECEIVED AND ACCEPTED BEFORE THE NOT OF THE GC.

BERKELEY COUNTY SWPPP NOTES

EROSION CONTROL NOTES:

- 1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
• WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
• WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK, IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION, FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCRI00000.
8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
11. A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).
16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
• WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
• WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS; FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
17. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
18. IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE BEGINNING OF CONSTRUCTION. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE, THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

SUMMERVILLE UTILITY NOTES

GENERAL UTILITY NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING ALL UNDERGROUND UTILITIES WITHIN THE PROJECTED AREA OF WORK ON SITE AND OFF. WHERE SUCH UTILITIES ARE FOUND, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF FOUND UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
1. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON A COMBINATION OF THE SURVEYOR'S FIELD LOCATION AND RESEARCH OF RECORDS FROM VARIOUS UTILITY COMPANIES. THESE LOCATIONS ARE BY NO MEANS EXACT OR COMPLETE.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES THAT MAY EXIST.
3. THE CONTRACTOR IS TO NOTIFY THE OWNER/UTILITY COMPANY BEFORE ANY UTILITIES ARE CONNECTED OR DISCONNECTED.
4. REFER TO THE PLUMBING/MECHANICAL PLANS FOR LOCATION AND SIZE OF SANITARY SEWER SERVICE AND WATER SERVICES.

SUMMERVILLE SEWER NOTES

- 1. ALL MATERIALS AND INSTALLATION PROCEDURES MUST MEET THE REQUIREMENTS OF THE SUMMERVILLE CPW, SCDHEC AND THE MANUFACTURER.
2. THE DEVELOPER SHALL BE AWARE THAT ANY WASTEWATER SYSTEM RELOCATIONS NECESSITATED TO ACCOMMODATE THE DEVELOPMENT WILL BE PERFORMED AT THE DEVELOPER'S EXPENSE (I.E. SERVICE RELOCATIONS TO ACCOMMODATE DRIVEWAYS).
3. SIX INCH WIDE, GREEN METALLIC WARNING TAPE SHALL BE PLACED 18 INCHES ABOVE ALL GRAVITY AND FORCE MAIN WASTEWATER SYSTEMS, NUMBER TWELVE (#12) SINGLE STRAND, COPPER OR EXTRA HIGH STRENGTH COPPER CLAD CARBON STEEL WIRE, WITH GREEN POLYETHYLENE INSULATION SHALL BE TAPED (EVERY 5 FEET MAX.) TO THE TOP OF ALL FORCE MAINS AND SERVICES. EACH WIRE SHALL TERMINATE AT A VALVE.
4. IN LOCATIONS WHERE THE WASTEWATER MAIN IS DESIGNED TO HAVE LESS THE 5.5 FEET OF COVER, THE WATER MAIN AND WASTEWATER SERVICE PIPES SHALL BE INSTALLED WITH FULL JOINTS OF DUCTILE IRON PIPE CENTERED AT THE PIPE INTERSECTION.
5. ALL WASTEWATER SYSTEM AND WATER OR STORM DRAIN PIPE CROSSINGS SHALL HAVE 18 INCHES MINIMUM VERTICAL SEPARATION. OTHERWISE, A JOINT OF DUCTILE IRON PIPE WILL BE REQUIRED ON THE WASTEWATER AND WATER PIPES, CENTERED AT THE CROSSING.
6. THE CONTRACTOR SHALL PROVIDE SCWP WRITTEN NOTICE 48 HOURS PRIOR TO INITIATING CONSTRUCTION AND/OR MAKING CONNECTIONS TO THE EXISTING SYSTEM. THIS INCLUDES RETURN TRIPS AFTER LAYOFFS EXCEEDING 5 WORKING DAYS.
7. ALL WATER LINES SHALL HAVE 3 FEET MINIMUM COVER AND 5 FEET MAXIMUM COVER, EXCEPT WHERE BENDS ARE USED TO DEFLECT THE LINES ABOVE OR BELOW CONFLICTS. GRAVITY WASTEWATER SERVICES SHALL HAVE 6 FEET MAXIMUM COVER AT THE PROPERTY OR EASEMENT LINE.
8. SCWP MUST BE PROVIDED WITH A COMPLETE WASTEWATER SYSTEM AS-BUILT PRIOR TO THE FINAL INSPECTION BEING SCHEDULED.
9. IN AREAS WHERE THE EXISTING GRADE REQUIRES FILL TO OBTAIN 3 FEET MINIMUM COVER OVER THE PROPOSED WASTEWATER SYSTEM, THE FILL MUST BE PLACED PRIOR TO CONSTRUCTION OF THE WASTEWATER SYSTEM BEING INITIATED.
10. CONSTRUCTION OF THE WASTEWATER SERVICES AND FORCE MAIN PIPING SHALL NOT BE INITIATED UNTIL THE FINAL SITE GRADES HAVE BEEN ESTABLISHED (+/- 0.5 FOOT).

SUMMERVILLE WATER NOTES

- 1. THE FOLLOWING ARE THE MINIMAL CONSTRUCTION NOTES REQUIRED TO BE ADDED TO EACH SET OF DESIGN DRAWINGS.
2. ALL MATERIALS AND INSTALLATION PROCEDURES MUST MEET THE REQUIREMENTS OF SUMMERVILLE CPW, SCDHEC AND THE MANUFACTURER.
3. CONSTRUCTION OF THE WATER SYSTEM SHALL NOT BE INITIATED UNTIL THE FINAL SITE GRADES HAVE BEEN ESTABLISHED (+/- 0.5 FOOT).
4. THE DEVELOPER SHALL BE AWARE THAT ANY WATER SYSTEM RELOCATIONS NECESSITATED TO ACCOMMODATE THE DEVELOPMENT WILL BE PERFORMED AT THE DEVELOPER'S EXPENSE (I.E. SERVICE RELOCATIONS TO ACCOMMODATE DRIVEWAYS).
5. SIX INCH WIDE, BLUE METALLIC WARNING TAPE SHALL BE PLACED 18 INCHES ABOVE ALL WATER MAINS AND SERVICES. NUMBER TWELVE (#12) SINGLE STRAND, COPPER WIRE WITH BLUE INSULATION SHALL BE TAPED (EVERY 5 FEET MAX.) TO THE TOP OF ALL WATER MAINS AND SERVICES. EACH WIRE SHALL TERMINATE AT A VALVE, HYDRANT OR CURB STOP.
6. IN LOCATIONS WHERE THE WASTEWATER SYSTEM IS DESIGNED TO HAVE LESS THE 5.5 FEET OF COVER, THE WATER MAIN AND WASTEWATER PIPE SHALL BE INSTALLED WITH FULL JOINTS OF DUCTILE IRON PIPE CENTERED AT THE PIPE INTERSECTIONS.
7. THE CONTRACTOR SHALL PROVIDE SCWP WRITTEN NOTICE 48 HOURS PRIOR TO INITIATING CONSTRUCTION AND/OR MAKING CONNECTIONS TO THE EXISTING SYSTEM. THIS INCLUDES RETURN TRIPS AFTER LAYOFFS EXCEEDING 5 WORKING DAYS.
8. ALL WATER LINES SHALL HAVE 3 FEET MINIMUM COVER AND 5 FEET MAXIMUM COVER, EXCEPT WHERE BENDS ARE USED TO DEFLECT THE LINES ABOVE OR BELOW CONFLICTS.
9. SCWP MUST BE PROVIDED WITH A COMPLETE WATER SYSTEM ASBUILT PRIOR TO THE FINAL INSPECTION BEING SCHEDULED.
10. WATER SYSTEM RELOCATIONS ARE DRAWN OUT OF SCALE FOR CLARITY. WHEREVER POSSIBLE, VALVES AND FITTINGS SHOULD BE INSTALLED AS CLOSE TOGETHER AS PRACTICAL.
11. ALL WATER MAIN AND WASTEWATER OR STORM DRAIN PIPE CROSSINGS SHALL HAVE 18 INCHES MINIMUM VERTICAL SEPARATION. OTHERWISE, A JOINT OF DUCTILE IRON PIPE WILL BE REQUIRED ON THE WATER AND WASTEWATER PIPES CENTERED AT THE CROSSING.

EARTHSOURCE ENGINEERING logo and contact information: 888 Johnnie Dodds Boulevard, Suite 200, Mount Pleasant, SC 29568. Email: info@earthsourceeng.com

Professional Engineer Seal for Michael Berry, No. 010715, State of South Carolina.

Professional Engineer Seal for Michael Berry, No. 21253, State of South Carolina.

STAYBRIDGE SUITES SUMMERVILLE logo and address: 225 HOLIDAY DRIVE, SUMMERVILLE, SC 29483.

REVISIONS table with columns for NO., DATE, and DESCRIPTION.

Drawings and revision control table with columns for NO., DATE, and DESCRIPTION.

PERMIT REVIEW SET SHEET NUMBER C-001

- LEGEND:**
- PROPERTY LINE
 - ADJACENT PROPERTY
 - EX SM— EXISTING 8" SEWER MAIN
 - EX SFM— EXISTING SEWER FORCE MAIN
 - EX WM— EXISTING WATER MAIN
 - X-X-X- SILT FENCE
 - EDGE OF PAVEMENT
 - 70- EXISTING CONTOURS
 - EX UP- EXISTING UNDERGROUND POWER
 - - - EXISTING INGRESS/EGRESS EASEMENT
 - - - EXISTING UTILITY EASEMENT
 - - - LIMITS OF DISTURBANCE
 - - - EXISTING 24" HDPE STORM DRAIN
 - - - EXISTING 18" CMP STORM DRAIN
 - ← EXISTING DRAINAGE FLOW
 - x72.30 EXISTING SPOT ELEVATION
 - EX-ELECTRICAL BOX
 - EX-SEWER MANHOLE
 - EX-AIR RELEASE VALVE
 - EX-ASPHALT
 - EX-ASPHALT TO BE REMOVED
 - TREE REMOVE
 - TREE PROTECTION

LIMITS OF DISTURBANCE = TBD ACRES



EARTHSOURCE ENGINEERING
 CIVIL ENGINEERING, SITE PLANNING
 LANDSCAPE ARCHITECTURE, LEED DESIGN
 186 Jemma Doods Boulevard, Suite 200
 Summerville, SC 29586
 www.earthsourceeng.com
 earthsourceeng@gmail.com



STAYBRIDGE SUITES SUMMERVILLE
 225 HOLIDAY DRIVE
 SUMMERVILLE, SC 29483
EXISTING CONDITIONS & PROTECTION PLAN

| CURVE | RADIUS | LENGTH | CH BEARING | CH LENGTH | DELTA |
|-------|---------|---------|---------------|-----------|-----------|
| C1 | 444.48' | 331.73' | S 19°52'58" E | 324.06' | 42°45'49" |

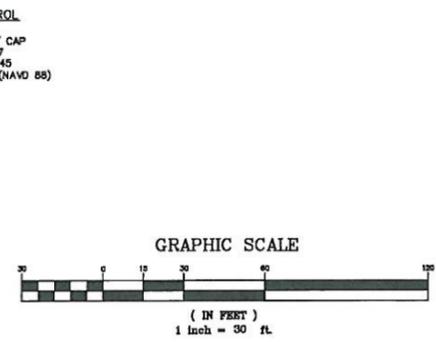
SPEED LIMIT 35



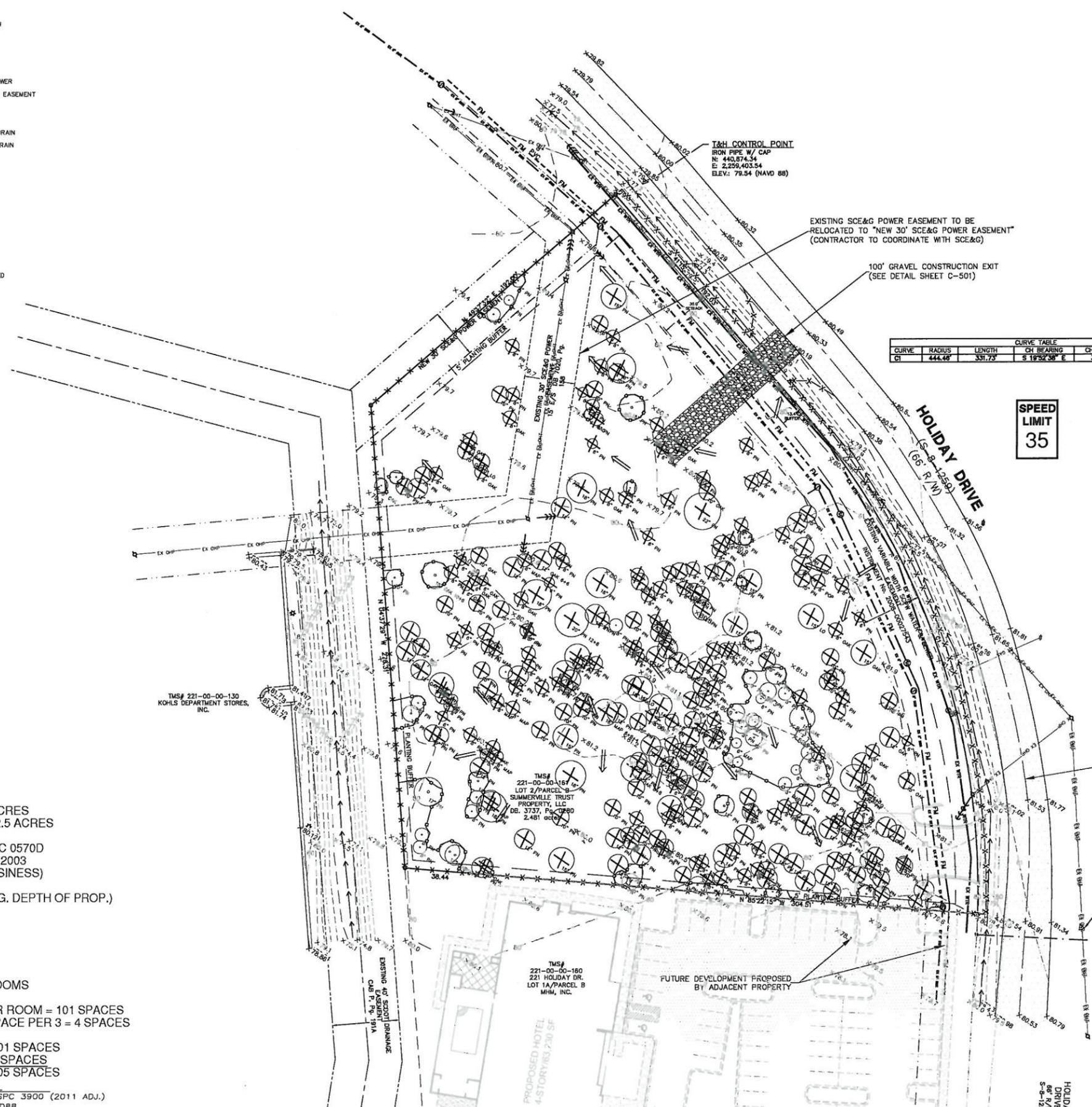
HOLIDAY DRIVE VIEW NORTH



HOLIDAY DRIVE VIEW SOUTH



SITE DATA:
 TMS#: 221-00-00-161
 LOT SIZE (TOTAL): ±2.48 ACRES
 AREA OF DISTURBANCE: 2.5 ACRES
 FLOOD ZONE: X
 FIRM PANEL#: 45015C 0570D
 DATE: OCTOBER 16, 2003
 ZONED: B-3 (GENERAL BUSINESS)
BUFFERS:
 FRONT: 13.4' (5% AVG. DEPTH OF PROP.)
 SIDES: 5'
 REAR: 5'
SETBACKS:
 FRONT: 30'
 SIDE: NONE
 REAR: NONE
 PROPOSED HOTEL: 101 ROOMS
 PARKING REQUIRED:
 HOTEL: 1 SPACE PER ROOM = 101 SPACES
 10 EMPLOYEES: 1 SPACE PER 3 = 4 SPACES
 PARKING PROVIDED:
 REGULAR = 101 SPACES
 HANDICAP = 4 SPACES
 TOTAL = 105 SPACES
BENCH MARK DATA:
 TBM#: NGS DISK DOTY SCSPC 3900 (2011 ADJ.)
 ELEV.= 72.4' DATUM: NAVD88



TMS# 221-00-00-130
 KOHL'S DEPARTMENT STORES, INC.

TMS# 221-00-00-167
 LOT 2/PARCEL B
 SUMMERVILLE TRUST
 PROPERTY, LLC
 DB: 3737, PO: 0260
 2.481 acres

TMS# 221-00-00-160
 221 HOLIDAY DR.
 LOT 1A/PARCEL B
 MHM, INC.

FUTURE DEVELOPMENT PROPOSED BY ADJACENT PROPERTY

HOLIDAY DRIVE
 66' W/A
 5'-8'-1258



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brandgr@earthsourceeng.com



STAYBRIDGE SUITES
SUMMERVILLE
225 HOLIDAY DRIVE
SUMMERVILLE, SC 29483

SITE LAYOUT PLAN

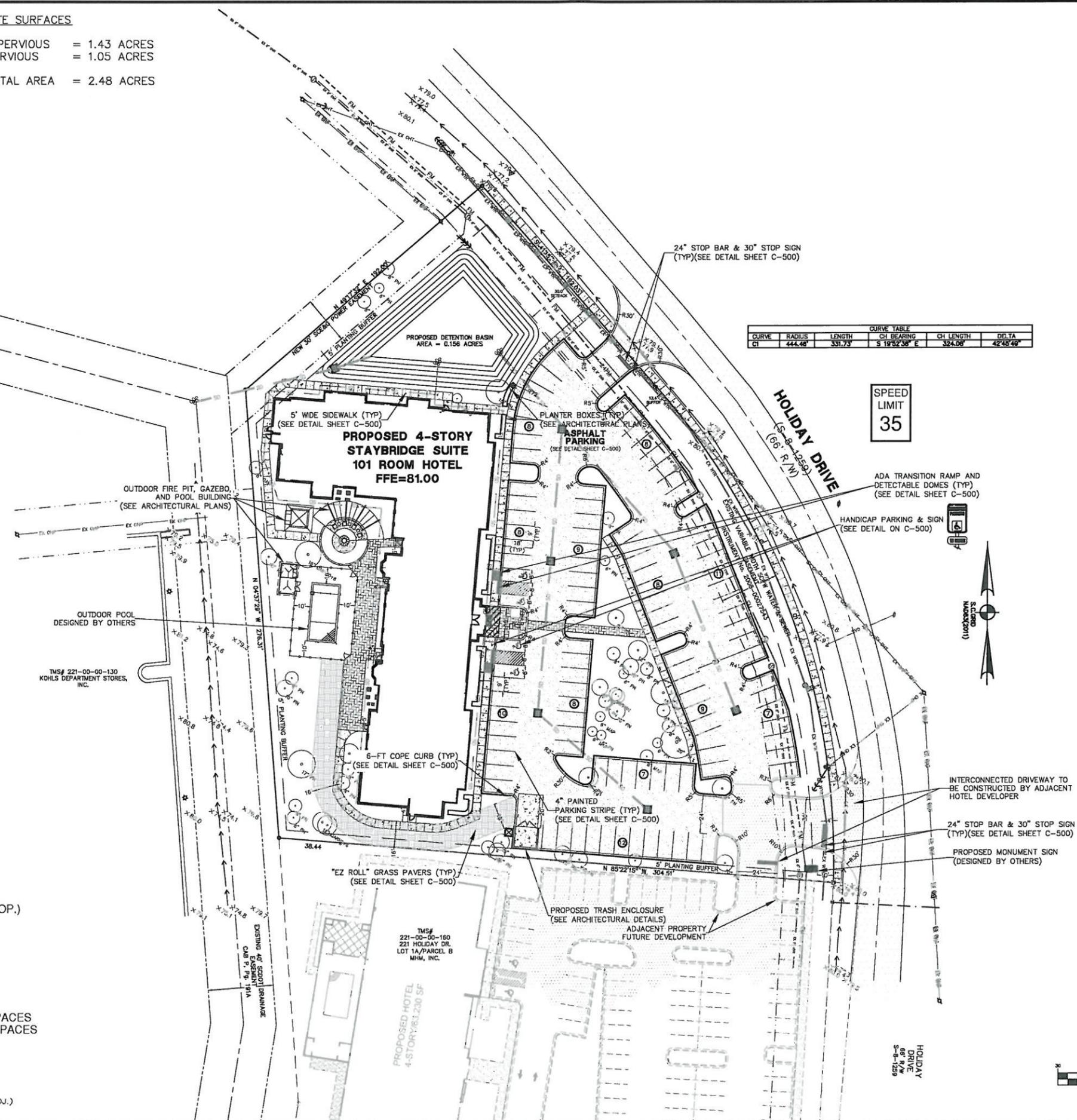
- LEGEND:**
- PROPERTY LINE
 - ADJACENT PROPERTY
 - EX 8" EXISTING 8" SEWER MAIN
 - EX 18" EXISTING 18" SEWER FORCE MAIN
 - EX 18" EXISTING 18" WATER MAIN
 - EDGE OF PAVEMENT
 - EX 10KV EXISTING UNDERGROUND POWER
 - EXISTING INGRESS/EGRESS EASEMENT
 - EXISTING UTILITY EASEMENT
 - LIMITS OF DISTURBANCE
 - EXISTING 24" HDPE STORM DRAIN
 - EXISTING 18" CMP STORM DRAIN
 - EX-ELECTRICAL BOX
 - EX-SEWER MANHOLE
 - EX-AIR RELEASE VALVE
 - EX-ASPHALT
 - PROPOSED 8" WOOD STOCKADE FENCE
 - PROPOSED 15" RCP
 - PROPOSED 18" RCP
 - PROPOSED 24" RCP
 - PROPOSED GRATE INLET
 - PROPOSED CURB INLET
 - PROPOSED CONCRETE
 - PROPOSED LIGHT-DUTY ASPHALT
 - PROPOSED STRUCTURAL TURF MATERIAL
 - PROPOSED PAVERS
 - TREE REMOVE

SITE SURFACES

IMPERVIOUS = 1.43 ACRES
PERVIOUS = 1.05 ACRES
TOTAL AREA = 2.48 ACRES

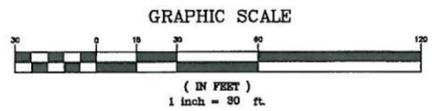
SITE DATA:
TMS#: 221-00-00-161
LOT SIZE (TOTAL): ±2.48 ACRES
AREA OF DISTURBANCE: 2.5 ACRES
FLOOD ZONE: X
FIRM PANEL#: 45015C 0570D
DATE: OCTOBER 16, 2003
ZONED: B-3 (GENERAL BUSINESS)
BUFFERS:
FRONT: 13.4' (5% AVG. DEPTH OF PROP.)
SIDES: 5'
REAR: 5'
SETBACKS:
FRONT: 30'
SIDE: NONE
REAR: NONE
PROPOSED HOTEL: 101 ROOMS
PARKING REQUIRED:
HOTEL: 1 SPACE PER ROOM = 101 SPACES
10 EMPLOYEES: 1 SPACE PER 3 = 4 SPACES
PARKING PROVIDED:
REGULAR = 101 SPACES
HANDICAP = 4 SPACES
TOTAL = 105 SPACES

BENCH MARK DATA:
TBM#: NGS DISK DOTY SCSPC 3900 (2011 ADJ.)
ELEV.=72.4' DATUM: NAVD88



| CURVE | RADIUS | LENGTH | CH BEARING | CH LENGTH | DELTA |
|-------|---------|---------|---------------|-----------|-----------|
| C1 | 444.46' | 331.73' | S 19°32'36" E | 324.08' | 42°48'40" |

SPEED LIMIT
35



| NO. | DATE | REVISIONS |
|-----|----------|-------------------------------------|
| 1. | 11.01.16 | SCDDOT & PRELIMINARY CURB REVISIONS |

DRAWN: BDS
CHECKED: KMB
DATE: 11.01.2016
JOB NO.
16-131
PERMIT REVIEW SET
SHEET NUMBER
C-200

- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT PROPERTY
 - EX 30" EXISTING 8" SEWER MAIN
 - EX 36" EXISTING SEWER FORCE MAIN
 - EX 18" EXISTING WATER MAIN
 - EDGE OF PAVEMENT
 - EX 10" EXISTING UNDERGROUND POWER
 - - - EXISTING INGRESS/EGRESS EASEMENT
 - - - EXISTING UTILITY EASEMENT
 - - - LIMITS OF DISTURBANCE
 - EX 24" EXISTING 24" HDPE STORM DRAIN
 - EX 18" EXISTING 18" CMP STORM DRAIN
 - EX-ELECTRICAL BOX
 - EX-SEWER MANHOLE
 - EX-AIR RELEASE VALVE
 - EX-ASPHALT
 - PROPOSED 8' WOOD STOCKADE FENCE
 - PROPOSED 15" RCP
 - PROPOSED 18" RCP
 - PROPOSED 24" RCP
 - PROPOSED GRATE INLET
 - PROPOSED CURB INLET
 - PROPOSED CONCRETE
 - PROPOSED LIGHT-DUTY ASPHALT
 - PROPOSED STRUCTURAL TURF MATERIAL
 - PROPOSED PAVERS
 - TREE REMOVE

SITE SURFACES

IMPERVIOUS = 1.43 ACRES
 PERVIOUS = 1.05 ACRES
 TOTAL AREA = 2.48 ACRES



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STAYBRIDGE SUITES SUMMERVILLE
 225 HOLIDAY DRIVE
 SUMMERVILLE, SC 29483

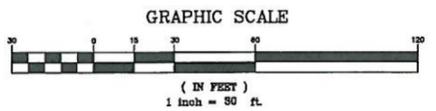
SITE W/TREE OVERLAY

| CURVE TABLE | | | | | |
|-------------|--------|--------|---------------|-----------|-----------|
| CURVE | RADIUS | LENGTH | CH BEARING | CH LENGTH | DELTA |
| C1 | 444.48 | 331.73 | S 19°52'38" E | 324.08 | 42°48'48" |

SPEED LIMIT 35



SITE DATA:
 TMS#: 221-00-00-161
 LOT SIZE (TOTAL): ±2.48 ACRES
 AREA OF DISTURBANCE: 2.5 ACRES
 FLOOD ZONE: X
 FIRM PANEL#: 45015C 0570D
 DATE: OCTOBER 16, 2003
 ZONED: B-3 (GENERAL BUSINESS)
 BUFFERS:
 FRONT: 13.4' (5% AVG. DEPTH OF PROP.)
 SIDES: 5'
 REAR: 5'
 SETBACKS:
 FRONT: 30'
 SIDE: NONE
 REAR: NONE
 PROPOSED HOTEL: 101 ROOMS
 PARKING REQUIRED:
 HOTEL: 1 SPACE PER ROOM = 101 SPACES
 10 EMPLOYEES: 1 SPACE PER 3 = 4 SPACES
 PARKING PROVIDED:
 REGULAR = 101 SPACES
 HANDICAP = 4 SPACES
 TOTAL = 105 SPACES
 BENCH MARK DATA:
 TBM#: NGS DISK DOTY SCSPC 3900 (2011 ADJ.)
 ELEV.=72.4' DATUM: NAVD88



| REVISIONS | |
|-----------|----------|
| NO. | DATE |
| 1. | 11.01.16 |

DRAWN: BDS
 CHECKED: KMB
 DATE: 11.01.2016
 JOB NO. 16-131
PERMIT REVIEW SET
 SHEET NUMBER C-201

- LEGEND:**
- PROPERTY LINE
 - ADJACENT PROPERTY
 - EXISTING 8" SEWER MAIN
 - EXISTING SEWER FORCE MAIN
 - EXISTING WATER MAIN
 - EDGE OF PAVEMENT
 - EXISTING UNDERGROUND POWER
 - EXISTING UNDERGROUND EASEMENT
 - EXISTING UTILITY EASEMENT
 - LIMITS OF DISTURBANCE
 - EXISTING 24" DWP STORM DRAIN
 - EXISTING 18" DWP STORM DRAIN
 - EX-ELECTRICAL BOX
 - EX-SEWER MANHOLE
 - EX-HP RELEASE VALVE
 - EX-ASPHALT
 - PROPOSED 2" WOOD STOCKADE FENCE
 - PROPOSED 12" ROP
 - PROPOSED 18" ROP
 - PROPOSED 24" ROP
 - PROPOSED GRATE ALLEYS
 - PROPOSED CURB ALLEYS
 - PROPOSED CONCRETE
 - PROPOSED LIGHT-DUTY ASPHALT
 - PROPOSED TRAFFIC PAVED TURF MATERIAL

SITE SURFACES

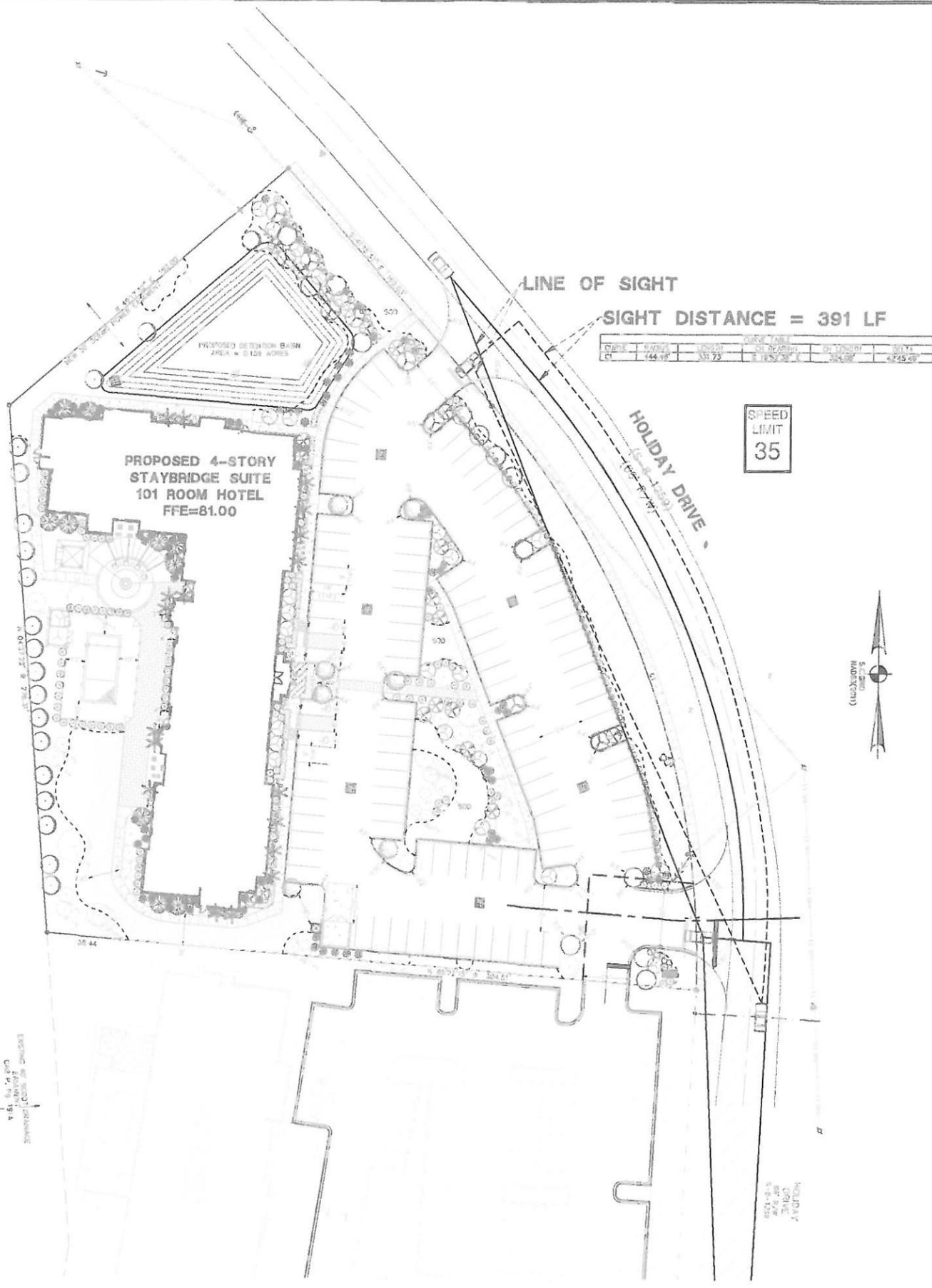
IMPERVIOUS = 1.43 ACRES
 PERVIOUS = 1.05 ACRES
 TOTAL AREA = 2.48 ACRES

LANDSCAPING BUFFER NOTES:

- ALL CANOPY TREES WITHIN THE BUFFER BETWEEN THE TWO DRIVEWAY ENTRIES SHALL BE 26'-LIMBED AND 40FT LIMBLESS FOR THE FIRST 6'-FT IN HEIGHT AND UP TO 7'-FT IN HEIGHT WHERE TREES ARE NEAR PEDESTRIAN WALKWAYS.
- 4'-FT TALL SHRUBS SHALL NOT BE PLANTED IN THE BUFFER BETWEEN THE TWO DRIVEWAY ENTRIES.
- THE HEIGHT OF THE SHRUBS WITHIN THE BUFFER BETWEEN THE TWO DRIVEWAY ENTRIES SHALL BE MAINTAINED, TRIMMED AND NOT EXCEED THIRTY (30) INCHES IN HEIGHT.

SITE DATA:
 TMS#: 221-00-00-151
 LOT SIZE (TOTAL): 12.48 ACRES
 AREA OF DISTURBANCE: 2.5 ACRES
 FLOOD ZONE: X
 FIRM PANEL#: 45015C 0570D
 DATE: OCTOBER 16, 2003
 ZONED: B-3 (GENERAL BUSINESS)
 BUFFERS:
 FRONT: 13.4' (5% AVG. DEPTH OF PROP.)
 SIDES: 5'
 REAR: 5'
 SETBACKS:
 FRONT: 30'
 SIDE: NONE
 REAR: NONE
 PROPOSED HOTEL: 101 ROOMS
 PARKING REQUIRED:
 HOTEL: 1 SPACE PER ROOM = 101 SPACES
 10 EMPLOYEES: 1 SPACE PER 3 = 4 SPACES
 PARKING PROVIDED:
 REGULAR = 101 SPACES
 HANDICAP = 4 SPACES
 TOTAL = 105 SPACES

BENCH MARK DATA:
 TBM#: NGS DISK DOTY SCSPC 3900 (2011 ADL)
 ELEV. = 72.4' DATUM: NAVD83



| DATE | BY | REVISIONS |
|----------|-------------------------------------|-----------|
| 11/01/16 | SCDOT & PRELIMINARY CORP. REVIEWING | 16-131 |



EARTHSOURCE
 1000 W. BROADWAY
 SUITE 100
 CHARLOTTE, NC 28202
 (704) 375-1000
 www.earthsource.com



[Signature]
 MICHAEL
 PROJECT MANAGER

**STAYBRIDGE SUITES
 SUMMERVILLE**
 225 HOLIDAY DRIVE
 SUMMERVILLE, SC 29413

SCDOT SITE EXHIBIT

| DATE | BY | REVISIONS |
|----------|-------------------------------------|-----------|
| 11/01/16 | SCDOT & PRELIMINARY CORP. REVIEWING | 16-131 |

GRAPHIC SCALE
 (IN FEET)
 1 inch = 40 ft

**PERMIT
 REVIEW SET**

SHEET NUMBER
C-202

| HYDRAULIC CONDITIONS & POND WSE | | | |
|---------------------------------|-----------|------------|-------|
| STORM (YR) | Q-IN(CFS) | Q-OUT(CFS) | WSE |
| 2-YEAR | 5.95 | 1.43 | 77.38 |
| 10-YEAR | 9.62 | 3.17 | 78.31 |
| 25-YEAR | 11.76 | 4.22 | 78.78 |
| 50-YEAR | 13.57 | 5.09 | 79.13 |
| 100-YEAR | 15.53 | 6.01 | 79.49 |

| POND CONDITIONS | |
|-----------------|-------------|
| ELEVATION | AREA (ACRE) |
| 75 | 0.058 |
| 76 | 0.074 |
| 77 | 0.092 |
| 78 | 0.112 |
| 79 | 0.133 |
| 80 | 0.156 |

LIMITS OF DISTURBANCE = TBD ACRES



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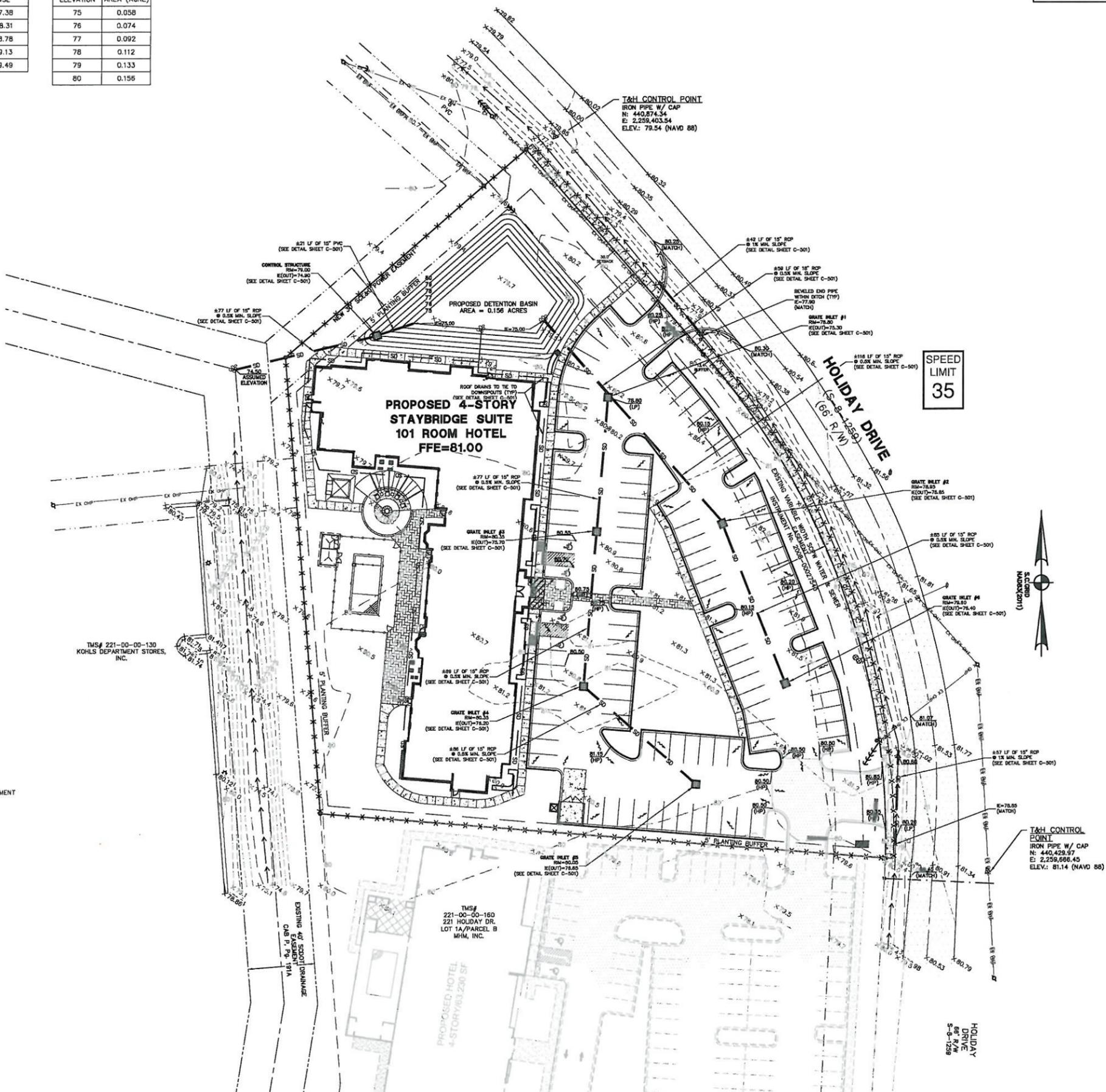


STAYBRIDGE SUITES
SUMMERVILLE
225 HOLIDAY DRIVE
SUMMERVILLE, SC 29483
GRADING, DRAINAGE, & EROSION CONTROL

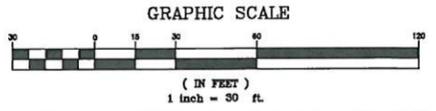
| NO. | DATE | BY | REVISIONS | |
|-----|----------|-----|------------------------------------|------|
| | | | DESCRIPTION | DATE |
| 1. | 11-01-16 | BDS | SCDOT & PRELIMINARY CDRE REVISIONS | |

DRAWN: BDS
CHECKED: KMB
DATE: 11.01.2016
JOB NO. 16-131

PERMIT REVIEW SET
SHEET NUMBER
C-300

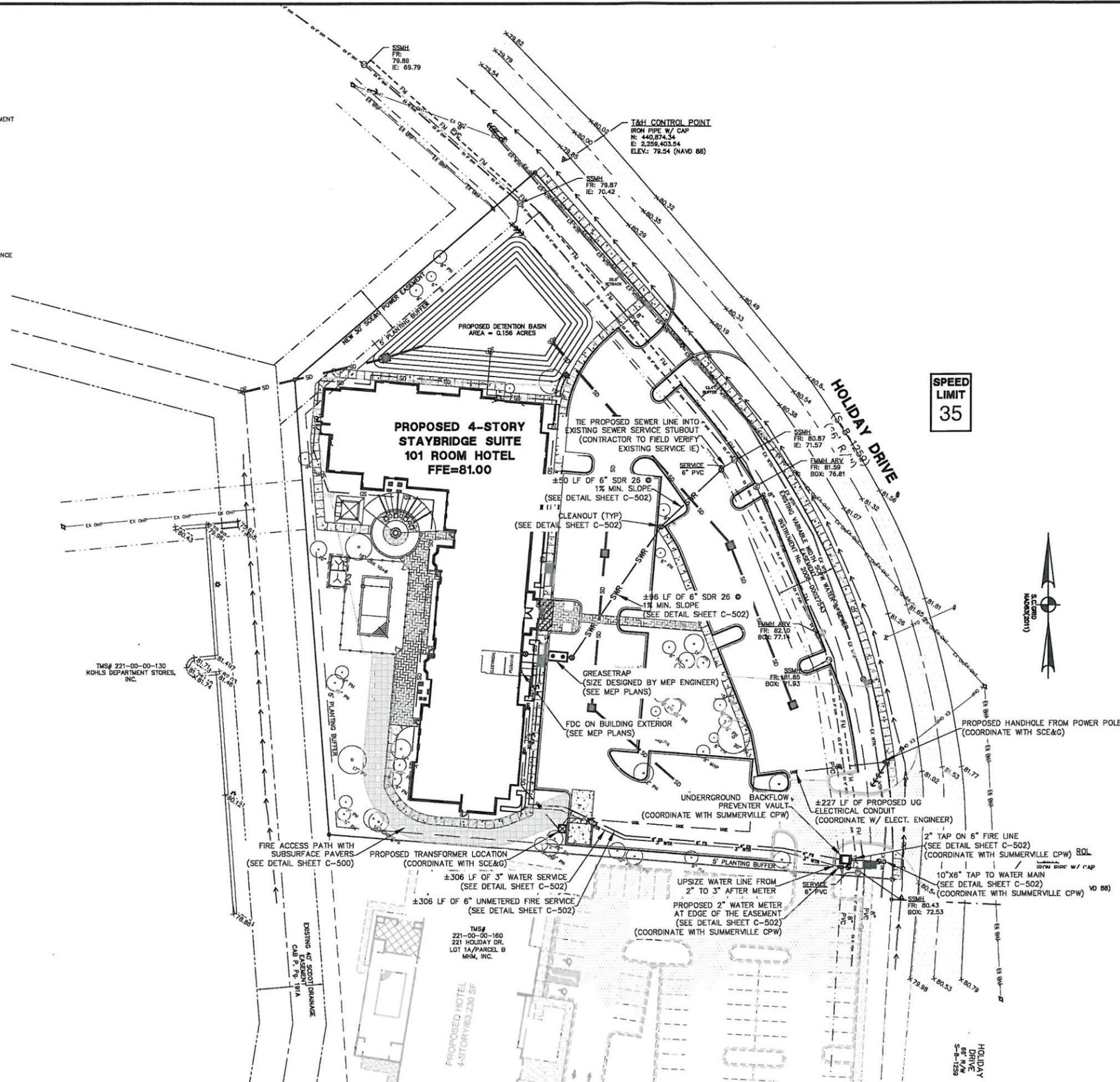


SPEED LIMIT 35

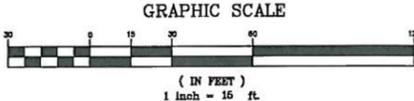


- LEGEND:**
- PROPERTY LINE
 - ADJACENT PROPERTY
 - EX SMM — EXISTING 8" SEWER MAIN
 - EX SFW — EXISTING SEWER FORCE MAIN
 - EX WTR — EXISTING WATER MAIN
 - X-X-X- SILT FENCE
 - EDGE OF PAVEMENT
 - 80 — EXISTING CONTOURS
 - EX UGP — EXISTING UNDERGROUND POWER
 - EX IGP — EXISTING INGRESS/EGRESS EASEMENT
 - EX UTY — EXISTING UTILITY EASEMENT
 - LIMITS OF DISTURBANCE
 - EX 24" HDPE STORM DRAIN
 - EX 18" CMP STORM DRAIN
 - ← EXISTING DRAINAGE FLOW
 - x72.30 EXISTING SPOT ELEVATION
 - EX-ELECTRICAL BOX
 - EX--SEWER MANHOLE
 - EX--AIR RELEASE VALVE
 - EX--ASPHALT
 - 71.80 PROPOSED SPOT ELEVATION TOP OF PAVEMENT (TYP.)
 - 71.80 PROPOSED SPOT ELEVATION TO MATCH EXISTING PAVEMENT
 - x70.00(TS) PROPOSED SPOT ELEVATION TOP OF SIDEWALK (TYP.)
 - (LP)/(HP) LOW POINT/HIGH POINT IN PAVEMENT SECTN. (TYP.)
 - PROPOSED DRAINAGE FLOW
 - PROPOSED GRATE INLET
 - PROPOSED CURB INLET
 - RIP RAP

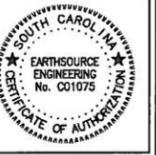
- LEGEND:**
- PROPERTY LINE
 - ADJACENT PROPERTY
 - EX SMM EXISTING 8" SEWER MAIN
 - EX SMM EXISTING SEWER FORCE MAIN
 - EX WM EXISTING WATER MAIN
 - EX WP EXISTING UNDERGROUND POWER
 - EX IE EXISTING INGRESS/EGRESS EASEMENT
 - EX UE EXISTING UTILITY EASEMENT
 - L.D. LIMITS OF DISTURBANCE
 - EX 24 HDPE EXISTING 24" HDPE STORM DRAIN
 - EX 18" CMP EXISTING 18" CMP STORM DRAIN
 - EX-ELECTRICAL BOX
 - EX-SEWER MANHOLE
 - EX-AIR RELEASE VALVE
 - ▨ EX-ASPHALT
 - PROPOSED 8" WOOD STOCKADE FENCE
 - 15" RCP PROPOSED 15" RCP
 - 18" RCP PROPOSED 18" RCP
 - 24" RCP PROPOSED 24" RCP
 - 2" WL PROPOSED 2" WATER LINE
 - 4" DP PROPOSED 4" DIP FIRE LINE
 - 6" DP PROPOSED 6" DIP FIRE LINE
 - 6" SS PROPOSED 6" SEWER SERVICE
 - PROPOSED GUTFALL BOX
 - PROPOSED CURB INLET
 - ⊕ PROPOSED FIRE HYDRANT
 - ⊕ PROPOSED TEE
 - U PROPOSED WATER TAP
 - U PROPOSED WATER METER
 - ⊕ PROPOSED BACKFLOW PREVENTER
 - ⊕ PROPOSED GREASE TRAP
 - PROPOSED SEWER CLEANOUT



SPEED LIMIT 35



EARTHSOURCE ENGINEERING
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 CELL: 843.681.0225
 FAX: 843.681.0225



STAYBRIDGE SUITES SUMMERVILLE
 225 HOLIDAY DRIVE
 SUMMERVILLE, SC 29483

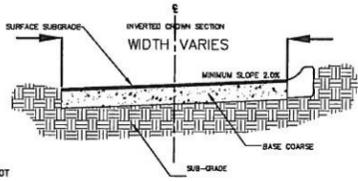
UTILITY LAYOUT & FIRE ACCESS PLAN

| NO. | DATE | BY | REVISIONS |
|-----|----------|-----|------------------------------------|
| 1. | 11-01-16 | BDS | SCDDT & PRELIMINARY CDRB REVISIONS |

DRAWN: BDS
 CHECKED: KMB
 DATE: 11.01.2016
 JOB NO. 16-131

PERMIT REVIEW SET
 SHEET NUMBER C-400

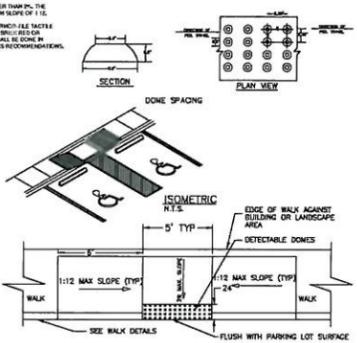
ASPHALT PAVEMENT LAYER THICKNESS DESIGN:
CAR PARKING STALLS (LIGHT DUTY & LIGHT DUTY DRIVE AISLE):
 • 1.5" TYPE I ASPHALT SURFACE COURSE
 • 6" GRADED AGGREGATE BASE COURSE
 • 4" EARTH-TYPE SUBBASE AT A MINIMUM 95% COMPACTION
DRIVE AISLES (HEAVY DUTY):
 • 2" ASPHALTIC CONCRETE SURFACE COURSE
 • 8" GRADED AGGREGATE BASE COURSE
 • 12" EARTH-TYPE SUBBASE AT A MINIMUM 95% COMPACTION



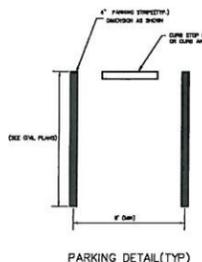
TYPICAL SHEET FLOW PARKING LOT SECTION
NTS

BASE MATERIAL SECTION:
 • THE BASE COURSE MATERIAL SHOULD BE A GRADED AGGREGATE BASE COURSE (GABC) CONFORMING TO SCDOT STANDARD SPECIFICATION, SECTION 303 AND SHALL BE COMPACTED TO 100% OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY.
GENERAL PAVEMENT RECOMMENDATIONS:
 • NORMAL PERIODIC MAINTENANCE WILL BE REQUIRED.
 • IT IS RECOMMENDED THAT THE PLACEMENT OF THE ASPHALT AND THE GABC BE OBSERVED AND TESTED BY A GEOTECHNICAL ENGINEER OR QUALIFIED ENGINEERING TECHNICIAN AS PLACEMENT OF THE FILL PROGRESSES.
 • COMPACTION TESTING SHOULD BE PERFORMED AT A MINIMUM FREQUENCY OF 1 TEST PER LIFT PER 200 FEET OF LANE.
 • CONSTRUCTION ACTIVITIES AND EXPOSURE TO THE ENVIRONMENT CAN CAUSE DEGRADATION OF THE PREPARED SUBGRADES. FOR THIS REASON, IT IS RECOMMENDED THAT THE SUBGRADES BE INSPECTED PRIOR TO THE PLACEMENT OF ASPHALT.

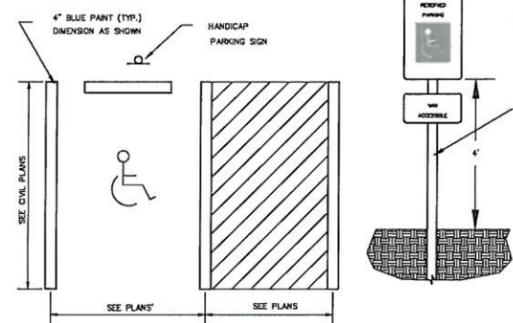
NOTES:
 1. WALK PLACING GRADINGS STRUCTURES, TRAFFIC SIGNAL EQUIPMENT, AND OTHER UTILITIES OR OBSTRUCTIONS IN FRONT OF RAMP OR CURB SHALL BE:
 2. RAMP SLOPES SHALL NOT BE STEEPER THAN 1%. THE TRANSITION SHALL HAVE A MINIMUM RADIUS OF 15'.
 3. DETECTABLE WARNING SHALL BE APPLIED TO ALL TRAFFIC SIGNAL AND WALKWAY SYSTEMS WITH A MINIMUM APPROXIMATE EQUAL. INSTALLATION SHALL BE DONE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



ADA TRANSITIONAL RAMP WITH DETECTABLE WARNINGS
NTS

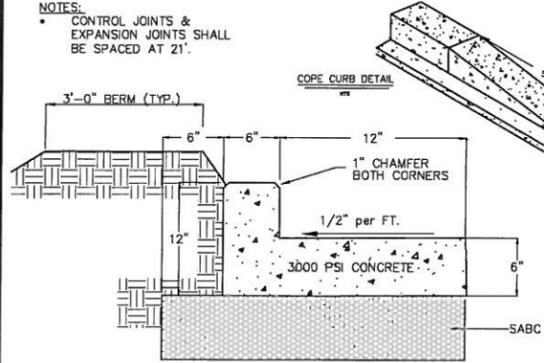


HANDICAP PARKING SYMBOL
NTS

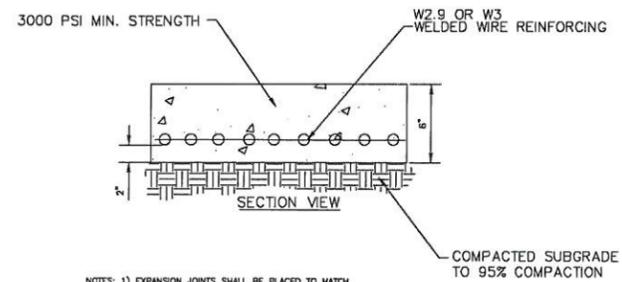


HANDICAP PARKING
NTS

NOTES:
 • CONTROL JOINTS & EXPANSION JOINTS SHALL BE SPACED AT 21'.

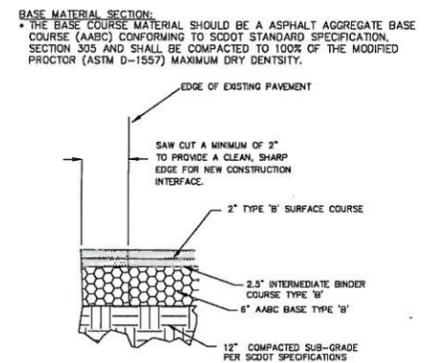


TYPICAL 18" CONCRETE CURB & GUTTER
NTS

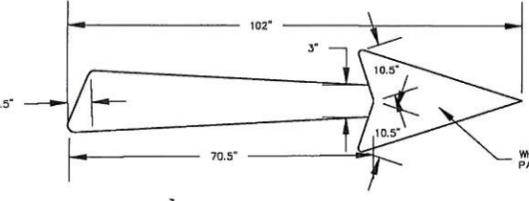


NOTES: 1) EXPANSION JOINTS SHALL BE PLACED TO MATCH EXISTING OR 10' MAXIMUM EACH DIRECTION.
 2) EXPANSION JOINTS SHALL BE CONSTRUCTED USING A STRIKING TOOL WITH A 1/4" RADIUS.

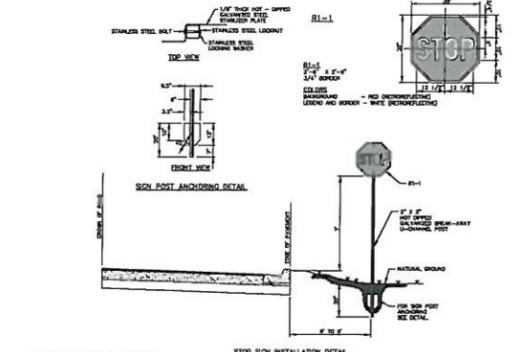
CONCRETE PAVEMENT SECTION
NTS



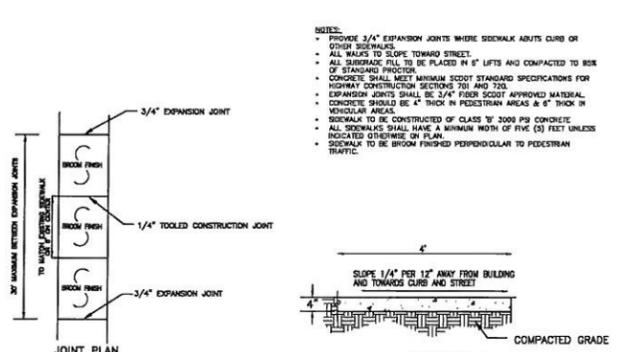
NEW PAVEMENT DETAIL WITHIN SCDOT R/W
NTS



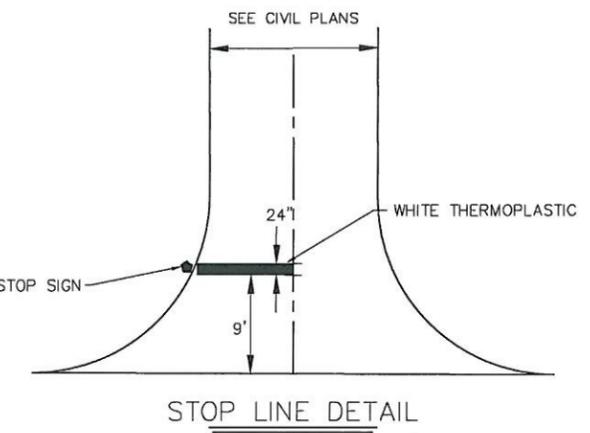
THRU LANE USE ARROW
NTS



TRAFFIC SIGN SPECIFICATION SHEET
 1. SIGN SPECIFICATIONS SHALL BE IDENTIFIED ON CONTRACT DOCUMENTS.
 2. SIGNING SPECIFICATIONS SHALL BE IDENTIFIED ON A SIGN SHEET. ALL SIGNING SHALL BE THE RESPONSIBILITY OF THE APPLICANT (CONTRACTOR OR STATE).
 3. SIGNING SPECIFICATIONS SHALL BE IDENTIFIED ON A SIGN SHEET. ALL SIGNING SHALL BE THE RESPONSIBILITY OF THE APPLICANT (CONTRACTOR OR STATE).
 4. SIGNING SPECIFICATIONS SHALL BE IDENTIFIED ON A SIGN SHEET. ALL SIGNING SHALL BE THE RESPONSIBILITY OF THE APPLICANT (CONTRACTOR OR STATE).
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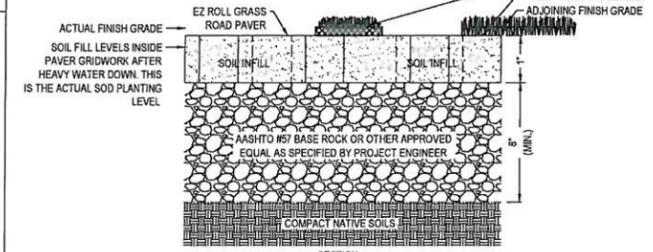
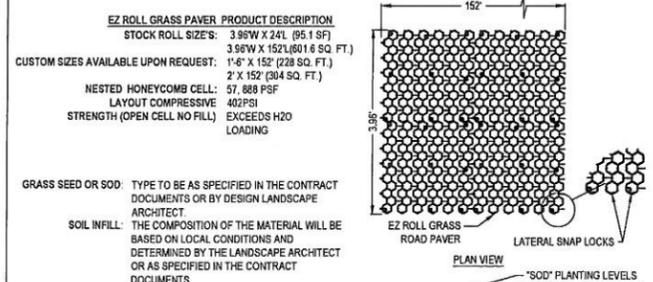


SIDEWALK DETAIL
NTS



STOP LINE DETAIL
NTS

NDS
 We put water in its place



NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
 2. DO NOT SCALE DRAWING
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

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 188 JENNIFER DRIVE, SUITE 200
 SUMMERVILLE, SC 29584
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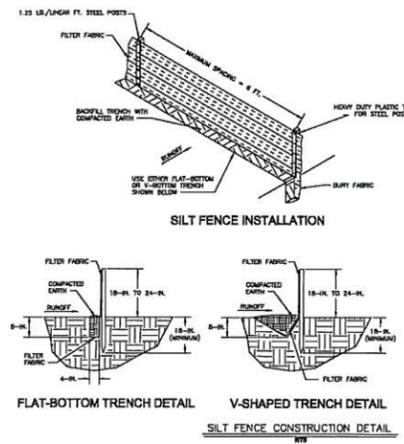
STAYBRIDGE SUITES SUMMERVILLE
 225 HOLIDAY DRIVE
 SUMMERVILLE, SC 29583

| REVISIONS | |
|-----------|----------|
| NO. | DATE |
| 1. | 11.01.18 |

| BY | DATE |
|-----|------|
| BDS | |

| NO. | DATE | DESCRIPTION |
|-----|----------|-------------------------------------|
| 1. | 11.01.18 | SCDDOT & PRELIMINARY CURB REVISIONS |

DRAWN: BDS
 CHECKED: KMB
 DATE: 11.01.2018
 JOB NO. 16-131
PERMIT REVIEW SET
 SHEET NUMBER C-500



CONSTRUCTION SPECIFICATION FOR SILT FENCE

STEEL POSTS ARE 1/2" DIA. STEEL POSTS THAT MEET THE FOLLOWING MINIMUM PHYSICAL REQUIREMENTS:

- COMPOSED OF HIGH STRENGTH STEEL WITH MINIMUM TENSILE STRENGTH OF 50,000 PSI.
- HAVE A STANDARD "T" SECTION WITH A NOMINAL FACE WIDTH OF 1.25-INCHES AND NOMINAL "T" LENGTH OF 1.48-INCHES.
- NEED 1.25 POUNDS PER FOOT (LBS) OF WEIGHT.
- HAVE A SOLID STABILIZATION PLATE WITH A MINIMUM CROSS SECTION AREA OF 17-SQUARE INCHES ATTACHED TO THE STEEL POSTS.
- PAINTED WITH A WATER BASED RUST INHIBITOR.
- USE STEEL POSTS WITH A MINIMUM LENGTH OF 6-FEET, INCLUDING 1.25 POUNDS PER FOOT (LBS) WITH PROJECTIONS TO AIR IN FASTENING THE FABRIC EXCEPT WHEN HEAVY CLAY SOILS ARE PRESENT OR SITE, STEEL POSTS WILL HAVE A METAL SOLID STABILIZATION PLATE WELDED NEAR THE BOTTOM SUCH THAT WHEN THE POST IS DRIVEN TO THE PROPER DEPTH, THE PLATE WILL BE BELOW THE GROUND LEVEL FOR ADDITIONAL STABILITY.
- THE SOLID PLATES SHOULD HAVE THE FOLLOWING CHARACTERISTICS:
 - BE COMPOSED OF MINIMUM 1/4" GAUGE STEEL.
 - HAVE A MINIMUM CROSS SECTION AREA OF 17-SQUARE INCHES.

GEOTEXTILE FILTER FABRIC

1. FILTER FABRIC IS COMPOSED OF FIBERS CONSISTING OF LONG CHAIN SYNTHETIC POLYMERS COMPOSED OF AT LEAST ONE OF POLYPROPYLENE, POLYESTER, OR POLYACRYLATE.

2. FORMED INTO A NETWORK SUCH THAT THE FILAMENTS OR FIBERS RETAIN DIMENSIONAL STABILITY RELATIVE TO EACH OTHER.

3. FREE OF ANY TREATMENT OR COATING WHICH WOULD ADVERSELY ALTER ITS PHYSICAL PROPERTIES AFTER INSTALLATION.

4. FREE OF DEFECTS OR PLAYS THAT SIGNIFICANTLY AFFECT ITS PHYSICAL AND/OR FILTERING PROPERTIES.

5. CUT TO A MINIMUM WIDTH OF 36 INCHES.

6. USE ONLY FABRIC APPROVED ON SCOOT APPROVAL SHEET #24 MEETING THE REQUIREMENTS OF THE MOST CURRENT EDITION OF THE SCOOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.

INSTALLATION

1. DIGG A TRENCH APPROXIMATELY 6-INCHES WIDE AND 6-INCHES DEEP WITH PLACING FABRIC BY HAND, PLACE 12-INCHES OF GEOTEXTILE FABRIC INTO THE 6-INCH DEEP TRENCH, EXTENDING THE REMAINING 6-INCHES TOWARD THE UPSLOPE SIDE OF THE TRENCH. BACKFILL THE TRENCH WITH SOIL OR GRAVEL, AND COMPACT/ROLL 15-INCHES OF FABRIC INTO THE GROUND WHEN PREDOMINANTLY INSTALLING SILT FENCE WITH A SLOPING METHOD. PURCHASE FABRIC IN CONTINUOUS ROLLS AND CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, OVERLAP THE FABRIC TOWARD AT A SUPPORT POST WITH BOTH ENDS FASTENED TO THE POSTS WITH A 6-INCH MINIMUM BREAK. INSTALL POSTS TO A MINIMUM DEPTH OF 24-INCHES. INSTALL POSTS A MINIMUM OF 10- TO 20- FEET ABOVE THE FABRIC, WITH NO MORE THAN 3- FEET OF THE POST ABOVE THE GROUND. SPACE POSTS TO MAXIMUM 6- FEET CENTER TO CENTER ATTACH FABRIC TO THE STEEL POSTS USING HEAVY-DUTY PLASTIC TIES THAT ARE EVENLY SPACED AND PLACED IN A MANNER TO PREVENT SAGGING OR TIPPING OF THE FABRIC. IN CAL CALORIES, TIES SHOULD BE AFFIXED IN NO LESS THAN 4 PLACES. INSTALL THE FABRIC A MINIMUM OF 24-INCHES ABOVE THE GROUND. WHEN NECESSARY, THE HEIGHT OF THE FORCE FABRIC SHOULD BE GREATER THAN 24-INCHES. IN TONG AREAS, EXTRA SILT FENCE HEIGHT MAY BE REQUIRED. THE POST HEIGHT WILL BE TWICE THE EXPOSED POST HEIGHT. POST SPACING WILL BE THE SAME AND EXTRA HEIGHT FABRIC WILL BE 4- TO 5- FEET TALL. LOCATE SILT FENCE CHECKS EVERY 100 FEET MAXIMUM AND AT LOW POINTS. INSTALL THE CHECK PERPENDICULAR TO THE DIRECTION OF FLOW AND PLACE THE FENCE THE PROPER DISTANCE FROM THE TOE OF STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEANOUT.

INSPECTION AND MAINTENANCE

- INSPECT EVERY SEVEN CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 2-INCHES OR MORE OF PRECIPITATION.
- CHECK FOR SEDIMENT BUILDUP AND FENCE INTEGRITY. CHECK WEDGE HEIGHT HAS DROPPED A CHANNEL BENEATH THE FENCE, OR WHERE THE FENCE HAS SAGGED OR COLLAPSED BY FENCE OVERTOPPING.
- IF THE FENCE FABRIC BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES IMPROPER, REPLACE THE SECTION OF FENCE IMMEDIATELY.
- REMOVE SEDIMENT ACCORDING TO ALPHAS THE FENCE WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE. ESPECIALLY IF HEAVY RAINS ARE EXPECTED.
- REMOVE TRAPPED SEDIMENT FROM THE SITE OR STABILIZE IT ON SITE.
- REMOVE SILT TONG WITHIN 48 HOURS FROM FINAL STABILIZATION IS ACHIEVED OR AFTER TEMPORARY BEST MANAGEMENT PRACTICES (BMP'S) ARE NO LONGER NEEDED.
- PERMANENTLY STABILIZE DISTURBED AREAS RESULTING FROM FENCE REMOVAL.

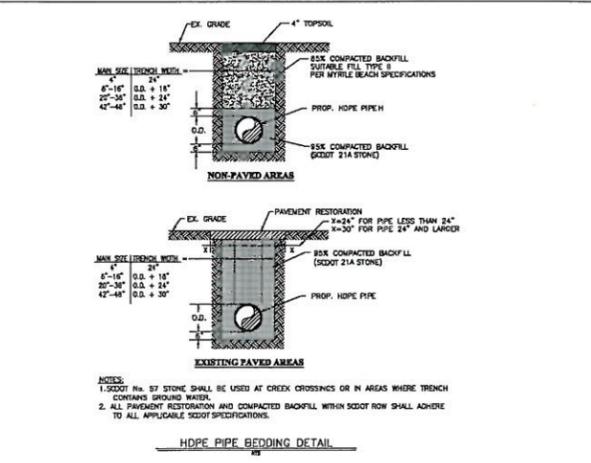
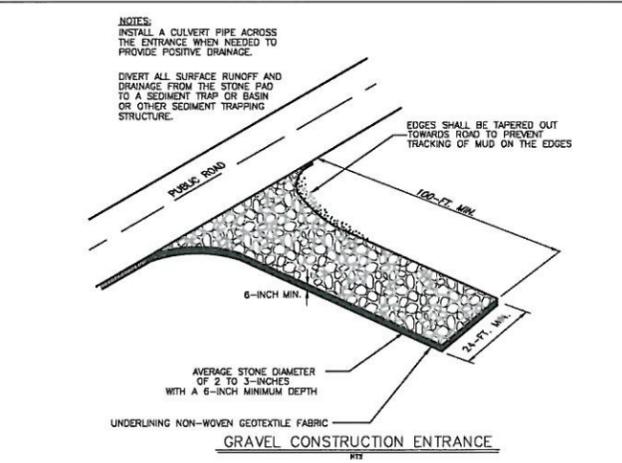
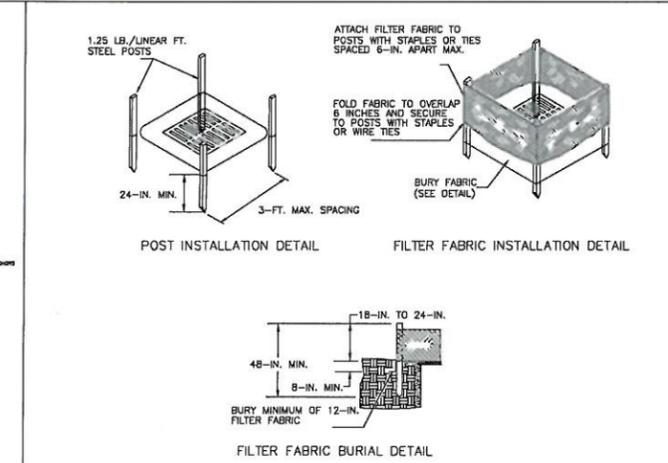
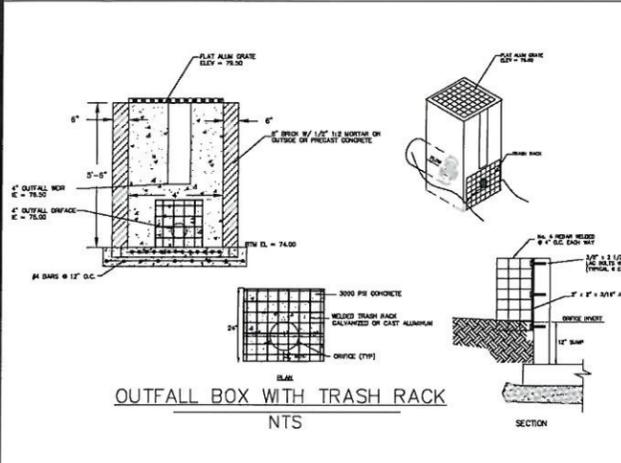
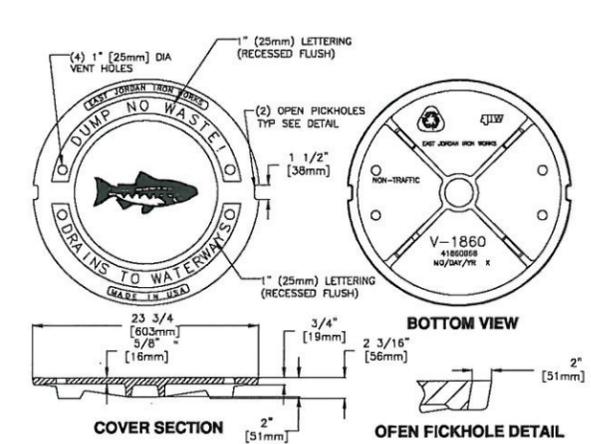
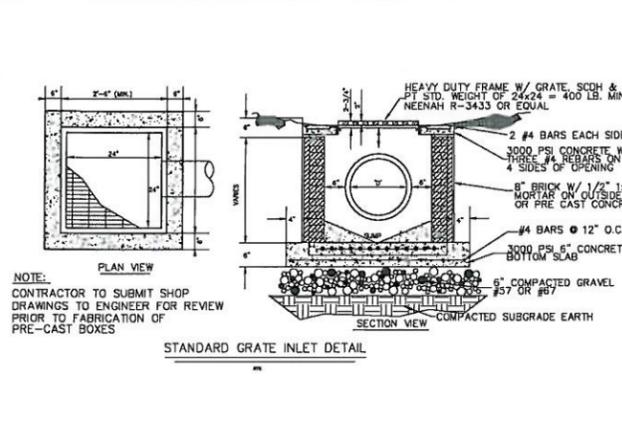


Table 2.1.1.1 (continued) Approved Plant Species

| COMMON NAME | BOTANICAL NAME | APPROVED SPECIES | PLANTING RATE | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 |
|------------------------|------------------------|------------------|---------------|---|---|---|---|---|---|---|---|---|----|
| Common Ground Squirrel | Citellus richardsoni | Yes | 10 | | | | | | | | | | |
| Eastern Cottontail | Sylvilagus floridanus | Yes | 10 | | | | | | | | | | |
| White-tailed Deer | Odocoileus virginianus | Yes | 10 | | | | | | | | | | |

Table 2.1.1.2 (continued) Approved Plant Species

| COMMON NAME | BOTANICAL NAME | APPROVED SPECIES | PLANTING RATE | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 |
|------------------------|------------------------|------------------|---------------|---|---|---|---|---|---|---|---|---|----|
| Common Ground Squirrel | Citellus richardsoni | Yes | 10 | | | | | | | | | | |
| Eastern Cottontail | Sylvilagus floridanus | Yes | 10 | | | | | | | | | | |
| White-tailed Deer | Odocoileus virginianus | Yes | 10 | | | | | | | | | | |

SEEDING SPECIFICATION:

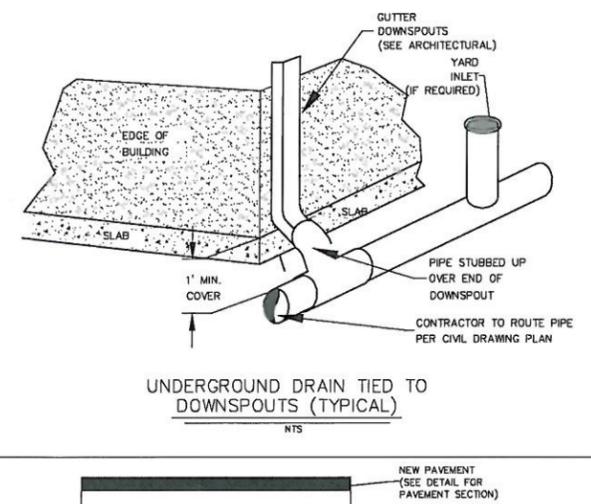
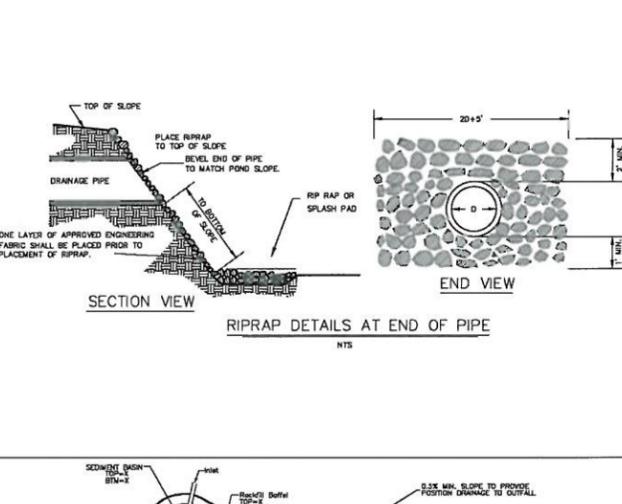
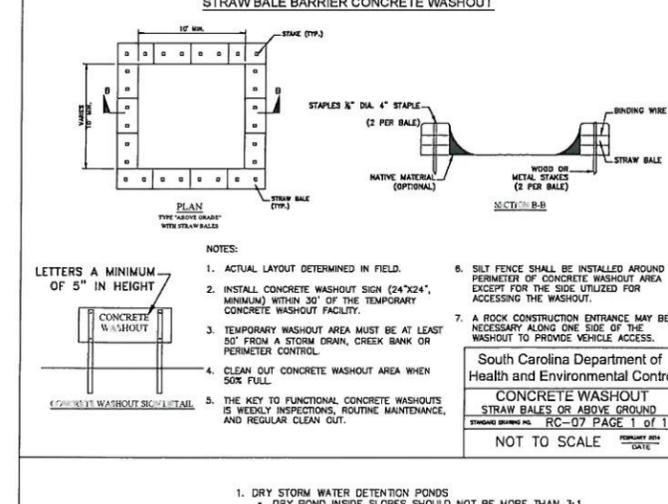
1. ACTUAL LAYOUT DETERMINED IN FIELD.

2. INSTALL CONCRETE WASHOUT SIGN (24"X24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

3. TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.

4. CLEAN OUT CONCRETE WASHOUT AREA WHEN SOAK FULL.

5. THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.



CONSTRUCTION SEQUENCE:

- MARK ALL TREES TO BE REMOVED AND PROTECT VALUABLE TREES AS REQUIRED.
- CONTACT THE MUNICIPALITY PUBLIC WORKS 48 HRS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- INSTALL SILT FENCE ALONG ALL DOWNSTREAM SLOPES, AT ALL ENTRANCES AND EXITS TO PIPES, AND OUTLETS TO THE DETENTION BASIN.
- INSTALL THE TEMPORARY GRAVEL CONSTRUCTION EXIT AS SHOWN ON EROSION CONTROL PLAN, AT ENTRANCE.
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- COMPLETE SITE CLEARING AND TREE REMOVAL.
- ROUGH GRADE SITE, STOCKPILE TOPSOIL, AND EXCESS MATERIAL. MAINTAIN DIVERSION DITCHES AS REQUIRED TO KEEP FLOW AWAY FROM BUILDINGS.
- INSTALL THE POND AND ALL DRAINAGE PIPES.
- FINISH THE SLOPES AROUND THE BUILDING AND PARKING AREAS AS SOON AS ROUGH GRADING IS COMPLETE. VEGETATE AND MULCH IMMEDIATELY.
- COMPLETE FINAL GRADING FOR THE BUILDING AND PARKING. STABILIZE PARKING WITH GRAVEL BASE COURSE.
- COMPLETE FINAL GRADING OF GROUNDS, TOPSOIL, CRITICAL AREAS, AND PERMANENTLY VEGETATE, LANDSCAPE, AND MULCH.
- ALL SEDIMENT CONTROL MEASURES SHALL BE INSPECTED PER THE GUIDELINES LISTED ON THE EROSION CONTROL PLANS. ALL SEDIMENT CONTROL FEATURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION HAS BEEN OBTAINED.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL, WITHIN 14 DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED.
- CONTACT THE MUNICIPALITY PUBLIC WORKS FOR FINAL INSPECTION & CLOSE OUT OF PROJECT. CLOSE OUT APPLICATION & ASBUILT TO BE SUBMITTED FOR REVIEW & APPROVAL.
- AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND INSTALL AND/OR REPAIR ANY DISTURBED AREAS.
- ESTIMATED TIME OF CONSTRUCTION: 180 DAYS.

MAINTENANCE PLAN:

- INSPECTION OF EROSION AND SEDIMENT CONTROL MEASURES TO BE CHECKED ONCE PER WEEK AND AFTER LARGE STORM EVENTS. REPAIRS WILL BE MADE IMMEDIATELY TO INSURE EFFECTIVENESS.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT SIX INCHES DEEP AT THE FENCE. THE FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- ALL SEEDED AREAS WILL BE FERTILIZED, RE-SEED AS NECESSARY, AND MULCHED ACCORDING TO THE MOST DESIRABLE SEED MIXTURE SPECIFICATION AND SEASON TO MAINTAIN A DENSE, MOISTURE VEGETATIVE COVER.
- THE CONTRACTOR IS TO SHEEP ALL PUBLIC AND PRIVATE ROADWAYS AT THE CONSTRUCTION ENTRANCE TO MINIMIZE THE LONG-TERM TRANSPORT OF MATERIAL OFF-SITE.

CONCRETE WASHOUT STRAW BALES OR ABOVE GROUND

RC-07 PAGE 1 of 1

NOT TO SCALE

South Carolina Department of Health and Environmental Control

1. DRY STORM WATER DETENTION PONDS

- DRY POND INSIDE SLOPES SHOULD NOT BE MORE THAN 3:1
- THE POND FLOOR SHOULD HAVE A MINIMUM SLOPE OF 0.5% TOWARD THE OUTLET OR UNDERPROGRAM SYSTEM. ADEQUATE MAINTENANCE ACCESS MUST BE PROVIDED FOR ALL DRY DETENTION AND DRY ED PONDS.

2. LOW FLOW CHANNEL

- A LOW FLOW CHANNEL SHOULD BE PROVIDED TO PREVENT STANDING WATER CONDITIONS. THIS CHANNEL SHOULD BE PROTECTED TO PREVENT SCOURING. THE REMAINDER OF THE POND SHOULD DRAIN TOWARD THIS CHANNEL. WHERE RECREATIONAL USES ARE DESIRED, THE LOW-FLOW CHANNEL SHOULD BE PLACED TO ONE SIDE INSTEAD IN THE MIDDLE OF THE POND.

3. OUTFALL

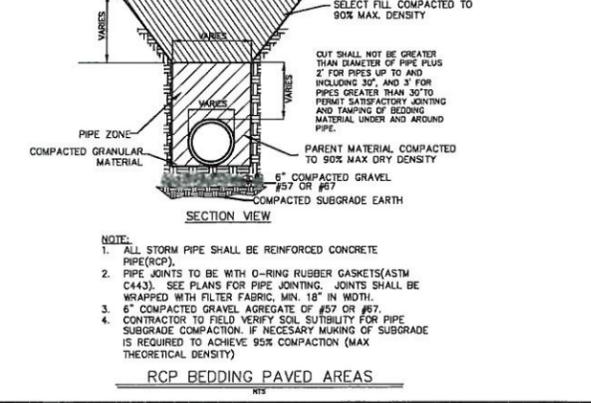
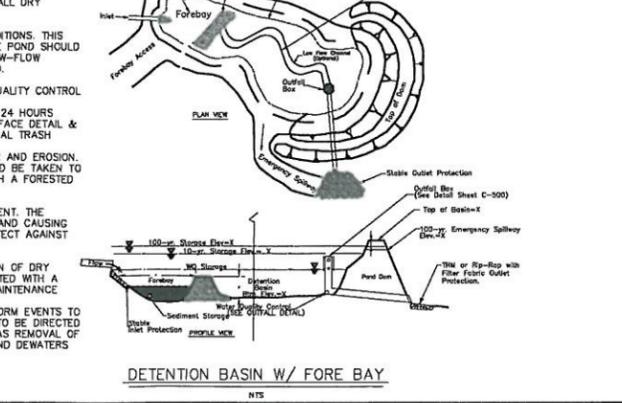
- FOR THIS DRY DETENTION POND, THE OUTFALL STRUCTURE IS SIZED FOR WATER QUALITY CONTROL AND WATER QUANTITY CONTROL.
- A LOW FLOW ORIFICE CAPABLE OF RELEASING THE WATER QUALITY VOLUME OVER 24 HOURS MUST BE PROVIDED. THE WATER QUALITY ORIFICE IS SHOWN ON THE OUTFALL ORIFICE DETAIL & SHOULD BE ADEQUATELY PROTECTED FROM CLOGGING BY AN ACCEPTABLE EXTERNAL TRASH RACK.
- THE OUTFALL OF DRY PONDS SHOULD ALWAYS BE STABILIZED TO PREVENT SCOUR AND EROSION. IF THE POND DISCHARGES TO A CHANNEL WITH DRY WEATHER FLOW, CARE SHOULD BE TAKEN TO MINIMIZE TREE CLEARING ALONG THE DOWNSTREAM CHANNEL, AND TO REESTABLISH A FORESTED RIPARIAN ZONE IN THE SHORTEST POSSIBLE DISTANCE.

4. EMERGENCY SPILLWAY

- AN EMERGENCY SPILLWAY MUST BE INCLUDED TO PASS THE 100-YEAR STORM EVENT. THE SPILLWAY PREVENTS POND WATER LEVELS FROM OVERTOPPING THE EMBANKMENT AND CAUSING STRUCTURAL DAMAGE. THE SPILLWAY MUST BE DESIGNED AND INSTALLED TO PROTECT AGAINST EROSION PROBLEMS.

5. INSPECTION AND MAINTENANCE

- REGULAR INSPECTION AND MAINTENANCE IS CRITICAL TO THE EFFECTIVE OPERATION OF DRY PONDS AS DESIGNED. MAINTENANCE RESPONSIBILITY FOR A POND SHOULD BE VESTED WITH A RESPONSIBLE AUTHORITY BY MEANS OF A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT THAT IS EXECUTED AS A CONDITION OF PLAN APPROVAL.
- INSPECTIONS SHOULD BE CONDUCTED SEMI-ANNUALLY AND AFTER SIGNIFICANT STORM EVENTS TO MINIMIZE POTENTIAL PROBLEMS EARLY. MOST MAINTENANCE EFFORTS WILL NEED TO BE DIRECTED TOWARD VEGETATION MANAGEMENT AND BASIC HOUSEKEEPING PRACTICES SUCH AS REMOVAL OF DEBRIS ACCUMULATIONS AND VEGETATION MANAGEMENT TO ENSURE THAT THE POND DEWATERS COMPLETELY TO PREVENT MOSQUITO AND OTHER HABITATS.



EARTHSOURCE ENGINEERING

ONE PHARMACY CENTER PLAZA, SUITE 200
SUMMERSVILLE, SOUTH CAROLINA 29166
803.781.1025
www.earthsourceeng.com



STAYBRIDGE SUITES SUMMERSVILLE

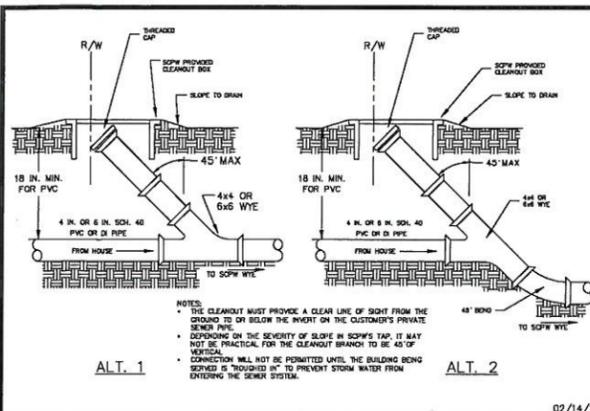
225 HOLIDAY DRIVE
SUMMERSVILLE, SC 29163

CONSTRUCTION DETAILS

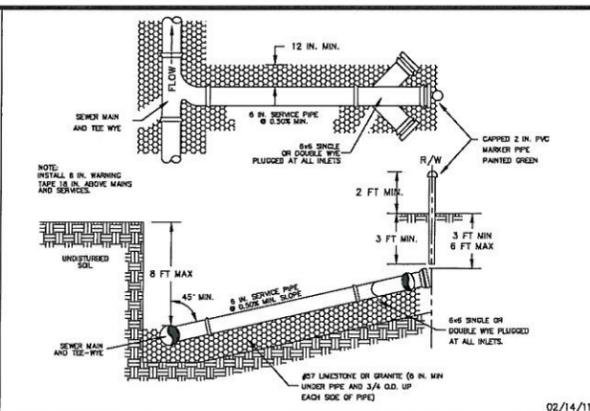
REVISIONS

| NO. | DATE | BY | REVISIONS |
|-----|----------|-----|------------------------------------|
| 1. | 11.01.18 | BDS | SCOOT & PRELIMINARY CORB REVISIONS |

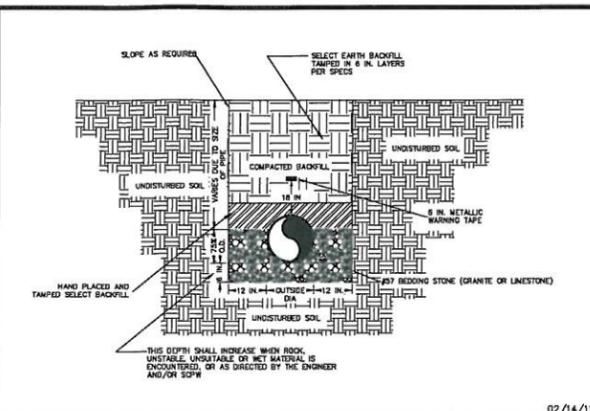
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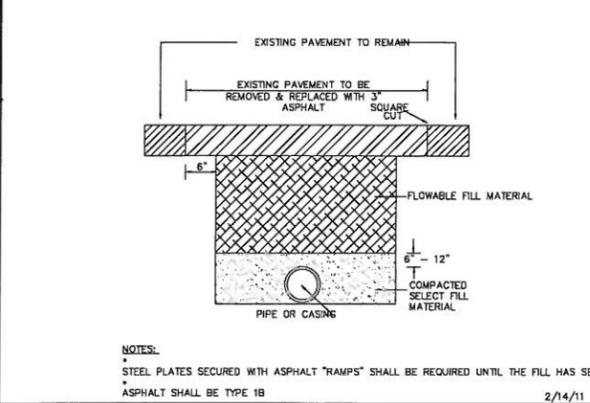
SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT TYPICAL PLUMBER CONNECTION TO SCPW SERVICE DETAIL 02/14/11



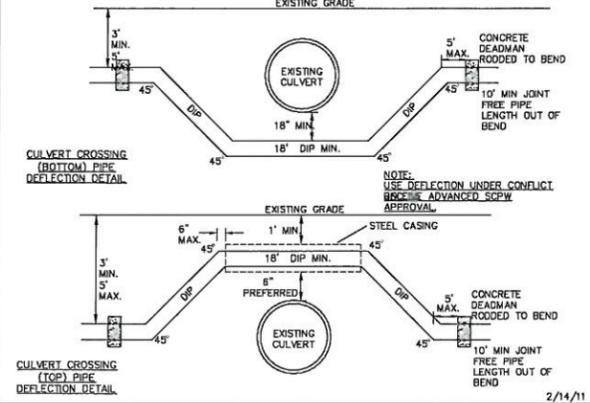
SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT TYPICAL SHALLOW SEWER SERVICE CONSTRUCTION DETAIL 02/14/11



SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT TYPICAL GRAVITY WASTEWATER TRENCH SECTION 02/14/11



SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT ASPHALT ROAD PATCH DETAIL 2/14/11

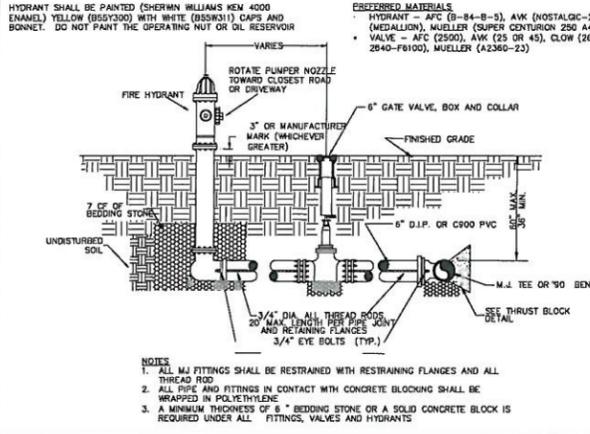


SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT DEFLECTION UNDER/OVER A CONFLICT 2/14/11

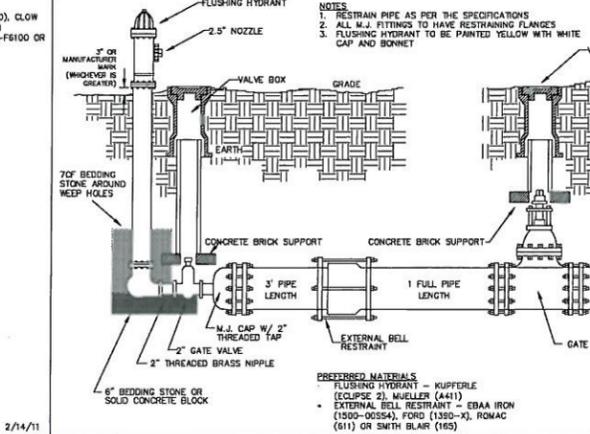
RESTRAINED JOINT PIPE CHART - CAPS/PLUGS

| MAIN DIAMETER | LENGTH |
|---------------|--------|
| 4" | 39' |
| 6" | 55' |
| 8" | 72' |
| 10" | 86' |
| 12" | 102' |
| 16" | 131' |
| 24" | 185' |

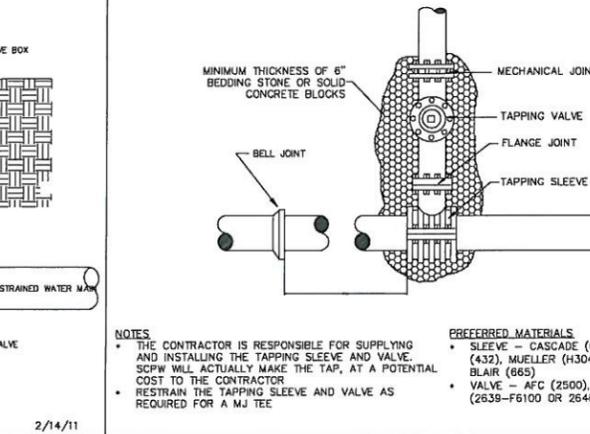
SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT RESTRAINED JOINT PIPE CHART - CAPS/PLUGS 2/14/11



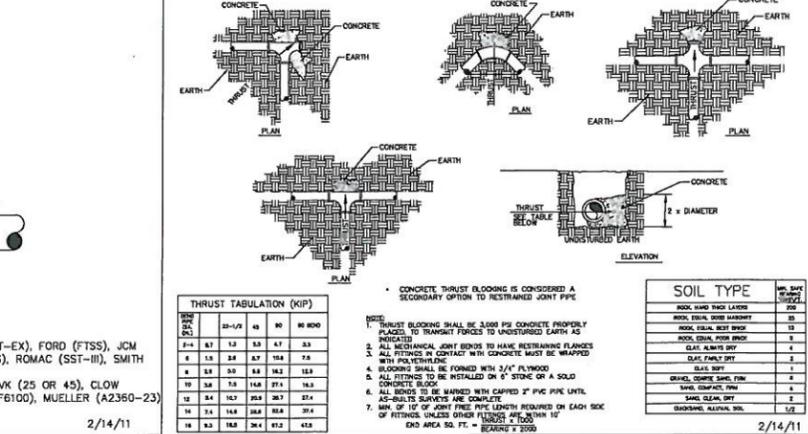
SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT TYPICAL FIRE HYDRANT ASSEMBLY DETAIL 2/14/11



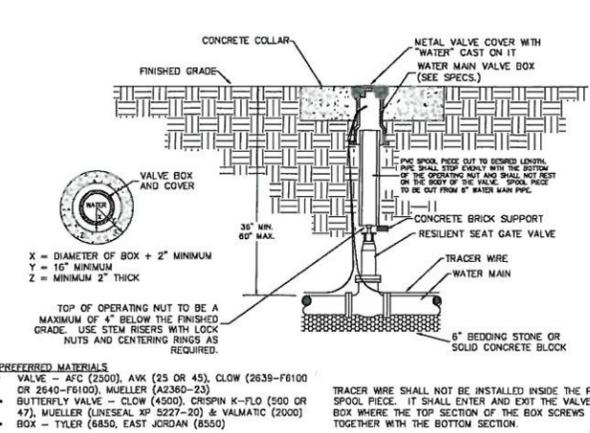
SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT TYPICAL MAIN STUB DETAIL 2/14/11



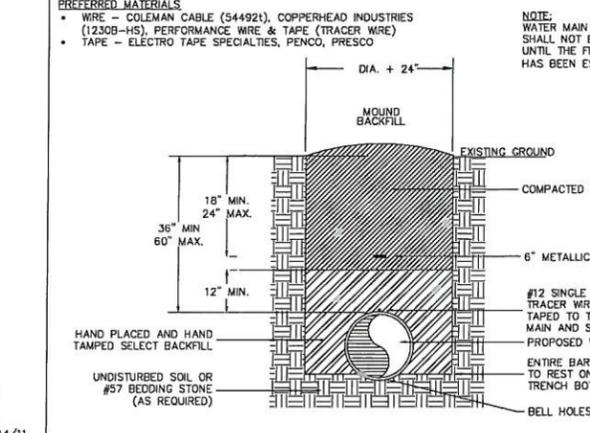
SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT TYPICAL TAPPING SLEEVE DETAIL 2/14/11



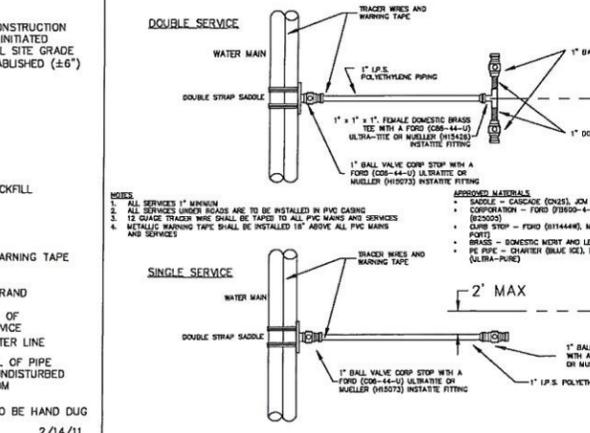
SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT TYPICAL THRUST BLOCK DETAIL 2/14/11



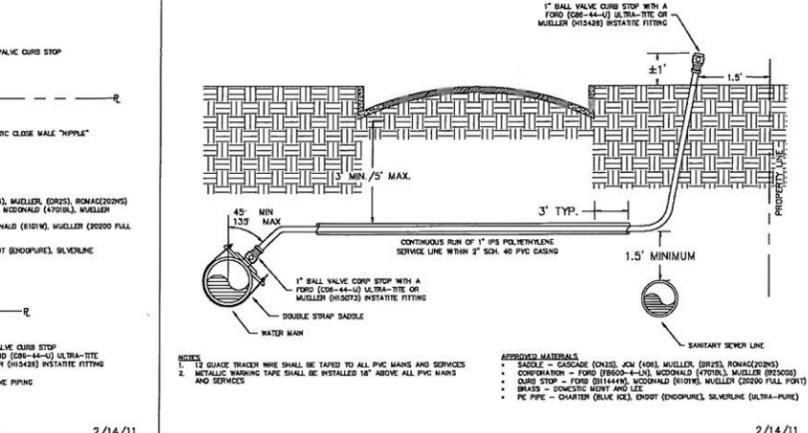
SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT TYPICAL VALVE DETAIL 2/14/11



SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT TYPICAL WATER PIPE BEDDING DETAIL 2/14/11

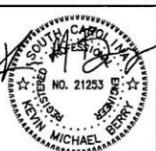


SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT TYPICAL WATER SERVICE CONNECTION - PLAN VIEW 2/14/11



SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS ENGINEERING DEPARTMENT TYPICAL WATER SERVICE CONNECTION PROFILE VIEW 2/14/11

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225 HOLIDAY DRIVE
SUMMERVILLE, SC 29483
CONSTRUCTION DETAILS

REVISIONS

| NO. | DATE | BY | REVISIONS |
|-----|----------|-----|------------------------------------|
| 1. | 11.01.18 | BDS | SCOTT & PRELIMINARY CORB REVISIONS |

DRAWN: BDS
CHECKED: KMB
DATE: 11.01.2016
JOB NO: 16-131
PERMIT REVIEW SET
SHEET NUMBER
C-502

PLANT SCHEDULE

| BOTANICAL NAME | COMMON NAME | QUANTITY | SIZE | CALIPER | SPACING |
|-------------------------|-----------------|----------|--------|---------|-----------|
| TREES | | | | | |
| QUERCUS PRINCEPIA | WHITE OAK | 6 | 12" | 3" | 45'-24" W |
| QUERCUS LAEVIS | RED OAK | 3 | 12" | 3" | 45'-24" W |
| QUERCUS BICOLOR | BURR OAK | 7 | 12" | 3" | 45'-24" W |
| QUERCUS FLETCHERII | SWAMP WHITE OAK | 3 | 12" | 3" | 45'-24" W |
| QUERCUS LAEVIS | RED OAK | 3 | 12" | 3" | 45'-24" W |
| QUERCUS PRINCEPIA | WHITE OAK | 3 | 12" | 3" | 45'-24" W |
| UNDERSTORY TREES | | | | | |
| QUERCUS LAEVIS | RED OAK | 24 | 12" | 2.5" | 45'-24" W |
| QUERCUS PRINCEPIA | WHITE OAK | 16 | 12" | 2.5" | 45'-24" W |
| QUERCUS FLETCHERII | SWAMP WHITE OAK | 12 | 12" | 2.5" | 45'-24" W |
| SHRUBS | | | | | |
| LEUCODENDRON | FLORIDA YEW | 4 | 4" | 3.0" | |
| QUERCUS PRINCEPIA | WHITE OAK | 4 | 4" | 3.0" | |
| QUERCUS LAEVIS | RED OAK | 4 | 4" | 3.0" | |
| QUERCUS FLETCHERII | SWAMP WHITE OAK | 4 | 4" | 3.0" | |
| QUERCUS PRINCEPIA | WHITE OAK | 4 | 4" | 3.0" | |
| QUERCUS LAEVIS | RED OAK | 4 | 4" | 3.0" | |
| QUERCUS FLETCHERII | SWAMP WHITE OAK | 4 | 4" | 3.0" | |
| ORNAMENTAL GRASS | | | | | |
| STYLOSANCTI | CRACK DOG | 30 | | | |
| GROUND COVER | | | | | |
| TRIFOLIUM | ALFALFA | 0 | 4'-10" | | |
| LAWN | | | | | |
| POA | PERMANENT GREEN | | | | |
| MULCH | | | | | |
| PERFORATED | WOOD CHIPS | | | | |

PLANT LEGEND:

| | | | | | |
|--|------------------------|--|-------------------|--|-------------------|
| | SWEETGRASS | | FRINGE TREE | | RED MAPLE |
| | NANDIVA | | SWEETBAY MAGNOLIA | | LIVE OAK |
| | LIGUSTRUM | | PALM | | LAUREL OAK |
| | PODOCARPUS | | SOD | | WILLOW OAK |
| | PITTIOSPORUM | | ANNULARS | | EASTERN RED CEDAR |
| | LIRIODENDRON | | | | SOUTHERN MAGNOLIA |
| | DWARF INDIAN HAWTHORNE | | | | |

PLANT SCHEDULE NOTES:

LANDSCAPER CONTACT: KEVIN BERRY AT EARTHSOURCE ENGINEERING WITH ANY QUESTIONS REGARDING THESE PLANS.

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED ON THESE PLANS.
- SIZE OF PLANT MATERIALS SHALL CONFORM WITH THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" FOR NUMBER ONE GRADE NURSERY STOCK AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERY MEN AND AMERICAN NATIONAL STANDARDS INSTITUTE.
- THERE WILL BE NO SUBSTITUTIONS, DELETIONS OR ADDITIONS WITHOUT APPROVAL OF THIS OFFICE.
SPECIAL NOTE: NO GROUND COVER, JUNIPER OR DAY LILLY TO BE USED AS SUBSTITUTION PLANTS OR FILLER.
- ALL DISTURBED AREAS ARE TO BE MULCHED OR SOODED UNLESS OTHERWISE NOTED.
- ALL TREES TO HAVE SAUCERS (BERMS) AS DETAILLED.
- STAKE AND GUY TREES AS PER DETAILS. COVER RING WITH 4" CIRCLE OF PINE STRAW. A MINIMUM LAYER OF 3 INCHES OF PINE STRAW SHALL BE PLACED AROUND ALL PLANTED MATERIAL.
- PROPERTY OWNER AGREES TO MAINTAIN NEW PLANTINGS IN A HEALTHY CONDITION. IRRIGATION DESIGN, WARRANTY, SOD, & MATERIALS IS RESPONSIBILITY OF LANDSCAPE INSTALLER.

| 276 LF OF 5' BUFFER (PER 30 LF: 1 CANOPY) | | | |
|--|-----------|-----------|-----------|
| CANOPY | REQUIRED: | EXISTING: | PROVIDED: |
| | 9 | 11 | 16 |

| 174 LF OF 5' BUFFER (PER 30 LF: 1 CANOPY) | | | |
|--|-----------|-----------|-----------|
| CANOPY | REQUIRED: | EXISTING: | PROVIDED: |
| | 6 | 3 | 3 |

| 301 LF OF 5' BUFFER (PER 30 LF: 1 CANOPY) | | | |
|--|-----------|-----------|-----------|
| CANOPY | REQUIRED: | EXISTING: | PROVIDED: |
| | 10 | 10 | 0 |

NOTE:
1. ALL TREES SHALL BE PLANTED WITH A 4" CIRCLE OF PINE STRAW MULCH.
2. ALL TREES SHALL BE PLANTED WITH A 4" CIRCLE OF PINE STRAW MULCH.
3. ALL TREES SHALL BE PLANTED WITH A 4" CIRCLE OF PINE STRAW MULCH.

① SHRUB PLANTING
SCALE: NOT TO SCALE

NOTE:
1. ALL TREES SHALL BE PLANTED WITH A 4" CIRCLE OF PINE STRAW MULCH.
2. ALL TREES SHALL BE PLANTED WITH A 4" CIRCLE OF PINE STRAW MULCH.
3. ALL TREES SHALL BE PLANTED WITH A 4" CIRCLE OF PINE STRAW MULCH.

② MULT-TRUNK TREE
SCALE: NOT TO SCALE

NOTE:
1. ALL TREES SHALL BE PLANTED WITH A 4" CIRCLE OF PINE STRAW MULCH.
2. ALL TREES SHALL BE PLANTED WITH A 4" CIRCLE OF PINE STRAW MULCH.
3. ALL TREES SHALL BE PLANTED WITH A 4" CIRCLE OF PINE STRAW MULCH.

③ TREE STAKING DETAIL
SCALE: NOT TO SCALE

NOTE:
1. ALL TREES SHALL BE PLANTED WITH A 4" CIRCLE OF PINE STRAW MULCH.
2. ALL TREES SHALL BE PLANTED WITH A 4" CIRCLE OF PINE STRAW MULCH.
3. ALL TREES SHALL BE PLANTED WITH A 4" CIRCLE OF PINE STRAW MULCH.

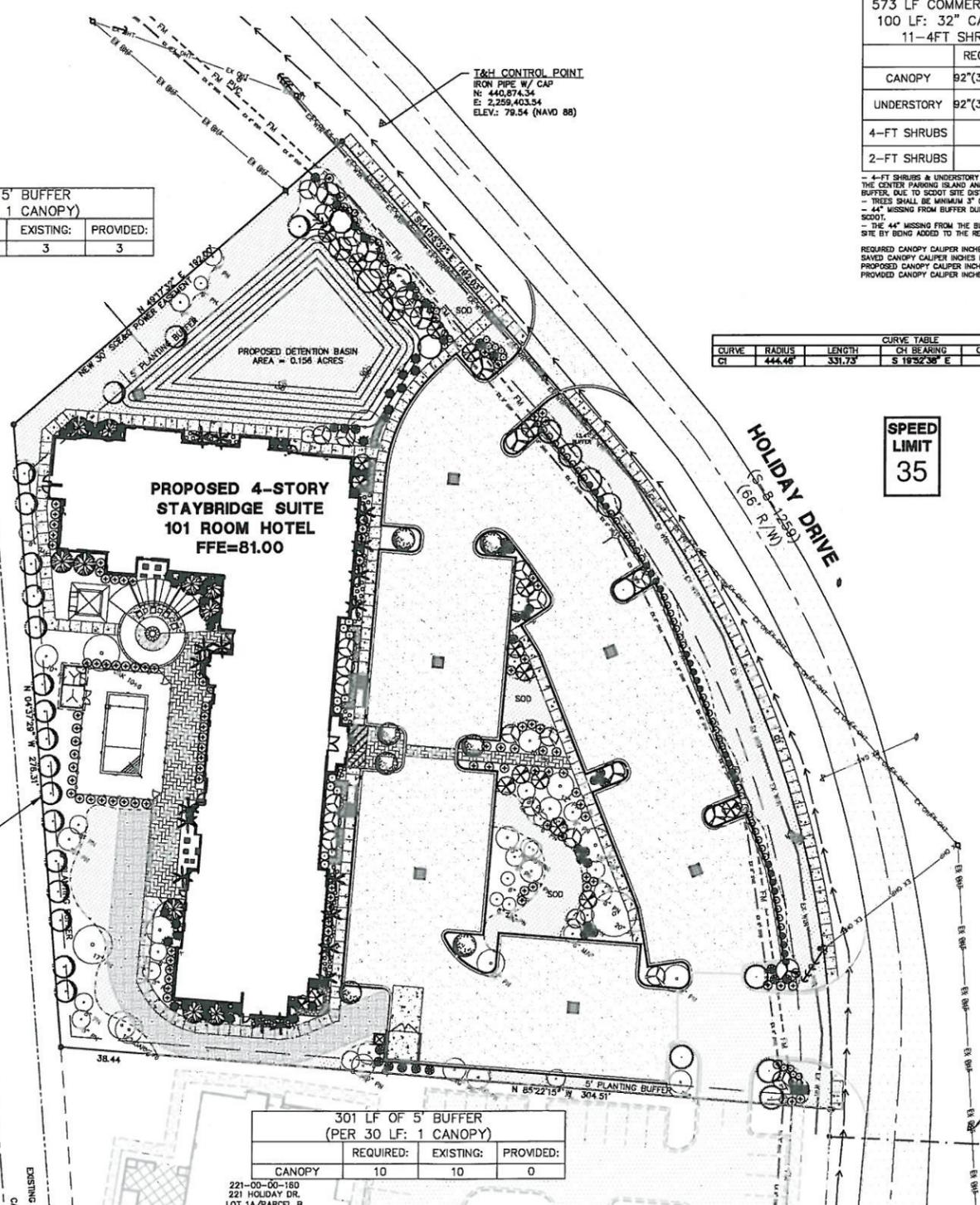
④ GROUND COVER DETAIL
SCALE: NOT TO SCALE

573 LF COMMERCIAL 13.4'-FT BUFFER (PER 100 LF: 32" CANOPY, 32" UNDERSTORY, 11-4FT SHRUBS, 16-2FT SHRUBS)

| | REQUIRED: | EXISTING: | PROVIDED: |
|-------------|---------------|-----------|---------------|
| CANOPY | 92*(31 TREES) | 0 | 48 (16 TREES) |
| UNDERSTORY | 92*(31 TREES) | 0 | 93 (31 TREES) |
| 4-FT SHRUBS | 62 | 0 | 62* |
| 2-FT SHRUBS | 92 | 0 | 92 |

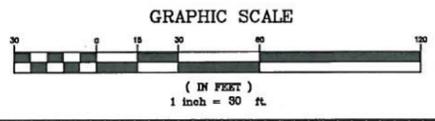
4-FT SHRUBS & UNDERSTORY BUFFER PLANT MATERIAL HAVE BEEN PROPOSED IN THE CENTER PARKING ISLAND AND THE PARKING END ISLANDS, OUTSIDE OF THE BUFFER, DUE TO SCOOT SITE DISTANCE TRIANGLE CONSTRAINTS.
- TREES SHALL BE MINIMUM 3" CALIPER TREES.
- 44" MISSING FROM BUFFER DUE TO SITE DISTANCE TRIANGLE AS DICTATED BY THE SCOOT.
- THE 44" MISSING FROM THE BUFFER AREA SHALL BE PROVIDED ELSEWHERE ON THE SITE BY BEING ADDED TO THE REQUIRED CANOPY CALIPER INCHES ON THE ENTIRE SITE.
REQUIRED CANOPY CALIPER INCHES FOR SITE = 180' / ACRE = 400' + 44" = 444"
PROPOSED CANOPY CALIPER INCHES FOR SITE = 465"
PROVIDED CANOPY CALIPER INCHES FOR SITE = 177" (59 TREES)
PROVIDED CANOPY CALIPER INCHES FOR SITE = 642"

| CURVE | RADIUS | LENGTH | CH BEARING | CH LENGTH | DELTA |
|-------|---------|---------|---------------|-----------|-----------|
| C1 | 444.46' | 331.73' | S 19°52'38" E | 324.08' | 42°45'48" |



LANDSCAPING BUFFER NOTES:

- ALL CANOPY TREES WITHIN THE BUFFER BETWEEN THE TWO DRIVEWAY ENTRIES SHALL BE DE-LIMBED AND KEPT LIMBLESS FOR THE FIRST 6'-FT IN HEIGHT AND UP TO 7'-FT IN HEIGHT WHERE TREES ARE NEAR PEDESTRIAN WALKWAYS.
- 4-FT TALL SHRUBS SHALL NOT BE PLANTED IN THE BUFFER BETWEEN THE TWO DRIVEWAY ENTRIES.
- THE HEIGHT OF THE SHRUBS WITHIN THE BUFFER BETWEEN THE TWO DRIVEWAY ENTRIES SHALL BE MAINTAINED, TRIMMED AND NOT EXCEED THIRTY (30) INCHES IN HEIGHT.



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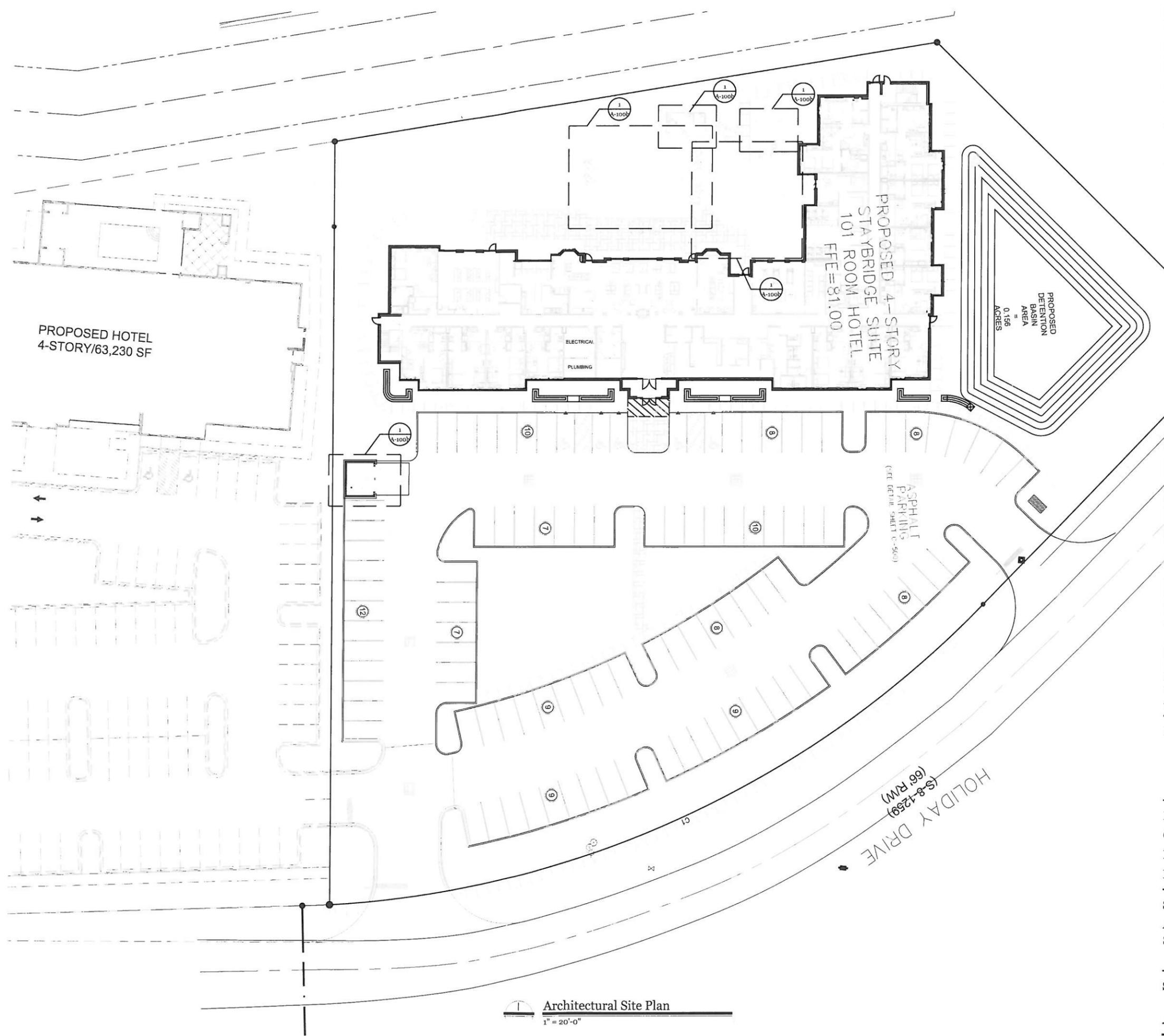
LANDSCAPE PLAN

| NO. | DATE | REVISIONS | BY |
|-----|----------|-------------------------------------|-----|
| 1. | 11.01.16 | SCOOT & PRELIMINARY CORRE REVISIONS | BDS |

DRAWN: BDS
 CHECKED: KMB
 DATE: 11.01.2016
 JOB NO.: 16-131

PERMIT REVIEW SET
 SHEET NUMBER
L-100

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 **Architectural Site Plan**
1" = 20'-0"

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Summerville, SC

Owner
Indigo Investments



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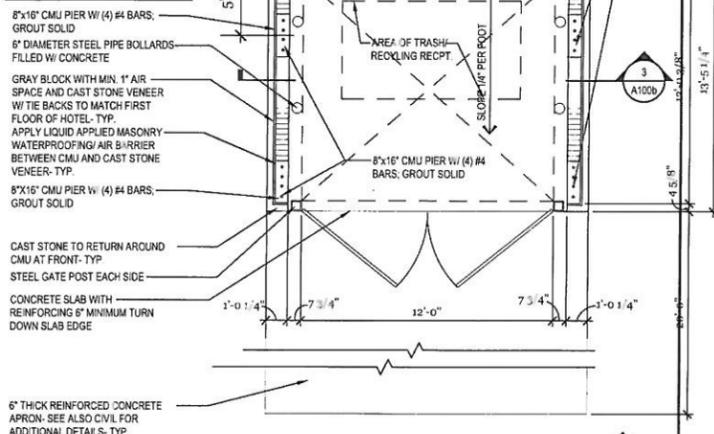
| | |
|------------|-----------|
| Drawn By | KKW |
| Checked By | MJR |
| Issue Date | 04.07.16 |
| Project No | 160328CHS |

Sheet Title
Architectural
Site Plan

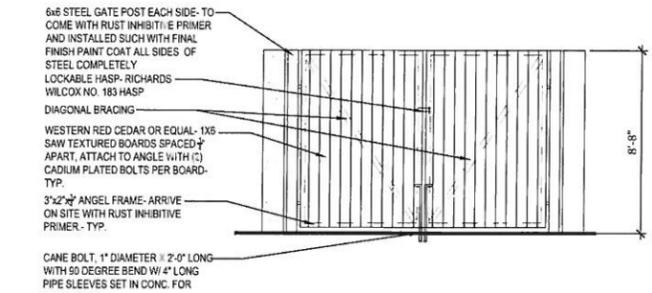
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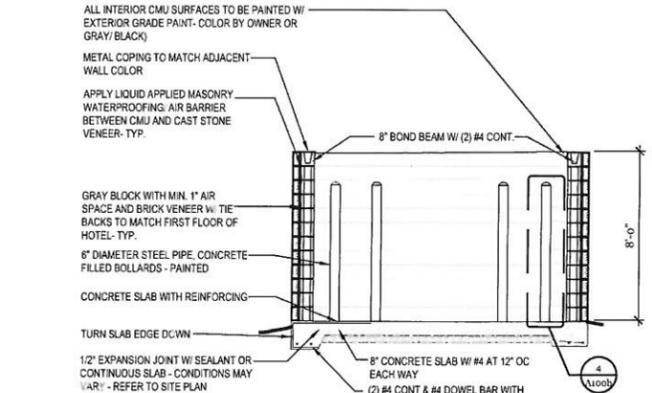
NOTES:
 1. VERIFY DRAINAGE REQUIREMENTS WITH HEALTH INSPECTOR
 2. DUMPSTER ENCLOSURE EXTERIOR FINISH TO MATCH FINISH OF MAIN HOTEL / TOWER



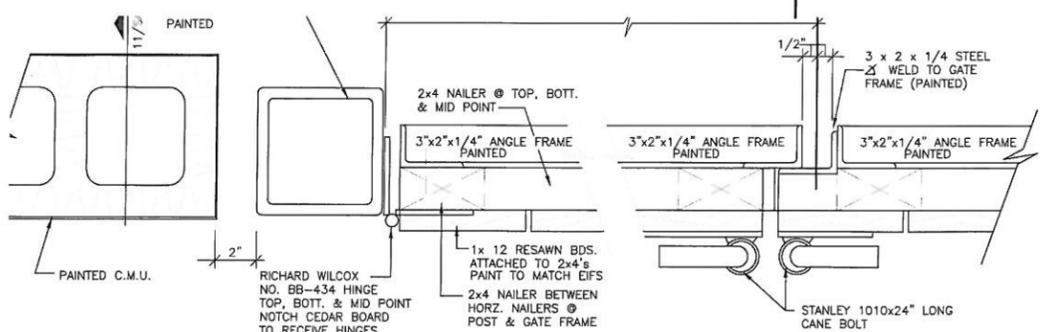
12 Exterior Refuse Receptacle - Plan
 1/4" = 1'-0"



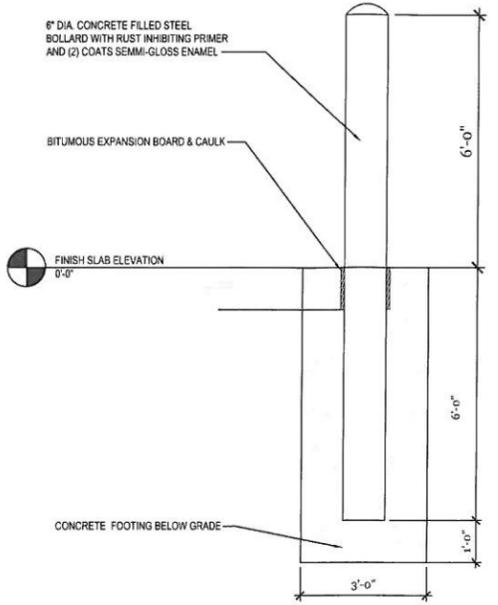
3 Exterior Refuse Receptacle - Elevation
 1/4" = 1'-0"



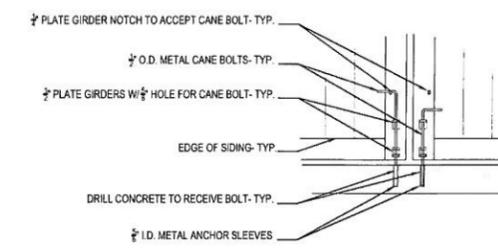
10 Exterior Refuse Receptacle - Section
 1/4" = 1'-0"



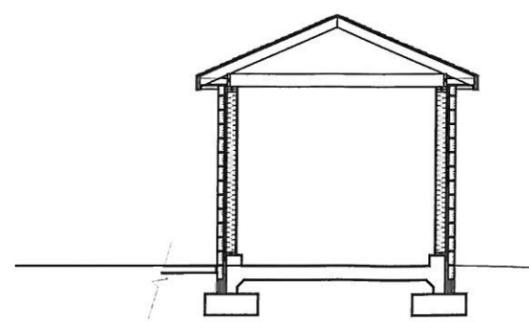
PLAN OF GATES AT



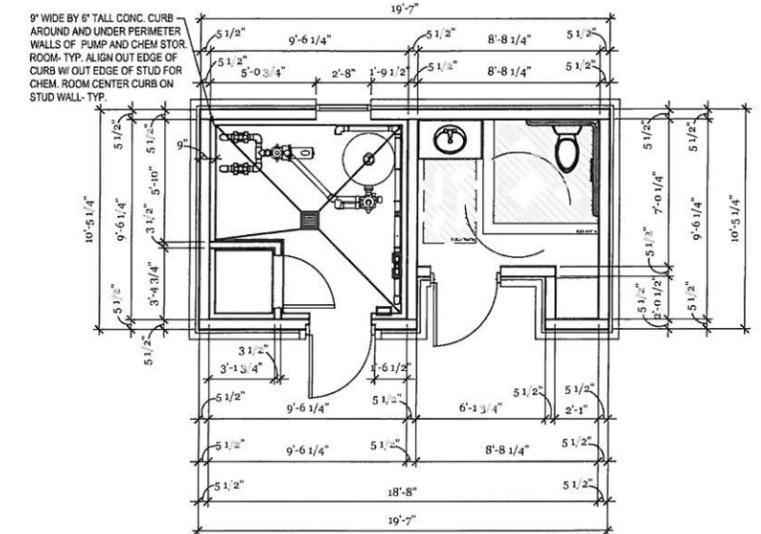
8 Exterior Refuse Receptacle - Detail
 1/2" = 1'-0"



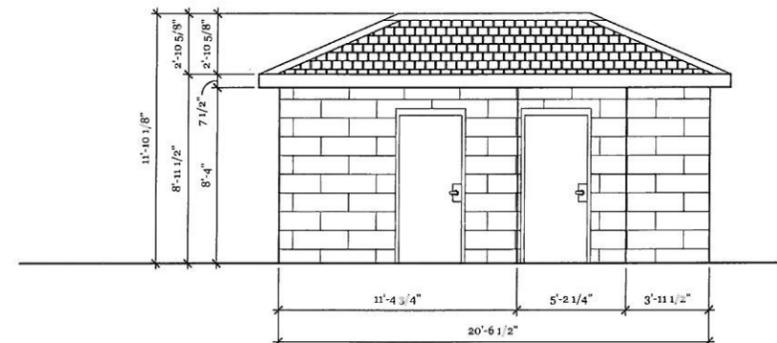
7 Exterior Refuse Receptacle - Detail
 1/2" = 1'-0"



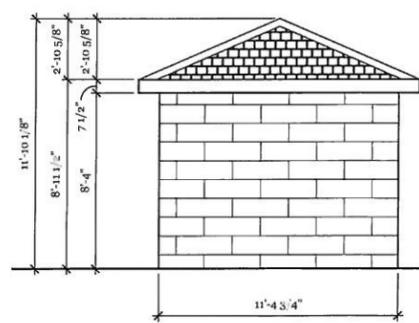
6 Pool Pump Bld. - Section
 1/2" = 1'-0"



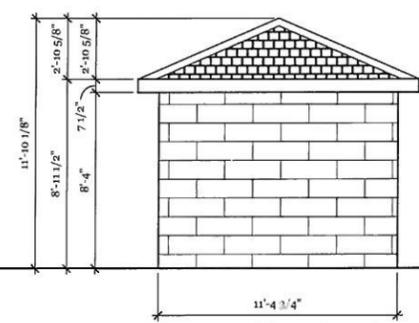
5 Pool Pump Bld. - Plan
 1/2" = 1'-0"



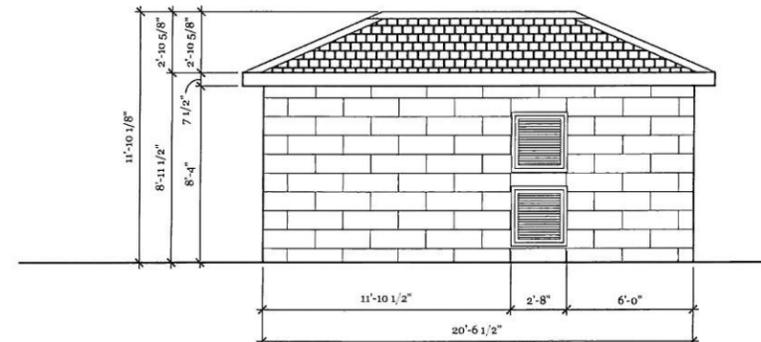
4 Pool Pump Bld. - Elevation
 1/2" = 1'-0"



3 Pool Pump Bld. - Elevation
 1/2" = 1'-0"



2 Pool Pump Bld. - Elevation
 1/2" = 1'-0"



1 Pool Pump Bld. - Elevation
 1/2" = 1'-0"

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Owner
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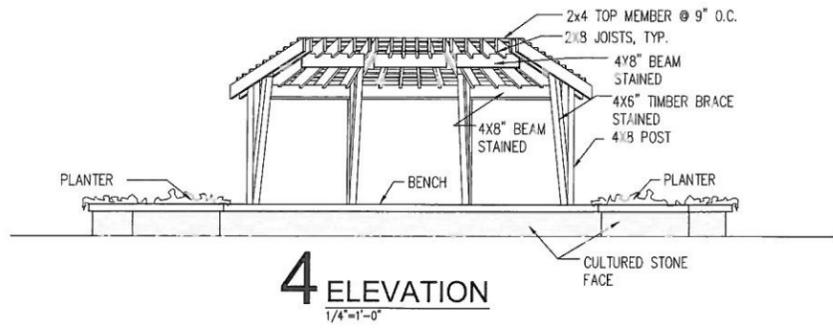
Revision Date

Drawn By KKW
 Checked By MJR
 Issue Date 04.07.16
 Project No 160328CHS

Sheet Title
 Dumpster Enclosure

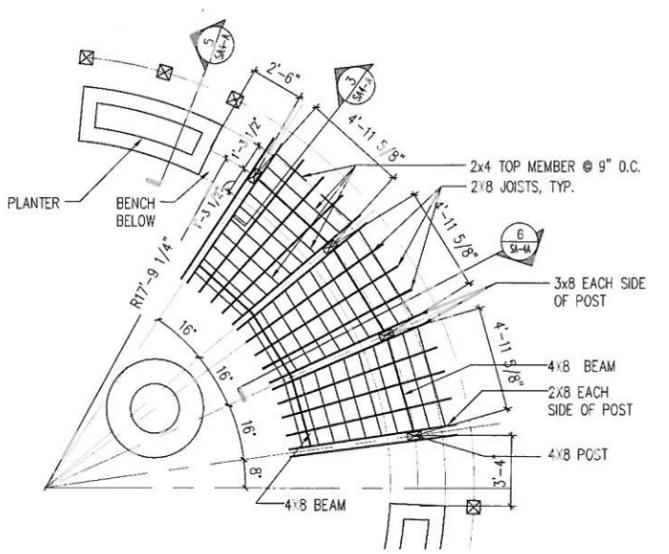
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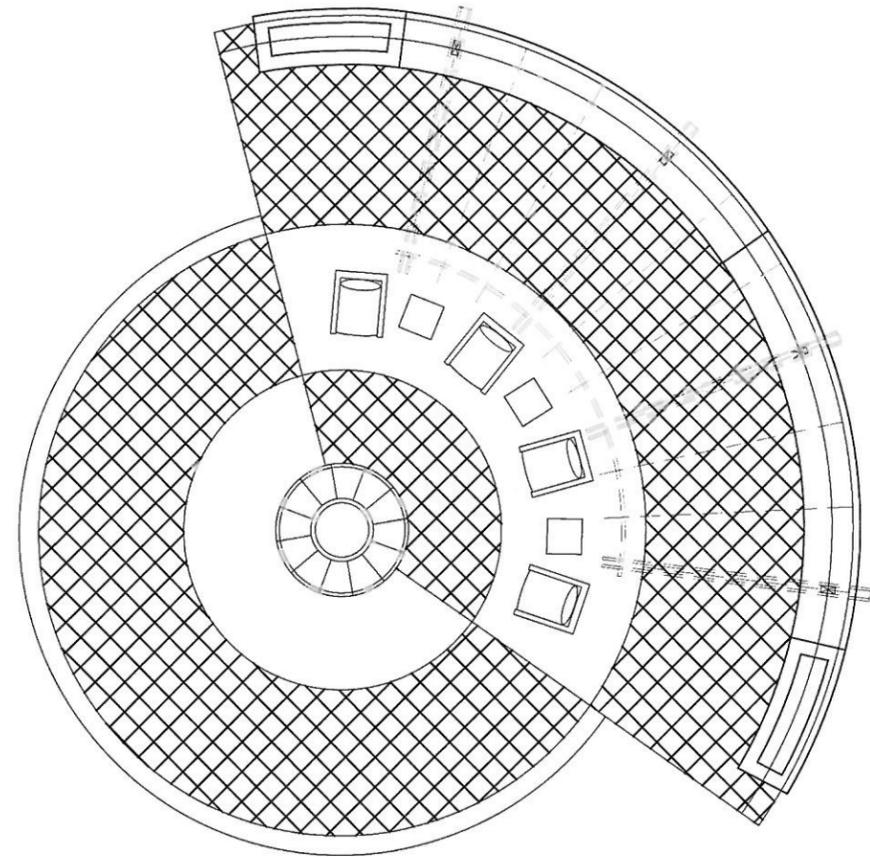
4 ELEVATION
1/4" = 1'-0"

8 Trellis Elevation
1/4" = 1'-0"

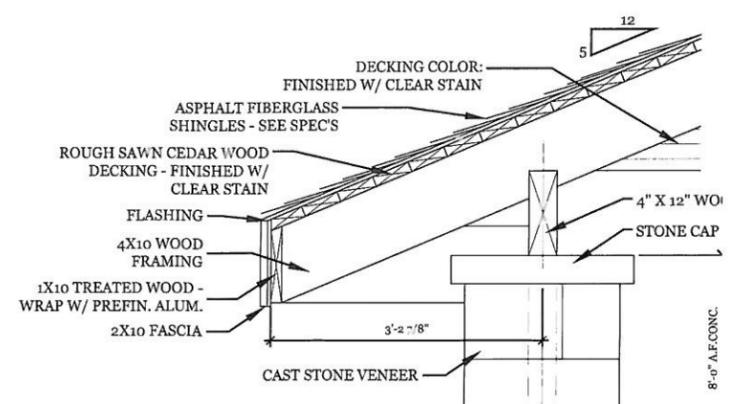


C TRELLIS FRAMING PLAN
1/4" = 1'-0"

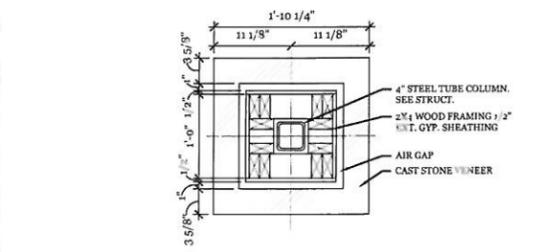
7 Trellis Framing Plan
1/4" = 1'-0"



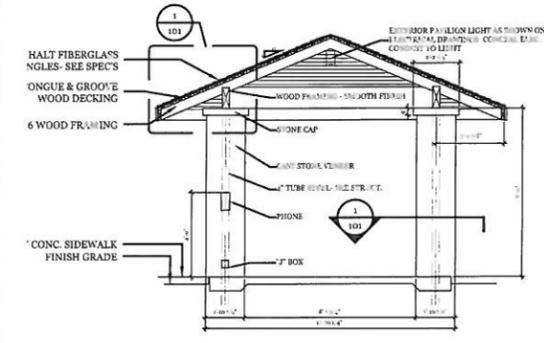
6 Trellis Paver Plan
1/4" = 1'-0"



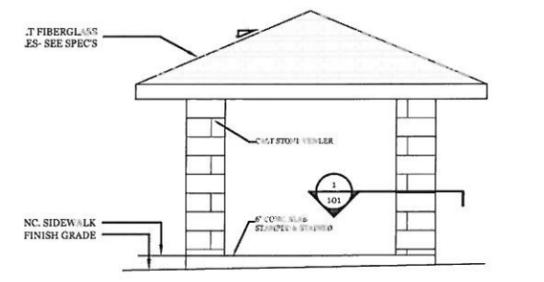
5 Pavilion - Detail
1" = 1'-0"



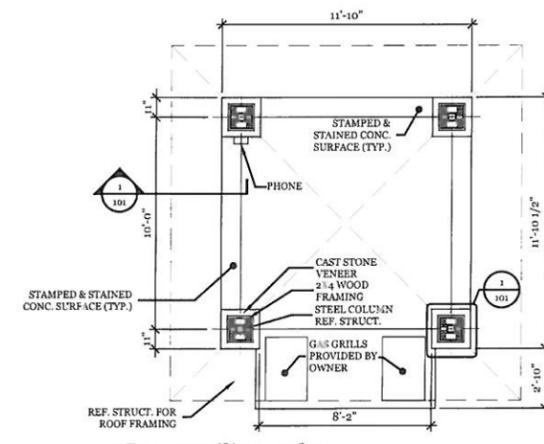
4 Pavilion - Detail
1" = 1'-0"



3 Pavilion - Section
1/4" = 1'-0"



2 Pavilion - Elevation
1/4" = 1'-0"



1 Pavilion - Plan
1/4" = 1'-0"

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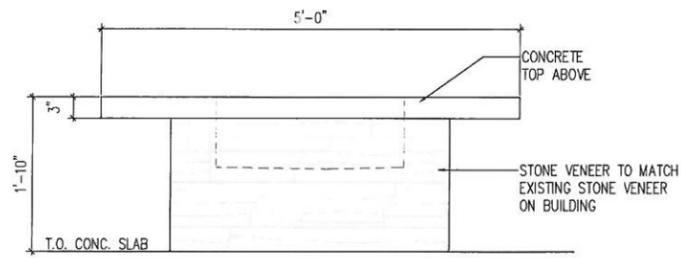
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Issue Date 04.07.16
Project No 160328CHS

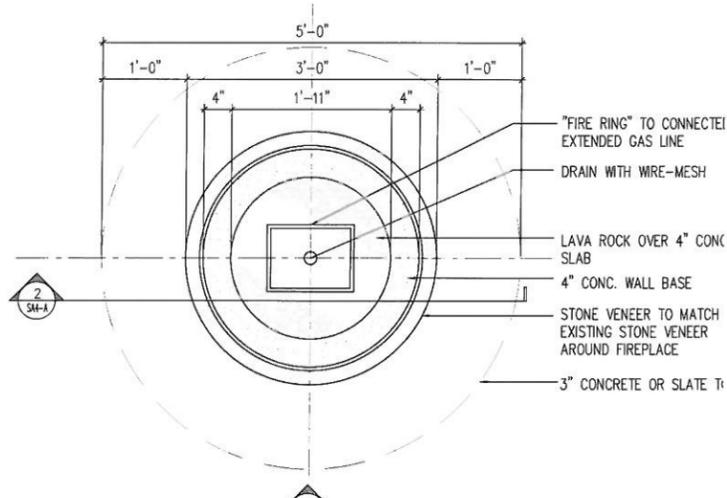
Sheet Title
Dumpster Enclosure

Sheet Number
A100c

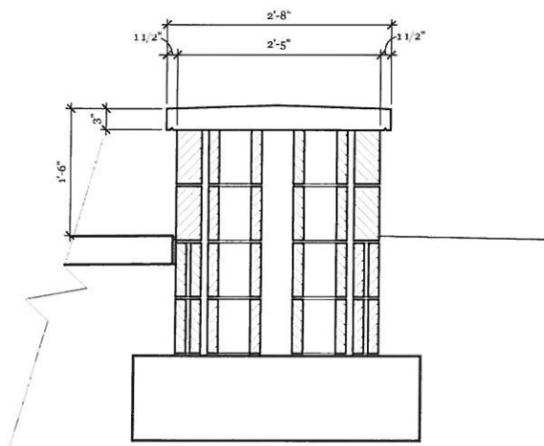
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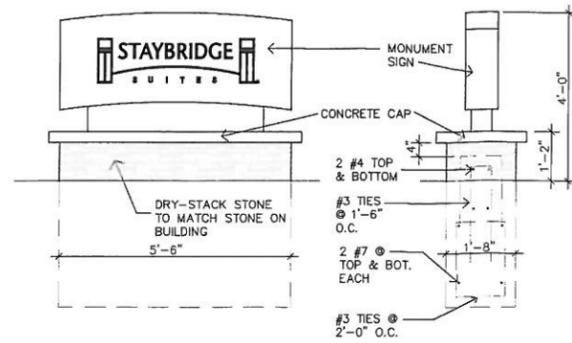
8 Fire Pit - Elevation
1" = 1'-0"



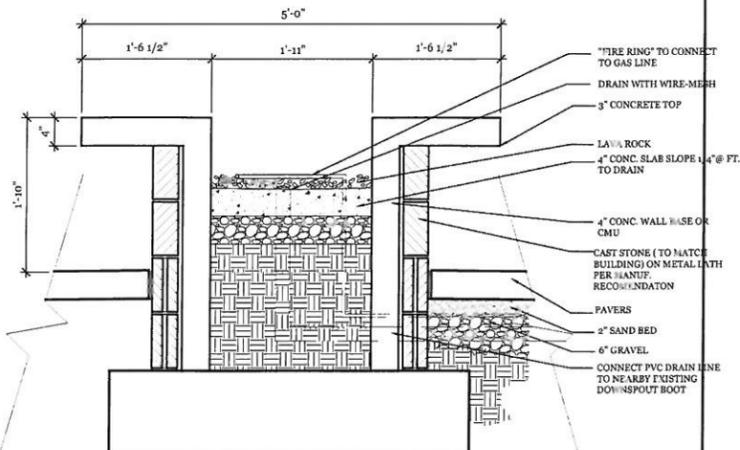
5 Fire Pit - Plan
1" = 1'-0"



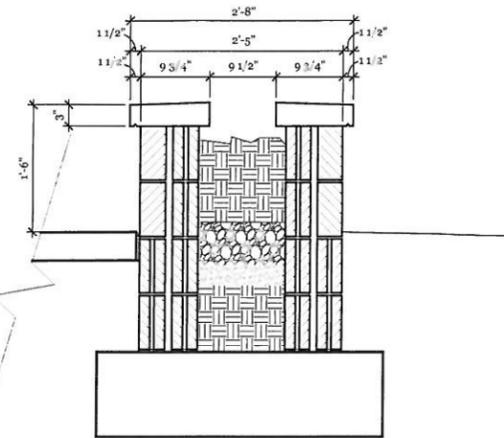
3 Trellis Wall - Section
1" = 1'-0"



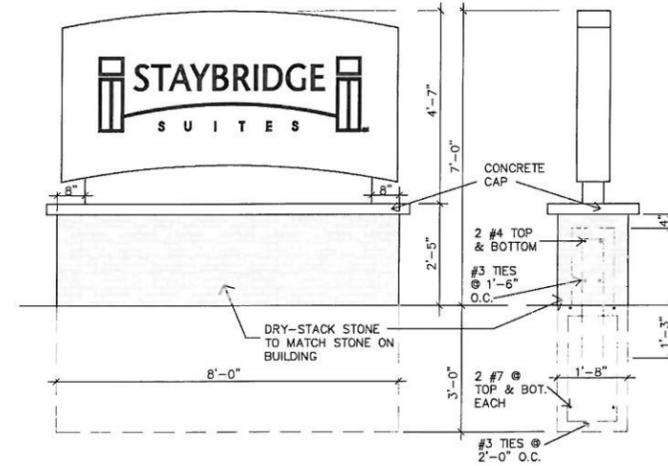
7 Directional signage
1/2" = 1'-0"



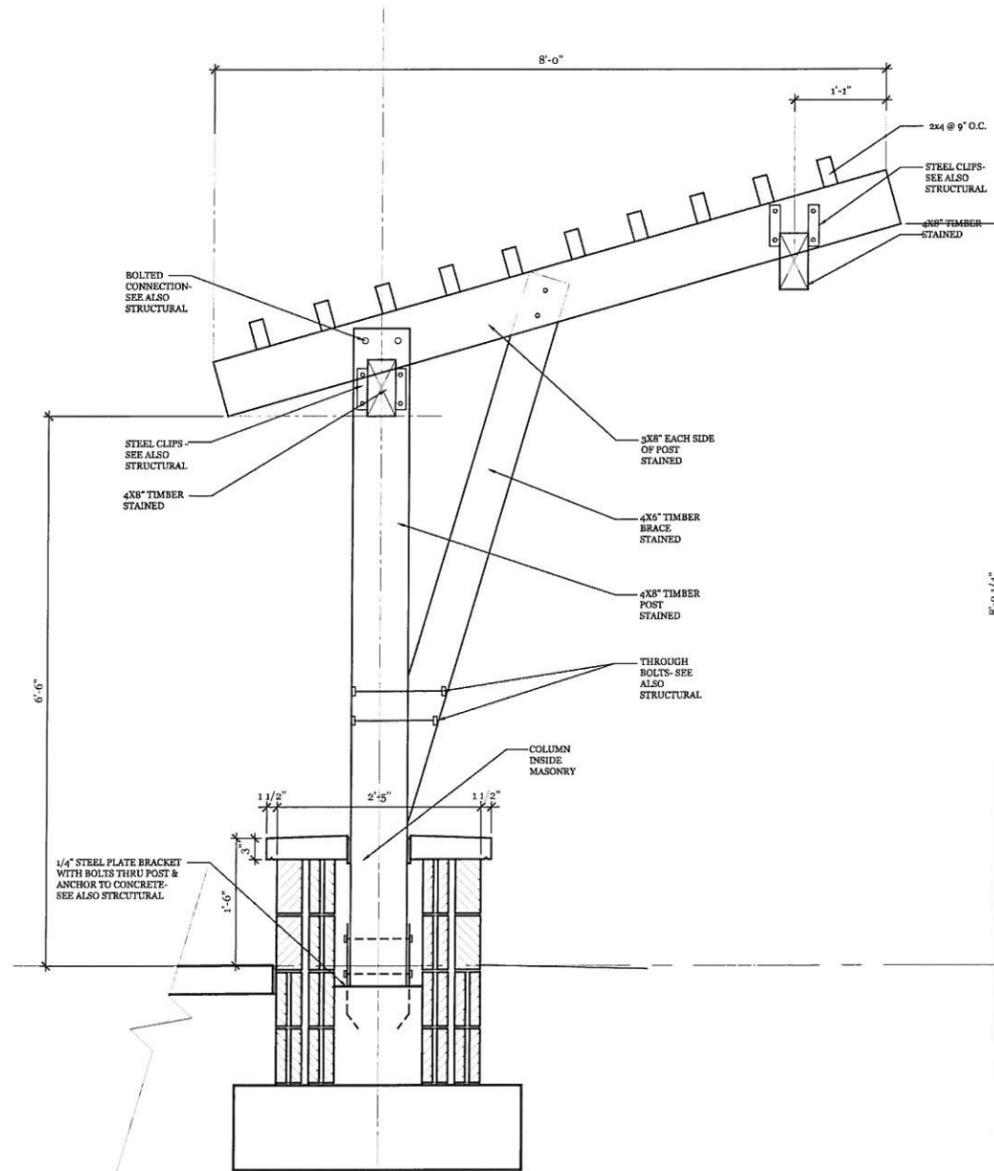
4 Fire Pit - Section
1" = 1'-0"



2 Planter - Section
1" = 1'-0"



6 Monumental Signage
1/2" = 1'-0"



1 Trellis - Section
1" = 1'-0"

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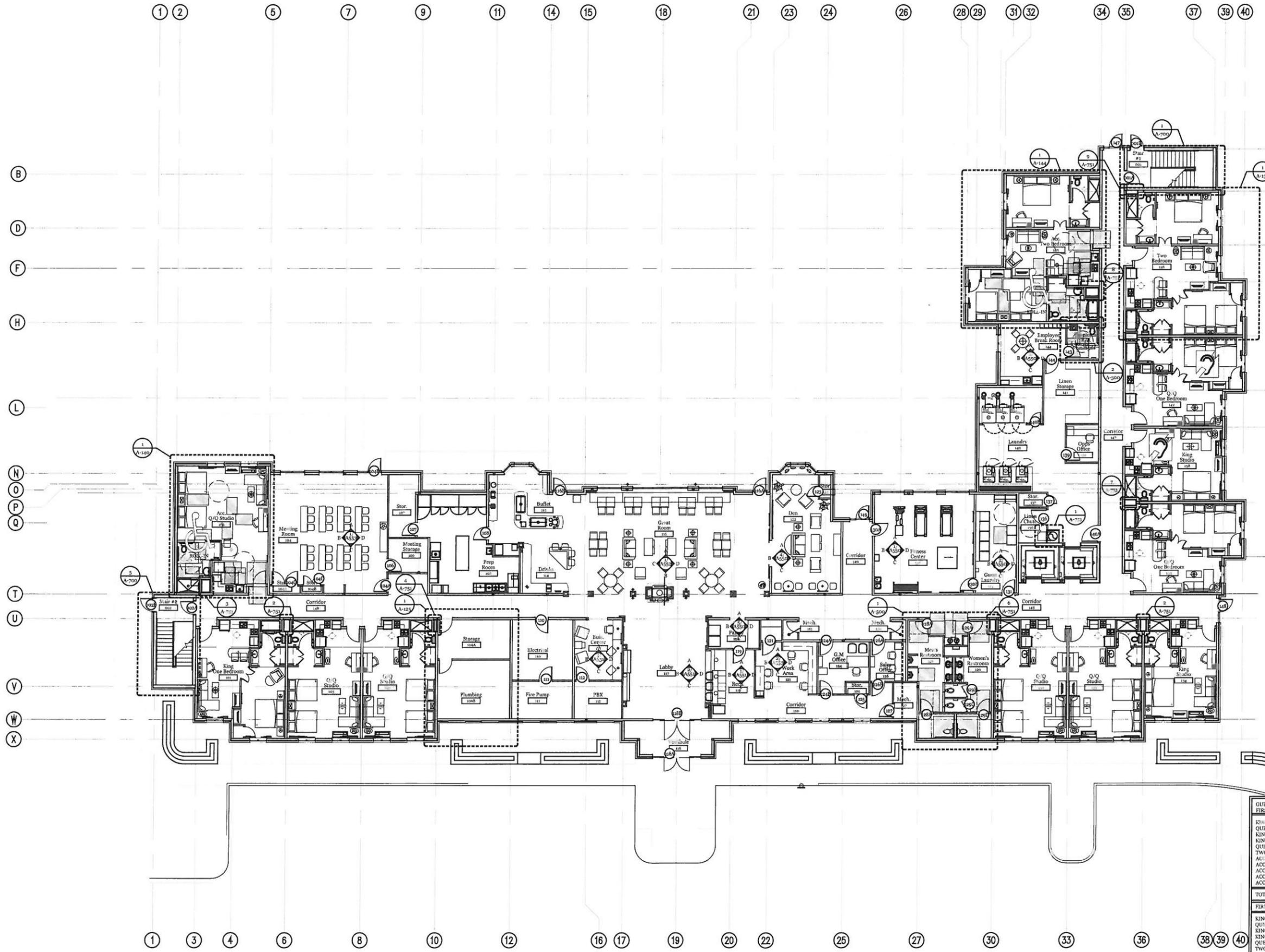
Sheet Title
Dumpster Enclosure

Sheet Number
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Drawn By **KKW**
 Checked By **MJR**
 Issue Date **04.07.16**
 Project No **160328CHS**

Sheet Title
First Floor Plan

Sheet Number
A-101b

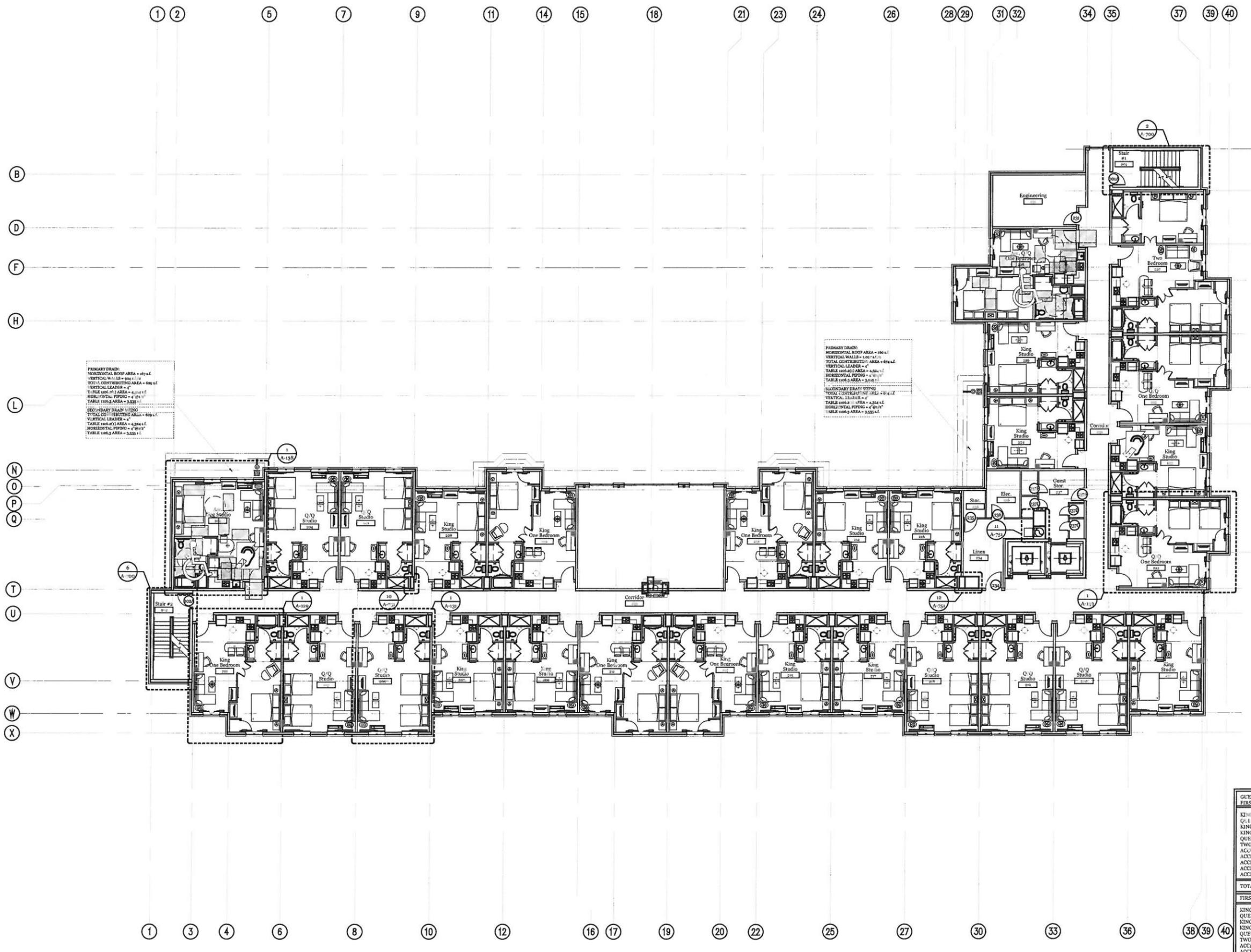
| | |
|---|----|
| GUEST ROOM BREAK DOWN: | |
| FIRST FLOOR: | |
| KING STUDIO: | 2 |
| QUEEN QUEEN STUDIO: | 4 |
| KING ONE P-DROOM: | 4 |
| KING ONE B-DROOM ALT: | 0 |
| QUEEN QUEEN ONE BEDROOM: | 2 |
| TWO BEDROOM: | 0 |
| ACCESSIBLE KING STUDIO: | 1 |
| ACCESSIBLE QUEEN QUEEN STUDIO: | 1 |
| ACCESSIBLE KING ONE BEDROOM: | 0 |
| ACCESSIBLE QUEEN QUEEN ONE BEDROOM: | 0 |
| ACCESSIBLE TWO BEDROOM: | 1 |
| TOTAL FIRST FLOOR: | |
| FIRST FLOOR GROSS SQUARE FOOTAGE: 17,810 S.F. | |
| KING STUDIO: | |
| QUEEN QUEEN STUDIO: | 39 |
| KING ONE BEDROOM: | 25 |
| KING ONE BEDROOM ALT: | 0 |
| QUEEN QUEEN ONE BEDROOM: | 0 |
| TWO BEDROOM: | 0 |
| ACCESSIBLE KING STUDIO: | 1 |
| ACCESSIBLE QUEEN QUEEN STUDIO: | 1 |
| ACCESSIBLE KING ONE BEDROOM: | 1 |
| ACCESSIBLE QUEEN QUEEN ONE BEDROOM: | 1 |
| ACCESSIBLE TWO BEDROOM: | 1 |
| OVERALL TOTAL ROOM COUNT ALL FLOORS: | |
| OVERALL TOTAL GROSS SQUARE FOOTAGE: 69,416 S.F. | |

First Floor Plan
 3/32" = 1'-0"

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Project
 Staybridge Suites
 Summerville, SC

Owner
 Indigo Investments



PRIMARY DRAIN:
 HORIZONTAL ROOF AREA = 494.4 LF
 VERTICAL WALLS = 484.4 LF
 TOTAL CONTRIBUTED AREA = 978.8 LF
 VERTICAL LEADER = 4"
 TABLE 1004.2 AREA = 4.334 LF
 HORIZONTAL PIPING = 4" @ 10'
 TABLE 1004.3 AREA = 3.528 LF

SECONDARY DRAIN SYSTEM:
 TOTAL CONTRIBUTED AREA = 494.4 LF
 VERTICAL WALLS = 484.4 LF
 TABLE 1004.2 AREA = 4.334 LF
 HORIZONTAL PIPING = 4" @ 10'
 TABLE 1004.3 AREA = 3.528 LF

| GUEST ROOM BREAK DOWN: | |
|--|------------|
| FIRST FLOOR: | |
| KING STUDIO: | 11 |
| QUEEN QUEEN STUDIO: | 7 |
| KING ONE BEDROOM: | 2 |
| KING ONE BEDROOM ALT: | 0 |
| QUEEN QUEEN ONE BEDROOM: | 2 |
| TWO BEDROOM: | 4 |
| ACCESSIBLE KING STUDIO: | 1 |
| ACCESSIBLE QUEEN QUEEN STUDIO: | 0 |
| ACCESSIBLE KING ONE BEDROOM: | 0 |
| ACCESSIBLE QUEEN QUEEN ONE BEDROOM: | 1 |
| ACCESSIBLE TWO BEDROOM: | 0 |
| TOTAL FIRST FLOOR: | 28 |
| FIRST FLOOR GROSS SQUARE FOOTAGE: 167,719 S.F. | |
| KING STUDIO: | 39 |
| QUEEN QUEEN STUDIO: | 26 |
| KING ONE BEDROOM: | 16 |
| KING ONE BEDROOM ALT: | 0 |
| QUEEN QUEEN ONE BEDROOM: | 8 |
| TWO BEDROOM: | 4 |
| ACCESSIBLE KING STUDIO: | 3 |
| ACCESSIBLE QUEEN QUEEN STUDIO: | 0 |
| ACCESSIBLE KING ONE BEDROOM: | 1 |
| ACCESSIBLE QUEEN QUEEN ONE BEDROOM: | 2 |
| ACCESSIBLE TWO BEDROOM: | 1 |
| OVERALL TOTAL ROOM COUNT ALL FLOOR: | 100 |
| OVERALL TOTAL GROSS SQUARE FOOTAGE: 69,486 S.F. | |

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Drawn By KKW
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 Project No 160328CHS

Sheet Title
 Second Floor Plan

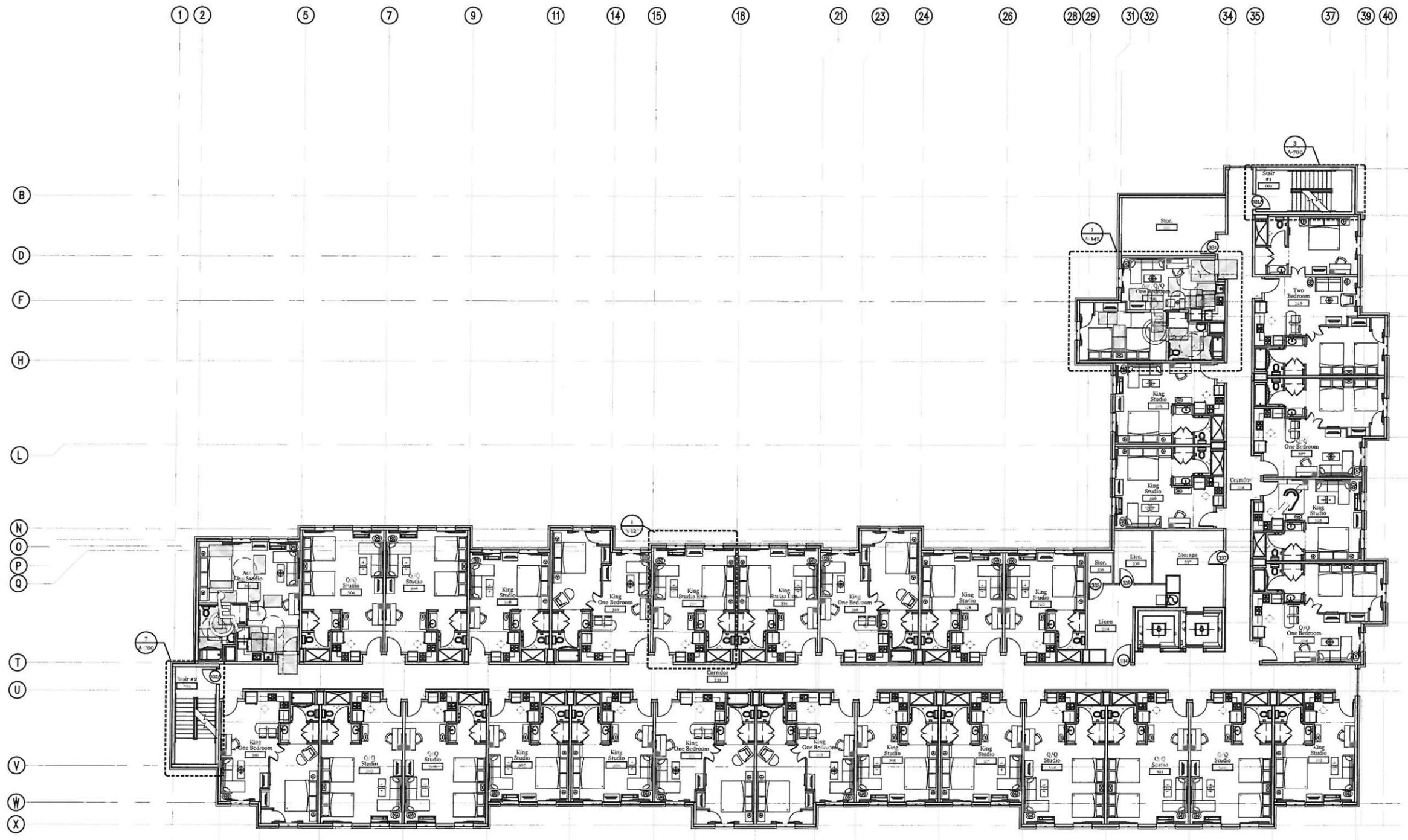
Sheet Number
A-102b

Second Floor Plan
 3/32" = 1'-0"

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Revision Date

| | |
|---|----|
| GUEST ROOM BREAK DOWN: | |
| FIRST FLOOR | |
| KING STUDIO: | 13 |
| QUEEN QUEEN STUDIO: | 7 |
| KING ONE BEDROOM: | 5 |
| KING QUEEN BEDROOM ALT: | 6 |
| QUEEN QUEEN ONE BEDROOM: | 2 |
| TWO BEDROOM: | 1 |
| ACCESSIBLE KING STUDIO: | 1 |
| ACCESSIBLE QUEEN QUEEN STUDIO: | 0 |
| ACCESSIBLE KING ONE BEDROOM: | 0 |
| ACCESSIBLE QUEEN QUEEN ONE BEDROOM: | 1 |
| ACCESSIBLE TWO BEDROOM: | 0 |
| TOTAL FIRST FLOOR: | |
| 30 | |
| FIRST FLOOR GROSS SQUARE FOOTAGE: 17,496 S.F. | |
| THIRD FLOOR | |
| KING STUDIO: | 39 |
| QUEEN QUEEN STUDIO: | 25 |
| KING ONE BEDROOM: | 16 |
| KING QUEEN BEDROOM ALT: | 0 |
| QUEEN QUEEN ONE BEDROOM: | 8 |
| TWO BEDROOM: | 4 |
| ACCESSIBLE KING STUDIO: | 3 |
| ACCESSIBLE QUEEN QUEEN STUDIO: | 1 |
| ACCESSIBLE KING ONE BEDROOM: | 1 |
| ACCESSIBLE QUEEN QUEEN ONE BEDROOM: | 2 |
| ACCESSIBLE TWO BEDROOM: | 1 |
| TOTAL THIRD FLOOR: | |
| 107 | |
| TOTAL ROOM COUNT ALL FLOORS: | |
| 137 | |
| TOTAL GROSS SQUARE FOOTAGE: 69,481 S.F. | |

Drawn By KKW
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Project No 160328CHS

Sheet Title
 Third Floor Plan

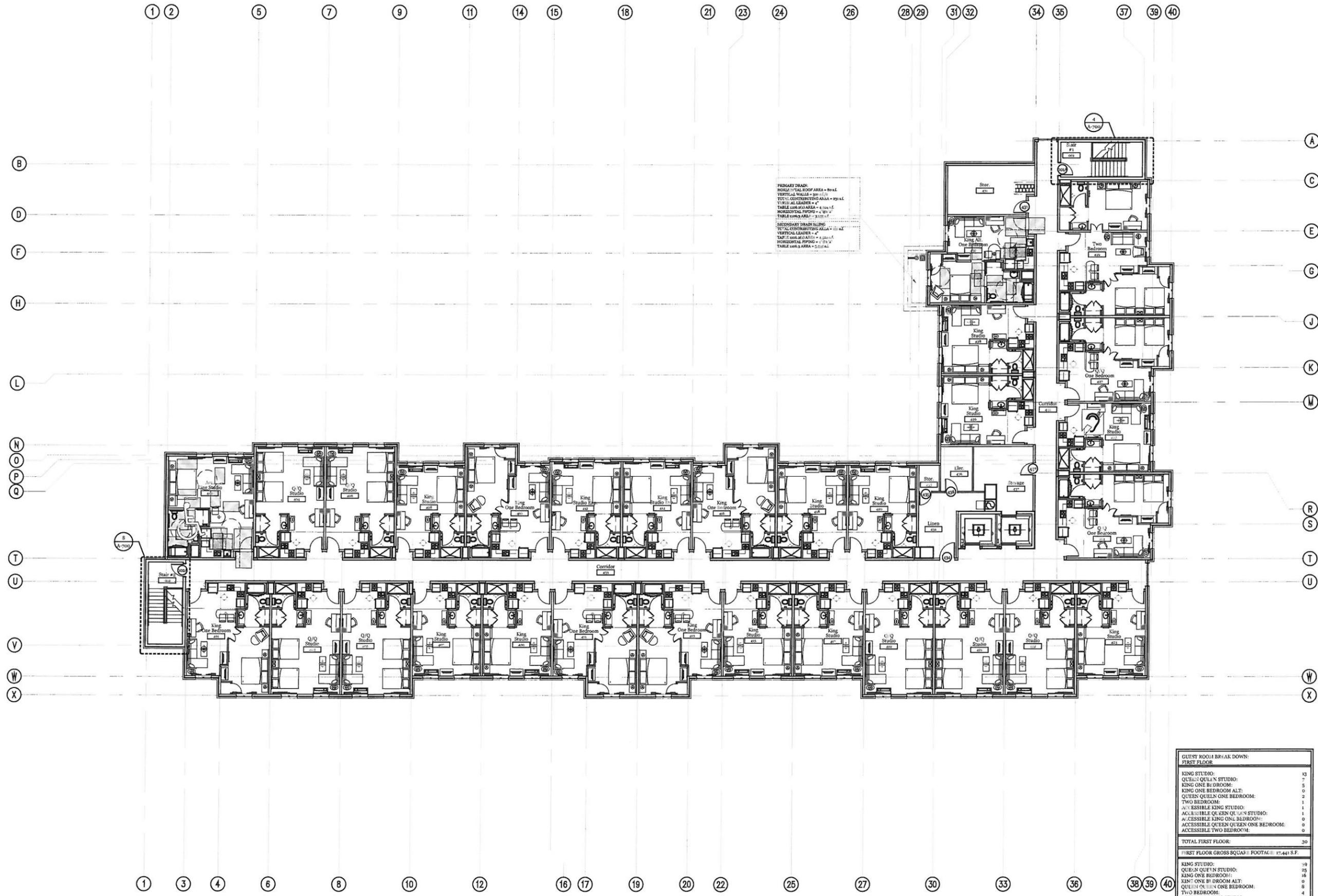
Sheet Number
A-103b

Third Floor Plan
 3/32" = 1'-0"

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PRIMARY DRAIN:
HORIZONTAL ROOF AREA = 80 s.f.
VERTICAL WALLS = 200 s.f.
TOTAL CONTRIBUTING AREA = 280 s.f.
VERTICAL LEADER = 4"
TABLE 1003.5(1) AREA = 4.104 s.f.
HORIZONTAL PIPING = 4.104 s.f.
TABLE 1003.5(2) AREA = 2.104 s.f.

SECONDARY DRAIN SILING:
TOTAL CONTRIBUTING AREA = 100 s.f.
VERTICAL LEADER = 4"
TAP F. 1003.5(1) AREA = 4.104 s.f.
HORIZONTAL PIPING = 4.104 s.f.
TABLE 1003.5(2) AREA = 2.104 s.f.

| GUEST ROOM BREAK DOWN: | |
|--|--------------------|
| FIRST FLOOR | |
| KING STUDIO: | 13 |
| QUEEN QUEEN STUDIO: | 7 |
| KING ONE BEDROOM: | 5 |
| KING ONE BEDROOM ALT: | 0 |
| QUEEN QUEEN ONE BEDROOM: | 2 |
| TWO BEDROOM: | 1 |
| ACCESSIBLE KING STUDIO: | 1 |
| ACCESSIBLE QUEEN QUEEN STUDIO: | 1 |
| ACCESSIBLE KING ONE BEDROOM: | 1 |
| ACCESSIBLE QUEEN QUEEN ONE BEDROOM: | 0 |
| ACCESSIBLE TWO BEDROOM: | 0 |
| TOTAL FIRST FLOOR: | 30 |
| FIRST FLOOR GROSS SQUARE FOOTAGE: 17,441 S.F. | |
| KING STUDIO: | 59 |
| QUEEN QUEEN STUDIO: | 25 |
| KING ONE BEDROOM: | 16 |
| KING ONE BEDROOM ALT: | 0 |
| QUEEN QUEEN ONE BEDROOM: | 8 |
| TWO BEDROOM: | 4 |
| ACCESSIBLE KING STUDIO: | 3 |
| ACCESSIBLE QUEEN QUEEN STUDIO: | 1 |
| ACCESSIBLE KING ONE BEDROOM: | 1 |
| ACCESSIBLE QUEEN QUEEN ONE BEDROOM: | 2 |
| ACCESSIBLE TWO BEDROOM: | 1 |
| GRAND TOTAL ROOM COUNT ALL FLOORS: | 100 |
| GRAND TOTAL GROSS SQUARE FOOTAGE: | 69,486 S.F. |



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Revision Date

Drawn By KKW
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Issue Date 04.07.16
Project No 160328CHS

Sheet Title
Fourth Floor Plan

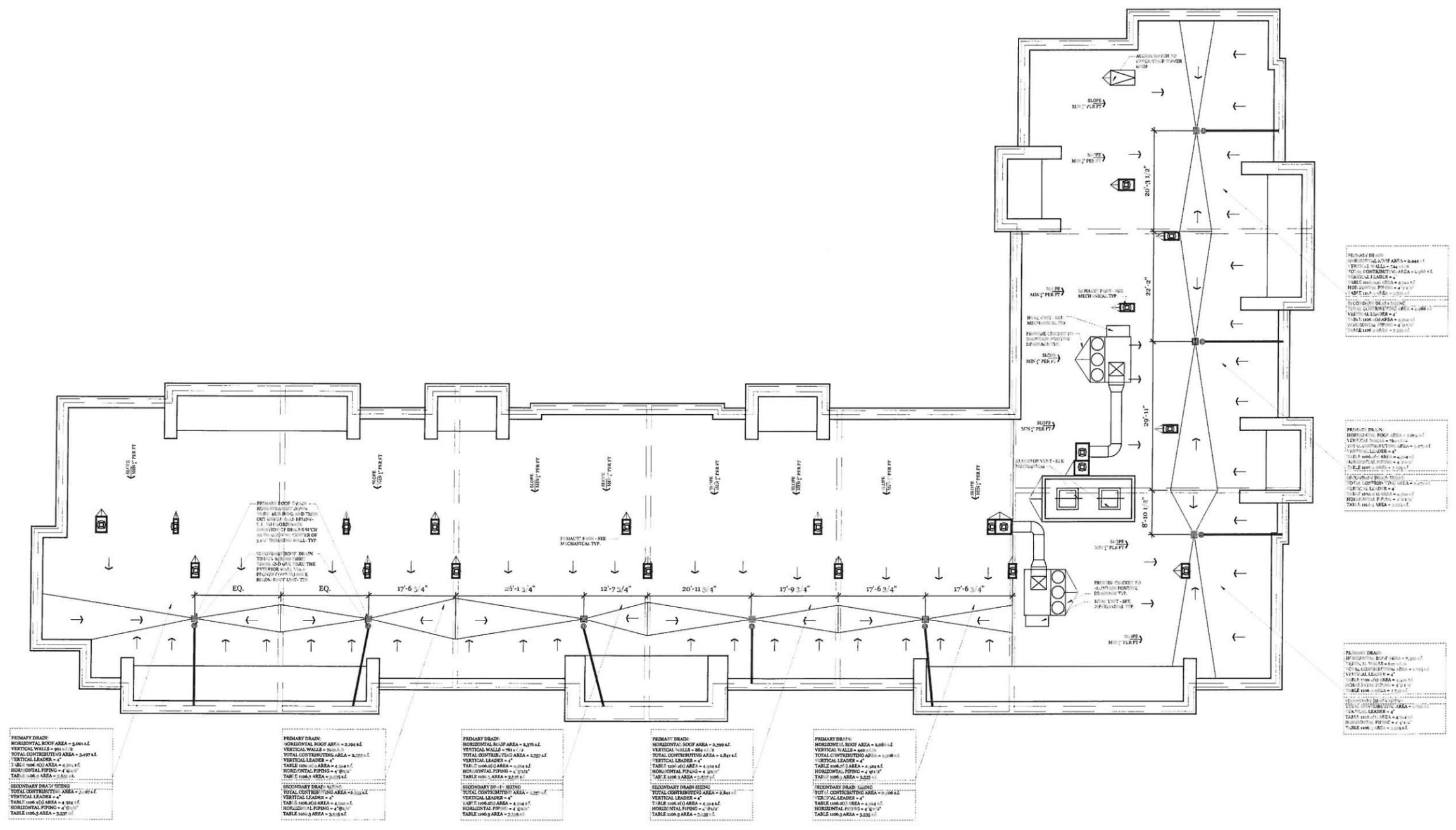
Sheet Number
A-104b

Fourth Floor Plan
3/32" = 1'-0"

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PRIMARY DRAIN
 HORIZONTAL ROOF AREA = 3,441 sq. ft.
 VERTICAL WALLS = 24 sq. ft.
 TOTAL CONTRIBUTING AREA = 3,465 sq. ft.
 VERTICAL LEADER = 4\"/>

PRIMARY DRAIN
 HORIZONTAL ROOF AREA = 3,441 sq. ft.
 VERTICAL WALLS = 24 sq. ft.
 TOTAL CONTRIBUTING AREA = 3,465 sq. ft.
 VERTICAL LEADER = 4\"/>

PRIMARY DRAIN
 HORIZONTAL ROOF AREA = 3,441 sq. ft.
 VERTICAL WALLS = 24 sq. ft.
 TOTAL CONTRIBUTING AREA = 3,465 sq. ft.
 VERTICAL LEADER = 4\"/>

PRIMARY DRAIN
 HORIZONTAL ROOF AREA = 3,000 sq. ft.
 VERTICAL WALLS = 80 sq. ft.
 TOTAL CONTRIBUTING AREA = 3,080 sq. ft.
 VERTICAL LEADER = 4\"/>

PRIMARY DRAIN
 HORIZONTAL ROOF AREA = 2,184 sq. ft.
 VERTICAL WALLS = 70 sq. ft.
 TOTAL CONTRIBUTING AREA = 2,254 sq. ft.
 VERTICAL LEADER = 4\"/>

PRIMARY DRAIN
 HORIZONTAL ROOF AREA = 2,276 sq. ft.
 VERTICAL WALLS = 84 sq. ft.
 TOTAL CONTRIBUTING AREA = 2,360 sq. ft.
 VERTICAL LEADER = 4\"/>

PRIMARY DRAIN
 HORIZONTAL ROOF AREA = 2,289 sq. ft.
 VERTICAL WALLS = 84 sq. ft.
 TOTAL CONTRIBUTING AREA = 2,373 sq. ft.
 VERTICAL LEADER = 4\"/>

PRIMARY DRAIN
 HORIZONTAL ROOF AREA = 2,081 sq. ft.
 VERTICAL WALLS = 80 sq. ft.
 TOTAL CONTRIBUTING AREA = 2,161 sq. ft.
 VERTICAL LEADER = 4\"/>



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Drawn By KKW
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Sheet Title
Roof Plan

Sheet Number
A-105

Roof Plan
3/32" = 1'-0"

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2 Side Elevation Plan Right
3/32" = 1'-0"



1 Front Elevation
3/32" = 1'-0"

GENERAL SIGNAGE NOTES:

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED BY SIGN VENDOR.
- MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.
- RACEWAY / WIREWAYS ARE NOT ALLOWED.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

GENERAL NOTES:

- SEE CIVIL DRAWINGS FOR LOCATIONS AND CONTINUATION OF ALL SIDEWALKS AND ADA RAMP FORM FACE OF BUILDING-TYP. GRADE-TYP.
- SEE CIVIL DRAWINGS FOR THE LOCATION OF ALL FINISH FLOOR INTERNAL ROOF LEADERS, SUPPLY AND DRAIN LINE CONNECTIONS-TYP.
- ALL HORIZONTAL PROJECTIONS TO HAVE POSITIVE SLOPE ON TOP AND CONTINUOUS DRIP EDGE ON THE UNDERSIDE-TYP.
- ALL CONNECTIONS SHALL BE FLASHED AND WEATHER TIGHT BLDG. ARCHITECT TO BE NOTIFIED IN WRITING OF ANY ON-SITE CONDITIONS THAT MAY BE IN QUESTION-TYP.
- PROVIDE 2X BLOCKING AS REQUIRED- (3) OPTIONS FOR BLOCKING: OPTION 1- P.T. WOOD FULLY WRAPPED IN EPDM MEMBRANE OR TPO ROOFING MEMBRANE TO PREVENT DIRECT CONTACT BETWEEN P.T. WOOD AND STEEL STAINLESS STEEL NAILS, BOLTS, WASHERS, & NUTS MUST BE USED-TYP. OPTION 2- USE CEDAR 2X BLOCKING OPTION 3- USE "TIMBER SILL" BLOCKING
- ALL STRUCTURAL STEEL INCLUDING COLUMNS, STEEL BEAMS, JOISTS, GIRDERS, ROOF DECKING, AND MISCELLANEOUS METALS SHALL BE DELIVERED TO THE SITE WITH A RUST INHIBITIVE GRAY PRIMER SHOP FINISH-TYP.
- ANY REQUIRED BOND BEAMS OR STEEL PLATE HEADERS ARE TO EXTEND A MIN. OF 8" EITHER SIDE OF MASONRY OPENING. SEE STRUCTURAL DWGS. ALSO-TYP.
- SEE ALSO G SERIES FOR LIFE SAFETY PLAN AND INFORMATION-TYP.
- REVIEW ALL SIGHT LINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED-TYP.

GENERAL NOTES COLOR:

- COLORS AND MATERIALS ON EXTERIOR OF BUILDING MATERIALS TO BE SIMILAR IN TYPE AND COLOR OF REMAINDER OF DEVELOPMENT. SEE ALSO DEVELOPER AND CITY APPROVAL LETTERS AS PART OF SUBMITTAL-TYP.

MASONRY GENERAL NOTES:

- WEEP HOLES MUST BE CLEAR AND LOCATED ONE COURSE ABOVE FINISH GRADE AROUND PERIMETER OF BUILDING. ADJUST LOCATIONS AS REQUIRED BASED UPON SITE AND FINISHED FIELD CONDITIONS. NO WEEP HOLES ARE TO BE BELOW GRADE-TYP.
- ALL THRU-WALL FLASHING TO BE PER DWGS. AND TO BE LOCATED ONE COURSE ABOVE FINISH GRADE AROUND PERIMETER OF BUILDING. ADJUST LOCATIONS AS REQUIRED BASED UPON SITE AND FINISHED FIELD CONDITIONS. NO FLASHING ARE TO BE BELOW GRADE. FLASHINGS ARE TO BE STEPPED AND ADJUSTED TO MAINTAIN A CONTINUOUS THRU-WALL FLASHING-TYP.
- ABOVE ALL APERTURES, FLASHING TO EXTEND 8" EITHER SIDE OF OPENING-TYP.
- ALL AIR CLEARANCES BETWEEN MASONRY AND BASE WALL MUST BE MAINTAINED AS PER THE DWGS. AS CLEAR SPACE FREE OF DEBRIS.
- ALL MASONRY REINFORCING BOTH VERTICAL AND HORIZONTAL TO BE PER ARCHITECTURAL AND STRUCTURAL DWGS-TYP.
- G.C. & SUBS TO COORDINATE ANY ADDITIONAL REQUIREMENTS FOR FLASHING AND WEEP HOLES W/ STOREFRONT AND WINDOW SUPPLIERS-TYP.
- GROUT SOLID ANCHORS AND ALL BELOW GRADE CONDITIONS-TYP.
- ANY REQUIRED BOND BEAMS OR STEEL PLATE HEADERS ARE TO EXTEND A MIN. OF 8" EITHER SIDE OF MASONRY OPENING. SEE STRUCTURAL DWGS. ALSO-TYP.
- NOT MORE THAN 1" OF ANY ONE BRICK IS TO BE CUT IN ORDER TO MAKE UP ANY COURSE DIFFERENCE DUE TO FIELD CONDITIONS. IF CUTTING OF BRICKS IS REQUIRED IN ORDER TO MAKE UP COURSE IT IS TO OCCUR ON OR NEAR THE CENTERLINE-TYP.

GENERAL E.I.F.S. NOTES:

- ALL EIFS MUST BE OF THE FULLY DRAINABLE KIND, AND PROPERLY INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS. PHYSICAL SAMPLE BLOCK UP TO BE PROVIDED IN THE FIELD WITH CORRECT COLORS AND REVEALS USED, FOR OWNER AND ARCHITECT REVIEW AND APPROVAL PRIOR TO FULL INSTALLATION PROJECT-TYP.
- WHEN LAYING OUT EIFS SCORE, JOINT REVEALS, ALWAYS LOCATE THEM BASED ON THEIR DISTANCE FROM THE FINISH FLOOR, NOT THE TOP OF WALL-TYP.

KEY NOTES

- EMERGENCY OVERFLOW ROOF SCUPPER
- CONTROL JOINT-LOCATE PER MFR'S RECOMMENDATIONS
- COORDINATE ELECTRICAL REQUIREMENTS FOR SIGNAGE - REFER ALSO TO 'BUILDING SIGNAGE' BELOW ELEVATOR OVERRUN
- PRE-FINISHED ALUMINUM WINDOWS AND LOUVERS,
- ALUMINUM STOREFRONT
- PARAPET AT LOW ROOF
- AUTOMATIC SLIDING DOORS
- CLEARANCE SIGN
- INSULATED HOLLOW METAL DOOR AND FRAME
- COVERED SECONDARY ENTRY
- EXTERIOR WALL SOUNCE
- ADJACENT EXISTING BUILDING TO REMAIN

GENERAL NOTES

- REVIEW ALL SIGHT LINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
- DO NOT EXCEED (5) STRUCTURAL BAYS WITHOUT INTRODUCING A VERTICAL ELEMENT (IE BUILDING OFFSET, PILASTER, ETC.)
- ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.

BUILDING SIGNAGE

- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
- MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN. ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.
- RACEWAYS / WIREWAYS ARE NOT ALLOWED.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

COLOR & FINISH LEGEND

| | |
|-----|---------------------------------------|
| N 1 | NICHHA PANELS ROUGH SAWN COLOR: CEDAR |
| N 2 | NICHHA PANELS - MOCHA |
| E 1 | EIFS COLOR #1 |
| E 2 | EIFS COLOR #2 |
| S 1 | CASTSTONE |

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Sheet Title
Exterior Elevations

Sheet Number
A-200

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2 Side Elevation Plan Left
3/32" = 1'-0"



1 Rear Elevation
3/32" = 1'-0"

GENERAL SIGNAGE NOTES:

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- MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.
- ELECTRICAL AND FIBER CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.
- RACEWAYS / WIREWAYS ARE NOT ALLOWED.
- PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
- GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

GENERAL NOTES:

- SEE CIVIL DRAWINGS FOR LOCATIONS AND CONTINUATION OF ALL SIDEWALKS AND ADA RAMP FORM FACE OF BUILDING-TYP. GRADE-TYP.
- SEE CIVIL DRAWINGS FOR THE LOCATION OF ALL PILING FROM INTERNAL ROOF LEADERS, SUPPLY AND DRAIN LINE CONNECTIONS-TYP. GRADE-TYP.
- ALL HORIZONTAL PROJECTIONS TO HAVE POSITIVE SLOPE ON TOP AND CONTINUOUS DRIP EDGE ON THE UNDERSIDE-TYP.
- ALL CONNECTIONS SHALL BE FLASHED AND WEATHER TIGHT BLDG. ARCHITECT TO BE NOTIFIED IN WRITING OF ANY ON-SITE CONDITIONS THAT MAY BE IN QUESTION-TYP.
- PROVIDE 2X BLOCKING AS REQUIRED- (3) OPTIONS FOR BLOCKING: OPTION 1- P.T. WOOD FULLY WRAPPED IN EPDM MEMBRANE OR TPO ROOFING MEMBRANE TO PREVENT DIRECT CONTACT BETWEEN P.T. WOOD AND STEEL. STAINLESS STEEL NAILS, BOLTS, WASHERS, & NUTS MUST BE USED-TYP. OPTION 2- USE CEDAR 2X BLOCKING OPTION 3- USE "TIMBER SILL" BLOCKING
- ALL STRUCTURAL STEEL INCLUDING COLUMNS, STEEL BEAMS, JOISTS, GIRDERS, ROOF DECKING, AND MISCELLANEOUS METALS SHALL BE DELIVERED TO THE SITE WITH A RUST INHIBITIVE GRAY PRIMER SHOP FINISH-TYP.
- ANY REQUIRED BOND BEAMS OR STEEL PLATE HEADERS ARE TO EXTEND A MIN. OF 8" EITHER SIDE OF MASONRY OPENING. SEE STRUCTURAL DWGS. ALSO-TYP.
- SEE ALSO G SERIES FOR LIFE SAFETY PLAN AND INFORMATION-TYP.
- REVIEW ALL SIGHT LINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED-TYP.

GENERAL NOTES COLOR:

- COLORS AND MATERIALS ON EXTERIOR OF BUILDING MATERIALS TO BE SIMILAR IN TYPE AND COLOR OF REMAINDER OF DEVELOPMENT. SEE ALSO DEVELOPER AND CITY APPROVAL LETTERS AS PART OF SUBMITTAL-TYP.

MASONRY GENERAL NOTES:

- WEEP HOLES MUST BE CLEAR AND LOCATED ONE COURSE ABOVE FINISH GRADE AROUND PERIMETER OF BUILDING. ADJUST LOCATIONS AS REQUIRED BASED UPON SITE AND FINISHED FIELD CONDITIONS. NO WEEP HOLES ARE TO BE BELOW GRADE-TYP.
- ALL THRU WALL FLASHING TO BE PER DWGS. AND TO BE LOCATED ONE COURSE ABOVE FINISH GRADE AROUND PERIMETER OF BUILDING. ADJUST LOCATIONS AS REQUIRED BASED UPON SITE AND FINISHED FIELD CONDITIONS. NO FLASHING ARE TO BE BELOW GRADE. FLASHINGS ARE TO BE STEPPED AND ADJUSTED TO MAINTAIN A CONTINUOUS THRU-WALL FLASHING-TYP.
- ABOVE ALL APERTURES, FLASHING TO EXTEND 8" EITHER SIDE OF OPENING-TYP.
- ALL AIR CLEARANCES BETWEEN MASONRY AND BASE WALL MUST BE MAINTAINED AS PER DWGS. AS CLEAR SPACE FREE OF DEBRIS.
- ALL MASONRY REINFORCING BOTH VERTICAL AND HORIZONTAL TO BE PER ARCHITECTURAL AND STRUCTURAL DWGS-TYP.
- G.C. & SUBS TO COORDINATE ANY ADDITIONAL REQUIREMENTS FOR FLASHING AND WEEP HOLES W/ STOREFRONT AND WINDOW SUPPLIERS-TYP.
- CRUET SOLID ANCHOR AND ALL BELOW GRADE CONDITIONS-TYP.
- ANY REQUIRED BOND BEAMS OR STEEL PLATE HEADERS ARE TO EXTEND A MIN. OF 8" EITHER SIDE OF MASONRY OPENING. SEE STRUCTURAL DWGS. ALSO-TYP.
- NOT MORE THAN 1/2" OF ANY ONE BRICK IS TO BE CUT IN ORDER TO MAKE UP ANY COURSING DIFFERENCE DUE TO FIELD CONDITIONS. IF CUTTING OF BRICKS IS REQUIRED IN ORDER TO MAKE UP COURSING IT IS TO OCCUR ON OR NEAR THE CENTERLINE-TYP.

GENERAL E.I.F.S. NOTES:

- ALL EIFS MUST BE OF THE FULLY DRAINABLE KIND, AND PROPERLY INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS. PHYSICAL SAMPLE MOCK UP TO BE PROVIDED IN THE FIELD WITH CORRECT COLORS AND REVEALS USED, FOR OWNER AND ARCHITECT REVIEW AND APPROVAL PRIOR TO FULL INSTALLATION PROJECT-TYP.
- WHEN LAYING OUT EIFS SCORE, JOINT REVEALS, ALWAYS LOCATE THEM BASED ON THEIR DISTANCE FROM THE FINISH FLOOR, NOT THE TOP OF WALL-TYP.

- KEY NOTES**
- EMERGENCY OVERFLOW ROOF SCUPPER
 - CONTROL, JOINT-LOCATE PER MFR'S RECOMMENDATIONS
 - COORDINATE ELECTRICAL REQUIREMENTS FOR SIGNAGE - REFER ALSO TO BUILDING SIGNAGE BELOW
 - ELECTRICAL OVERCURREN
 - PRE-FINISHED ALUMINUM WINDOWS AND LOUVERS.
 - ALUMINUM STOREFRONT
 - PARAPET AT LOW ROOF
 - AUTOMATIC SLIDING DOORS
 - CLEARANCE SIGN
 - INSULATED HOLLOW METAL DOOR AND FRAME
 - COVERED SECONDARY ENTRY
 - EXTERIOR WALL SPOUNCE
 - ADJACENT EXISTING BUILDING TO REMAIN

- GENERAL NOTES**
- REVIEW ALL SIGHT LINES AROUND PROPERTY BEFORE LOCATING ROOFTOP EQUIPMENT. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED.
 - DO NOT EXCEED (5) STRUCTURAL BAYS WITHOUT INTRODUCING A VERTICAL ELEMENT (IE. BUILDING OFFSET, PILASTER, ETC.)
 - ALL EXTERIOR VENTS, GRILLES, MECHANICAL LOUVERS AND EXTERIOR HOLLOW METAL DOORS TO BE FINISHED TO MATCH ADJACENT EXTERIOR MATERIAL.

- BUILDING SIGNAGE**
- ALL SIGNAGE INDICATED FOR ILLUSTRATIVE PURPOSES ONLY. LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.
 - MINIMUM 3/4" PLYWOOD BACKERBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN. ELECTRICAL AND FIBER CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.
 - RACEWAYS / WIREWAYS ARE NOT ALLOWED. PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.
 - GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR REMOTE TRANSFORMERS COORDINATED AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

COLOR & FINISH LEGEND

| | | |
|--|-----|---------------------------------------|
| | N 1 | NICHHA PANELS ROUGH SAWN COLOR: CEDAR |
| | N 2 | NICHHA PANELS - MOCHA |
| | E 1 | EIFS COLOR #1 |
| | E 2 | EIFS COLOR #2 |
| | S 1 | CASTSTONE |

Project
Staybridge Suites
Summerville, SC

Owner
Indigo Investments



124 Floyd Smith Drive
Suite 375
Charlotte, NC 28262
Tel - 704-688-7500

7301 Rivers Avenue
Suite 188
North Charleston, SC 29406
Tel - 843-531-6848
www.R4architecture.com

| Revision | Date |
|----------|------|
| | |
| | |
| | |
| | |

Drawn By KKW
Checked By MJR
Issue Date 04.07.16
Project No 160328CHS

Sheet Title
Exterior Elevations

Sheet Number
A-201

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Revision Date

Drawn By KKW
Checked By MJR
Issue Date 04.07.16
Project No 160328CHS

Sheet Title
Exterior Rendering

Sheet Number
A-203



R
IV
ARCHITECTURE, P.A.

**STAFF REPORT
CDRB Meeting
November 17, 2016 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: November 9, 2016

GENERAL INFORMATION

Project/Applicant: Summerville Commons
Property Owner: Fiona Haulter/GBT Realty Corp
Requested Action: The applicant is requesting Preliminary Approval for a new shopping center development.
Requested Approval: Preliminary Approval
Existing Zoning: B-3, General Business/portion must be annexed
Location: Berlin G. Myers Parkway and E. 9th North Street (unopened)
Existing Land Use: Vacant
Ordinance Reference:

Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

This project is requesting Preliminary Approval. Based on preliminary staff review, the project does not fully meet the zoning ordinance. The Dorchester/Berkeley County line splits this property. This needs to be shown on the site plan to verify if any variances from the BZA will be needed for placement of the buildings. Also, a portion of the property and the area where the detention pond is shown are not currently in the Town limits – these will need to apply for annexation before final approval will be reviewed by the CDRB and must be annexed prior to submitting for permitting. The subdivision of the detention pond property will need to have frontage on a right-of-way (this is not clearly shown on the plans). The property is over the allowed impervious surface of 80% - only the Board of Zoning Appeals can approve a variance to the impervious surface allowance. The front landscape border on Berlin G. Myers Parkway does not meet the ordinance requirements. The Board has the ability to reduce this if they feel it meets the intent of the ordinance or in unique situations. Sod is not typically allowed in landscape islands as it is difficult to maintain and competes with trees for water, please replace with mulch. If the parcel is to be subdivided, a side landscape border of five feet on each side property line is required. Also, the retaining wall along one side is within the side landscape border. Again, the Board has the ability to reduce this if they feel it meets the intent of the ordinance or in unique situations. Separate the canopy and understory trees in the plant schedule. Palmetto trees are not typically allowed to count as required trees. The Class II rear buffer does not meet the ordinance requirements

of 4 canopy trees, 6 understory trees, and 8 evergreen shrubs for each 100 linear feet (not averaged across the entire buffer). A few of the light pole locations appear to conflict with required landscape island trees. Staff needs clarification on the square footage of retail floor space and the use of the outbuilding pad to determine if parking requirements are being met (retail parking requirements are based on retail floor space, not overall square footage). If parking, once clarified, does not meet the parking requirements, then a parking justification letter will be required. There are too many parking spaces shown in a row without a parking island on the northern side of the site (ordinance only allows for 12 in a row, but the Board has the authority to approve otherwise). The Town's Engineering Department also had the following comments: all of Farm Springs Dr. must be dedicated to the Town before permitting; however, the condition of Farm Springs Drive may be poor and repairs/improvements needed, so the Town will need to inspect Farm Spring Drive's roadway and drainage system and create a punch list of items that must be addressed prior to Town's acceptance; coordinate with the adjacent property owner to have the right-of-way of E. 9th North St. dedicated to the Town once it is completed; label proposed R/W width (50' min.) and adjacent 5' GUE and 10' Power Easement adjacent to the R/W - these adjacent easements to be reconfigured if justified; show additional R/W for sight distance triangle at intersection with Farm Springs Drive; no pipe in the center of E. 9th N. Street, and analysis needed for the stormwater design to ensure the existing downstream pipes that E. 9th N. Street is connecting to can handle additional flows—it appears additional offsite drainage improvements and easements will be needed; the sidewalk along Farm Springs Dr. must connect to the interior of the site; any proposed additional curb cuts on E. 9th North St. or Farm Springs Dr. will need to be shown and approved by the Town before the roads are accepted; ensure that the turning radius at E. 9th North St. and Farm Springs Dr. is large enough for tractor trailer trucks; the distance between the driveways shown off of E. 9th North St. does not appear to meet the ARMS manual requirements; the curb cut off of Farm Springs Dr. needs to align completely with the curb cut into the apartment complex; Traffic Impact Study needs to coordinate with adjacent property owners to include all proposed future development; Traffic Impact Study of the area's development may warrant turn lanes on E. 9th St and Berlin G Myers which would impact the parking/site layout because of the additional right-of-way; if the traffic signal at E. 9th North St. is warranted and approved, it will need to be adaptive and the signal at Marymeade Dr. will need to be upgraded to an adaptive signal; the drainage and utility plans are difficult to interpret – a master drainage plan is needed to determine if the offsite detention as shown is feasible; a minimum of a ten foot maintenance shelf must be provided along the entire edge of the detention pond within the property boundaries of the pond property and adequate access and drainage easements must be platted; staff has much concern with the close proximity of proposed pipes to existing pipes and ditches— consider utilizing underground detention for the site or combine drainage systems; confirm if a ditch is running through the property from E. 9th N. Street to the existing 35' Drainage Easement at Farm Springs Drive; any offsite flows must be accounted for in the drainage analysis; the new pipe adjacent to "Retail B" may not work: it will require an easement if the property is to be subdivided which could impact the building location and proposed landscaping; realign the pipe crossing under Farm Springs Drive—preferably at 90 degree angle but not less than 45 degrees; remove the storm manhole from within the roadway; coordinate with Engineering to address stormwater management design concerns.

Town of Summerville



Date Received: 11/4/16
Amount Paid: \$150.00
Staff Initial: [Signature]

Department of Planning & Development
200 S. Main Street
Summerville, SC 29483

COMMERCIAL DESIGN REVIEW BOARD APPLICATION

REQUIREMENTS: This application, 9 sets (eight 11x17 and one full size) of plans (site, landscape, and architectural), and any applicable fees (see fee schedule) must be submitted to the Department of Planning and Development at least 15 days prior to the Commercial Development Design Review Board meeting. Applications must include all applicable information required in the Commercial Design Review Application Checklist and all sets of plans must be collated and folded. Final plans must carry the seal of a registered architect or engineer licensed in the State of South Carolina. Applicants or a representative must be present for an item to be heard.

REQUEST:

Conceptual Review (only requires photos of site, proposed building elevations, and site plan)
[X] Preliminary Approval (see attached checklist)
Final Approval (see attached checklist) Preliminary Approval Granted On: _____

PROJECT NAME: Summerville Commons

PROJECT'S COMPLETE ADDRESS (if in shopping center, indicate name)
Southeast corner of the Berlin G. Myers Parkway and East 9th North Street intersection (Berkeley County TMS #'s: 232-00-02-179, 232-02-167; Dorchester County TMS #'s: 138-00-00-036, 138-00-00-035)

PRIMARY CONTACT'S EMAIL ADDRESS: _____

Owner/Developer's Name Fiona Haulter; Jeff Pape; Thom Hickman Firm GBT Realty Corp Phone 615-370-0670
Primary Contact's Name Fiona Haulter; Jeff Pape Firm Phone
Architect's Name Steve Maher; Doug Cantrell Firm MJM Architects Phone 615-244-8170
Landscape Arch. Name David Floyd Firm Site Solutions Phone 404-704-9411
Engineers Name Justin Muller Firm Kimley-Horn Phone 312-924-7403

The Commercial Development Design Review Board will meet at 4:00 p.m. on Oct. 20, 2016

I have read and understand the instructions accompanying this application form. I certify that all information required by the Site and Architectural Plan Checklist is included and the application is complete. If an application is found to be incomplete, the primary contact will be notified and the application will be removed from the agenda. I also understand that any changes made to the drawings approved by the Commercial Design Review Board must be resubmitted for approval of any change or alteration. A Certificate of Occupancy will not be issued if the building and/or site and landscaping differ from the approved plans.

[Signature]
Signature of Owner/Developer

Town of Summerville



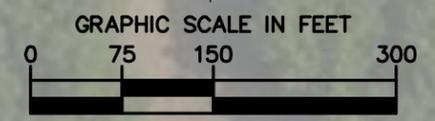
Department of Planning & Development

COMMERCIAL DESIGN REVIEW BOARD APPLICATION CHECKLIST **MUST BE COMPLETED AND SUBMITTED WITH APPLICATION PACKAGE**

The Commercial Design Review Board meets the third Thursday of each month. Without exception, all required materials must be submitted by close of business 15 days prior to the meeting to be placed on the agenda. Materials shall be 11x17 with one full size to scale for staff review.

- Tax Map Number(s) for proposed property.
- Tree survey of parcel as well as proposed footprint of building(s). *(If applicable)*
- Site plan, drawn to scale showing exact size, shape and location of existing and/or proposed buildings.
- Site plan (see above) overlaid on tree survey of existing site. *(If applicable)*
- For signs, overall dimensions of sign(s), location and/or placement of sign, and dimensions of front of building.
- Advertising features and signs, including material type, lighting (if any), and colors. *(If applicable)*
- Floor plan.
- All proposed building elevations.
- Color rendering and/or samples of colors to be used in proposed project.
- Materials to be used in the proposed project (bring samples to meeting).
- Location and layout of parking areas and driveways.
- Pervious/impervious surface calculations.
- Proposed grade and drainage plans. *(If applicable)*
- Proposed water and sewer facilities including electrical gas, cable, etc. *(If applicable)*
- Landscaping plans including screening and fencing, and showing any existing trees to be saved.
- Photometric plan of site lighting (manufacturer's specifications will be accepted) and cut sheets showing light fixtures and specifications (i.e. pole height). *(If applicable)*
- Photographs of the proposed project site, properties on either side of proposed site, and of properties across the street from the project site.

SITE PHOTO KEY



October 3, 2018 4:27:02 PM K:\VMS\180445001\180445001.dwg User: JLD Date: 10/3/2018 Time: 4:27:02 PM Plot Date: 10/3/2018 Time: 4:27:02 PM Plot Scale: 1.0000
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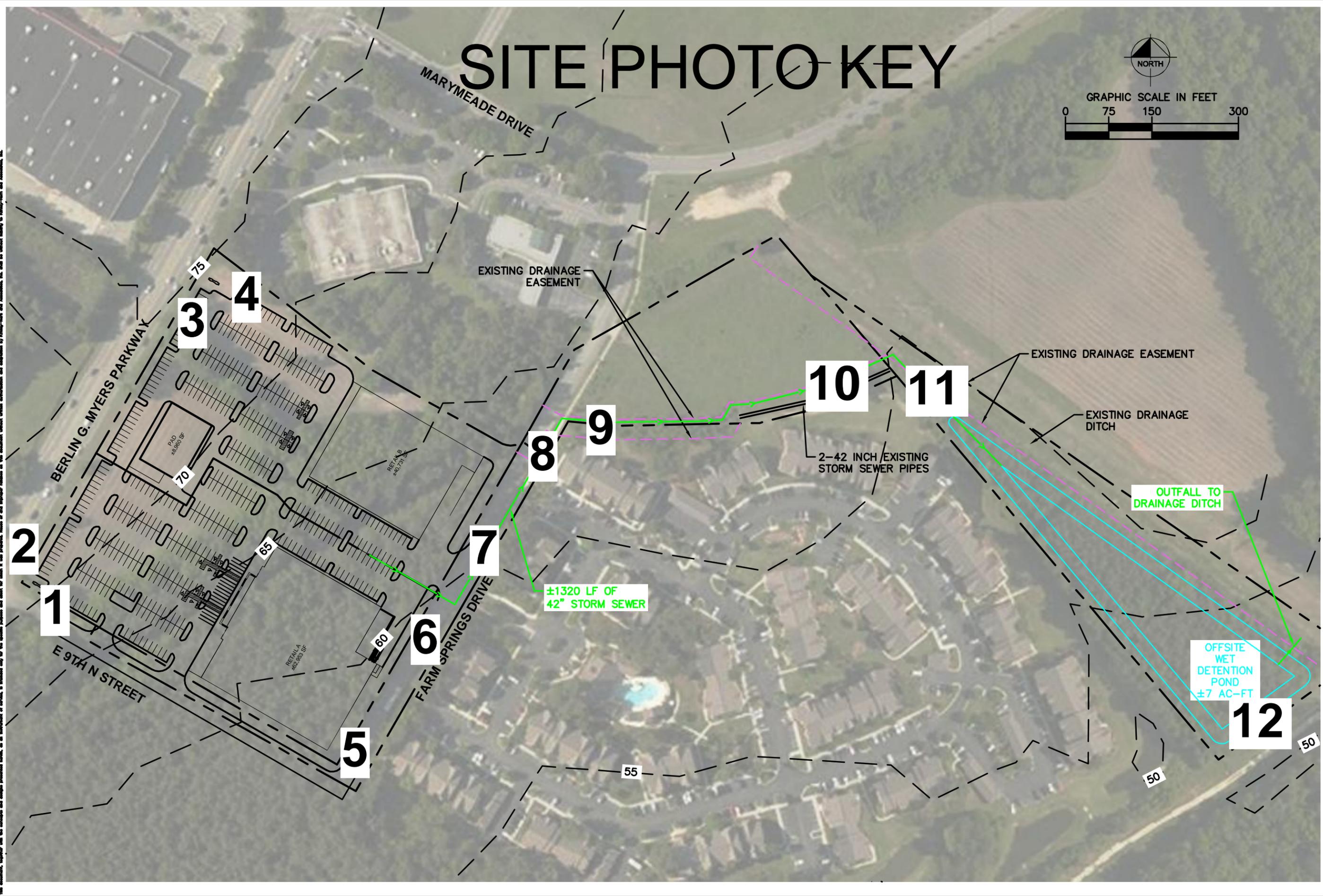


PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5

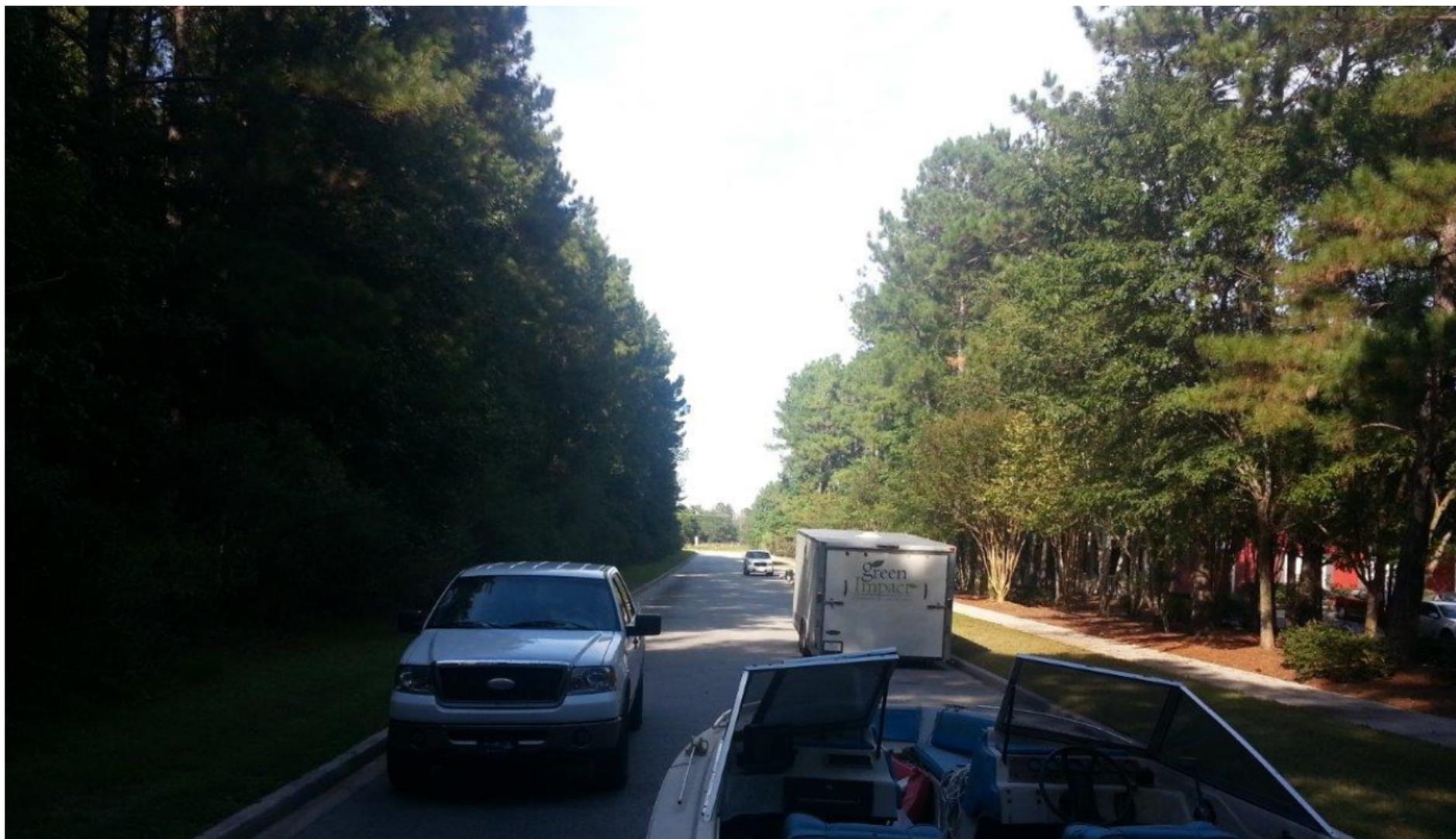


PHOTO 6



PHOTO 7



PHOTO 8



PHOTO 9



PHOTO 10



PHOTO 12



PHOTO 11



PRELIMINARY ENGINEERING PLANS SUMMERVILLE COMMONS

NE CORNER OF BERLIN G MYERS PARKWAY & E 9TH N STREET
SUMMERVILLE, SOUTH CAROLINA 29483

UTILITY AND GOVERNING AGENCY CONTACTS

ENGINEERING DEPARTMENT
TOWN OF SUMMERVILLE
200 S MAIN ST
SUMMERVILLE, SC 29483
TEL: (843) 851-4235
CONTACT: BONNIE MILEY

SANITARY SEWER SERVICE
SUMMERVILLE CPW
135 WEST RICHARDSON AVE
SUMMERVILLE, SC 29483
TEL: (843) 875-875-8761

STORM SEWER SERVICE
TOWN OF SUMMERVILLE
200 S MAIN ST
SUMMERVILLE, SC 29483
TEL: (843) 851-4235
CONTACT: BONNIE MILEY

WATER SERVICE
SUMMERVILLE CPW
135 WEST RICHARDSON AVE
SUMMERVILLE, SC 29483
TEL: (843) 875-875-8761

PROJECT TEAM

DEVELOPER
GBT REALTY CORPORATION
9010 OVERLOOK BOULEVARD
BRENTWOOD, TN 37027
TEL: (615) 921-0037
CONTACT: FIONA HAULTER

TRAFFIC ENGINEER
RAMEY KEMP & ASSOCIATES
7301 RIVERS AVENUE, SUITE 242
NORTH CHARLESTON, SC 29406
TEL: (843) 614-3800
CONTACT: RICHARD REIFF

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE RD, SUITE 350
LISLE, IL 60532
TEL: (630) 487-5550
EMAIL: JUSTIN.MULLER@KIMLEY-HORN.COM
CONTACT: JUSTIN MULLER

LANDSCAPE ARCHITECT
LANDSCAPE ARCHITECTURE & PLANNING
3815 NORTHSIDE PARKWAY
NORTHCREEK 300, SUITE 720
ATLANTA, GA 30327
CITY, STATE ZIP-CODE
TEL: (678)904-5823
CONTACT: JOSH THOMPSON

SURVEYOR
YOUNG, HOBBS & ASSOCIATES
1202 CROSSLAND AVENUE
CLARKSVILLE, TN 37040
TEL: (931) 645-2524
CONTACT: DAVE HOBBS



**PROJECT
LOCATION**

| INDEX OF SHEETS | |
|-----------------|-----------------------|
| NUMBER | SHEET TITLE |
| C0.0 | TITLE SHEET |
| C1.0 | SITE PLAN |
| C1.1 | SITE TREE PLAN |
| C2.0 | GRADING PLAN |
| C2.1 | OFFSITE GRADING PLAN |
| C3.0 | OVERALL UTILITY PLAN |
| C3.1 | UTILITY PLAN |
| C3.2 | OFFSITE UTILITY PLAN |
| LDP.00 | LAND DEVELOPMENT PLAN |
| LDP.01 | LAND DEVELOPMENT PLAN |
| LDP.02 | LAND DEVELOPMENT PLAN |
| 1 OF 1 | PHOTOMETRIC PLAN |

Drawing name: K:\GIS_DEV\168443001_GBT_Summerville_SCV3_Design\CD\PlanSheets_Preliminary\C0.0 - TITLE SHEET.dwg C0.0 Nov 02, 2016 1:43pm By: Derek Leary
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| NO. | REVISIONS | DATE | BY |
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Kimley»Horn
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1001 WARRENVILLE ROAD, SUITE 350,
SUMMERVILLE, SC 29483
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: DDL
DRAWN BY: DDL
CHECKED BY: AMM

GBT REALTY CORPORATION
9010 OVERLOOK BOULEVARD
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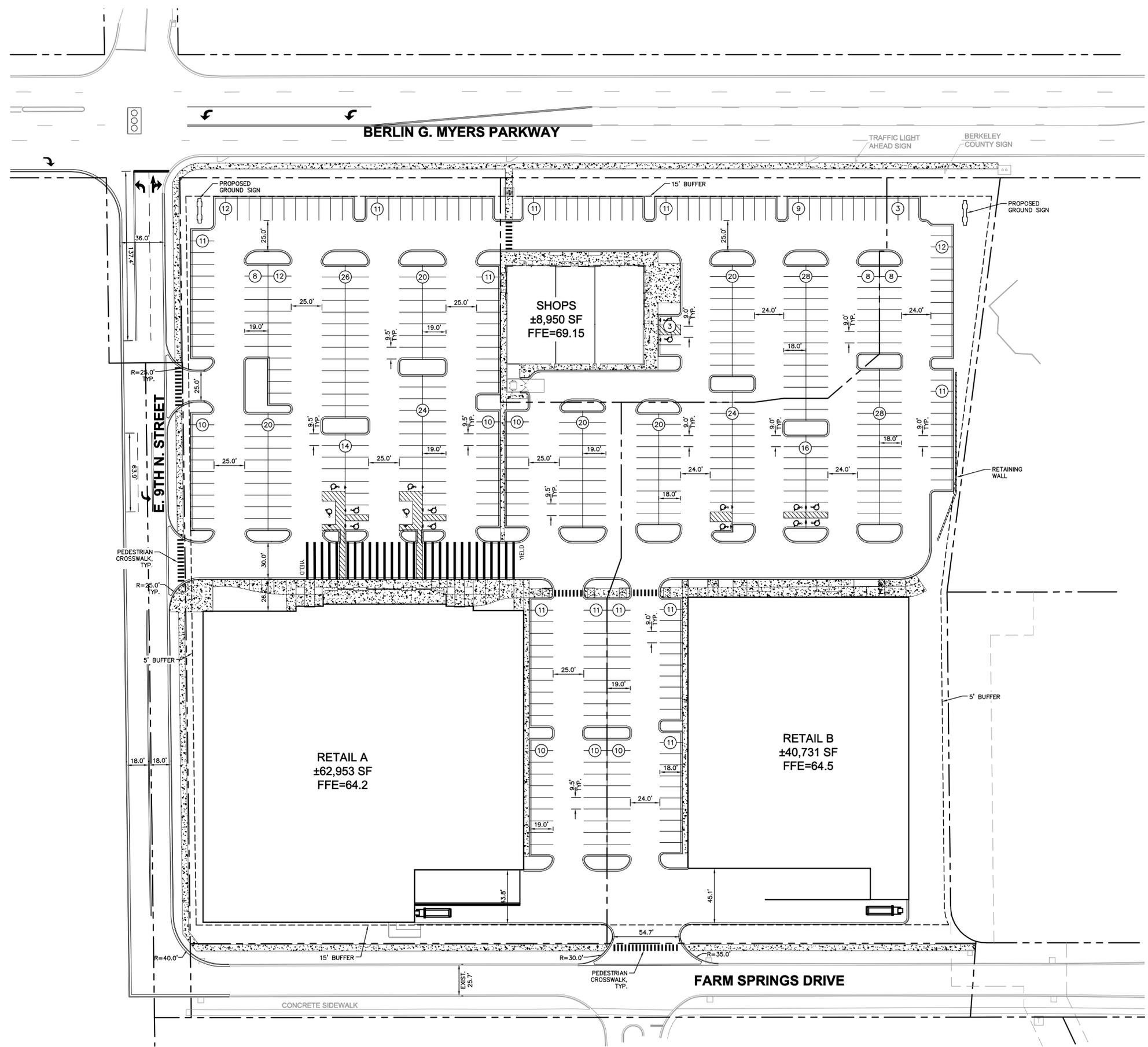
TITLE SHEET

SUMMERVILLE COMMONS
NE CORNER OF BERLIN G MYERS HIGHWAY & E 9TH N STREET
SUMMERVILLE, SC 29483

ORIGINAL ISSUE:
11/2/2016
KHA PROJECT NO.
168443001
SHEET NUMBER

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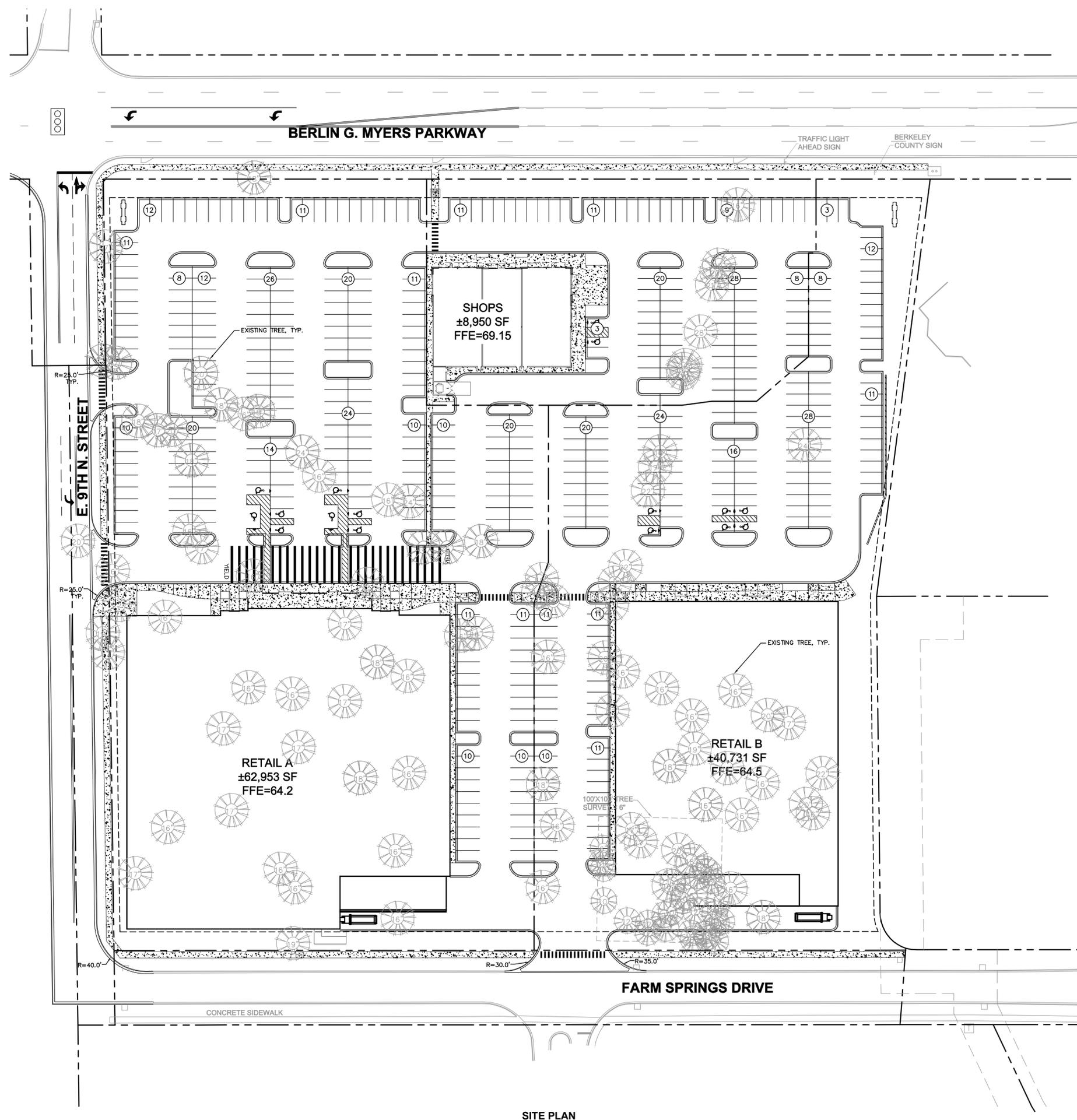


| SITE SUMMARY | |
|---------------------|-------------|
| OVERALL SITE | |
| LAND AREA: | ±9.04 AC |
| RETAIL SPACE: | ±112,634 SF |
| PARKING PROVIDED: | 512 SPACES |
| PARKING RATIO: | 4.55/1,000 |
| RETAIL A | |
| LAND AREA: | ±4.58 AC |
| RETAIL SPACE: | ±62,953 SF |
| PARKING PROVIDED: | 257 SPACES |
| PARKING RATIO: | 4.08/1,000 |
| RETAIL B | |
| LAND AREA: | ±3.18 AC |
| RETAIL SPACE: | ±40,731 SF |
| PARKING PROVIDED: | 167 SPACES |
| PARKING RATIO: | 4.10/1,000 |
| SHOPS PARCEL | |
| LAND AREA: | ±1.28 AC |
| RETAIL SPACE: | ±8,950 SF |
| PARKING PROVIDED: | 88 SPACES |
| PARKING RATIO: | 9.83/1,000 |

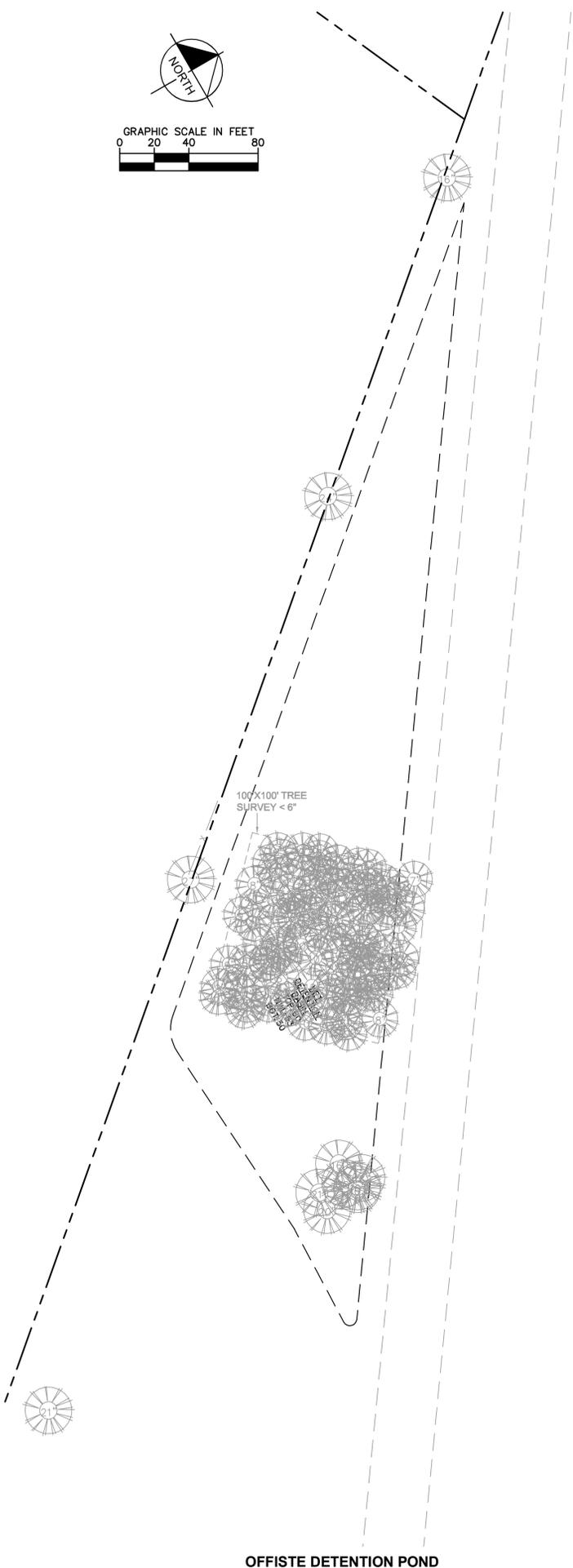
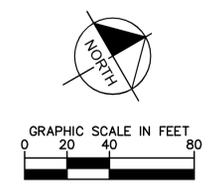
| LAND USE DATA | |
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| PERVIOUS AREA: | 1.24 AC |
| IMPERVIOUS AREA: | 7.80 AC |

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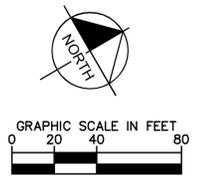
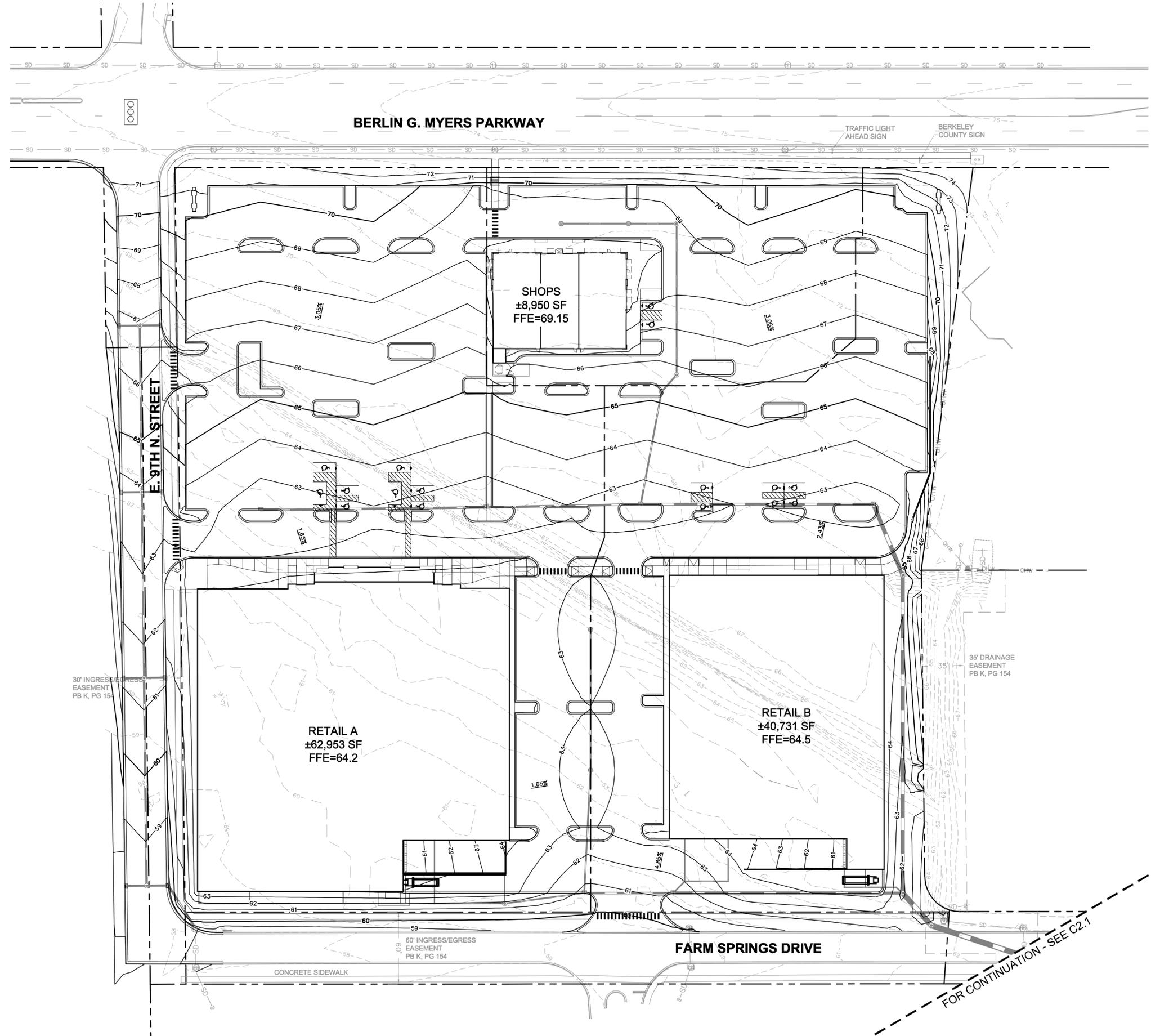


SITE PLAN
1"=40'



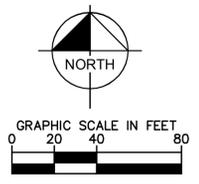
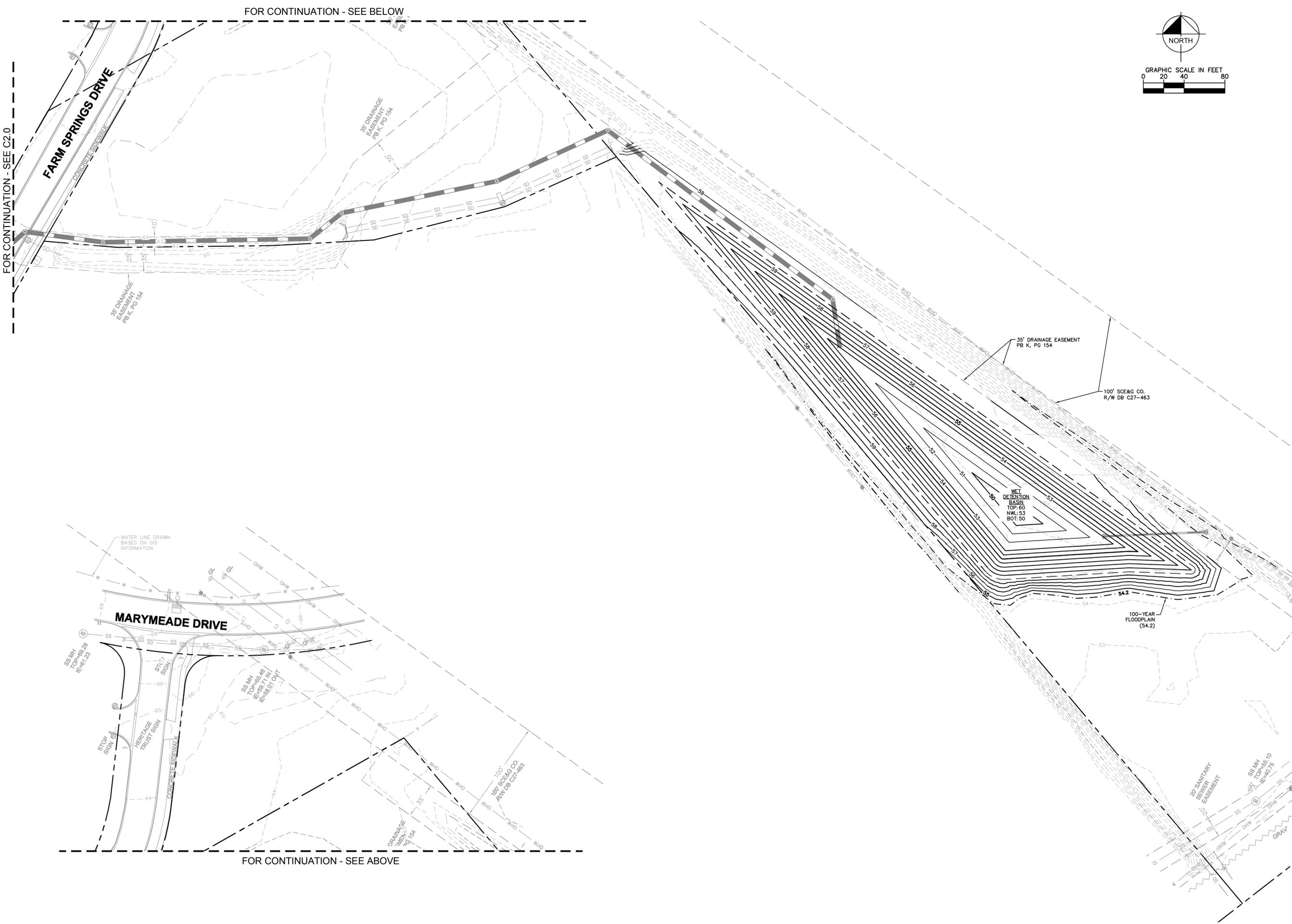
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| <p>SCALE: AS NOTED DESIGNED BY: DDL DRAWN BY: DDL CHECKED BY: AMM</p> | <p>GBT REALTY CORPORATION 9010 OVERLOOK BOULEVARD BIRMINGHAM, MISSISSIPPI 38207 (615) 370-0470 • (615) 373-3111 FAX www.gbtrealty.com</p> |
| <p>SUMMERVILLE COMMONS NE CORNER OF BERLIN G MYERS HIGHWAY & E 9TH N STREET SUMMERVILLE, SC 29463</p> | |
| <p>ORIGINAL ISSUE: 11/2/2016 KHA PROJECT NO. 168443001 SHEET NUMBER</p> | |
| <p>C1.1</p> | |
| <p>NO.</p> | <p>REVISIONS</p> |
| <p>DATE</p> | <p>BY</p> |

Drawing name: K:\GIS_DEVELOPMENT\168443001_GBT_Summerville_SC\3 Design\CAD\PlanSheets_Preliminary\C2.0 - GRADING PLAN.dwg C2.0 Nov 02, 2016 1:44pm by: Deth,Levy
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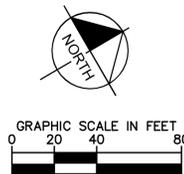
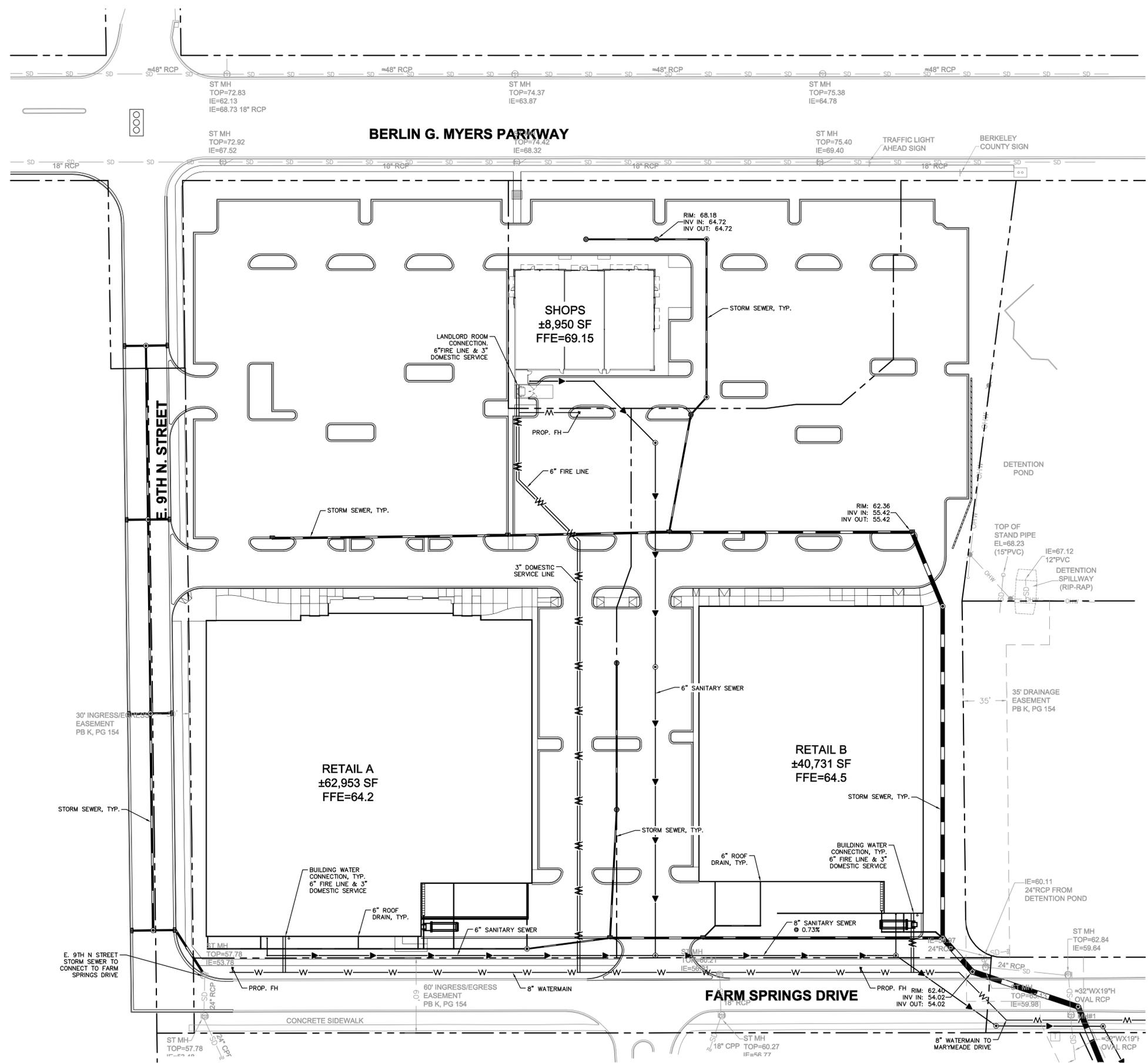
| | | |
|--|---|--|
| SUMMERVILLE COMMONS NE CORNER OF BERLIN G MYERS HIGHWAY & E 9TH N STREET SUMMERVILLE, SC 29463 | ORIGINAL ISSUE: 11/2/2016 | |
| | KHA PROJECT NO. 168443001 | |
| SHEET NUMBER C2.0 | | |
| GRADING PLAN | | |
| GBT REALTY CORPORATION 9010 OVERLOOK BOULEVARD BALTIMORE, MARYLAND 21287 (410) 370-0470 • (410) 373-3111 FAX www.gbtrealty.com | SCALE: AS NOTED DESIGNED BY: DDL DRAWN BY: DDL CHECKED BY: JMM | © 2016 KIMLEY-HORN AND ASSOCIATES, INC. 1001 WARRENVILLE ROAD, SUITE 350, PHONE: 630-487-6550 WWW.KIMLEY-HORN.COM |
| Kimley»Horn | | REVISIONS No. DATE BY |

Drawing name: K:\GIS_DEV\168443001_GBT_Summerville_SVC3_Design\CAD\PlanSheets\Primaries\C2.0 - GRADING PLAN.dwg C2.1, Nov 02, 2016 1:44pm, by: Darin Leary
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| <p>SCALE: AS NOTED DESIGNED BY: DDL DRAWN BY: DDL CHECKED BY: JMM</p> | <p>GBT REALTY CORPORATION 9010 OVERLOOK BOULEVARD BIRMINGHAM, ALABAMA 35207 (615) 370-0470 • (615) 375-3111 FAX www.gbtrealty.com</p> | | |
| <p>SUMMERVILLE COMMONS NE CORNER OF BERLIN G MYERS HIGHWAY & E 9TH N STREET SUMMERVILLE, SC 29463</p> | | | |
| <p>OFFSITE GRADING PLAN</p> | | | |
| <p>ORIGINAL ISSUE: 11/2/2016 KHA PROJECT NO. 168443001 SHEET NUMBER</p> | | | |
| <p>C2.1</p> | | | |
| NO. | REVISIONS | DATE | BY |

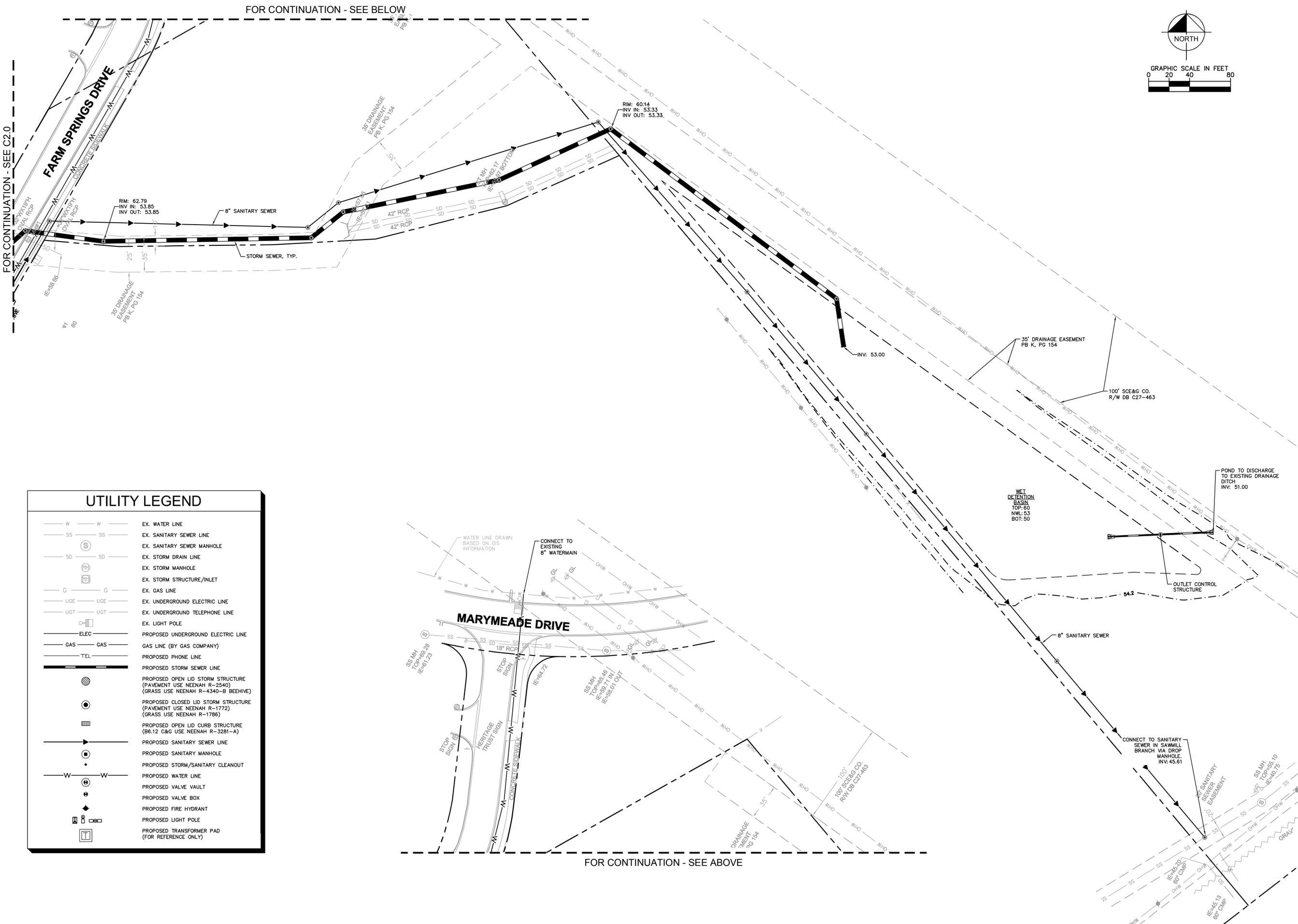
Drawing name: K:\GIS_DEVELOPMENT\168443001_GBT_Summerville_SCV3 Design\DrawSheets_Preliminary\C3.0 - UTILITY PLAN.dwg CS:11 Nov 02, 2016 1:45pm by: Derek Leary
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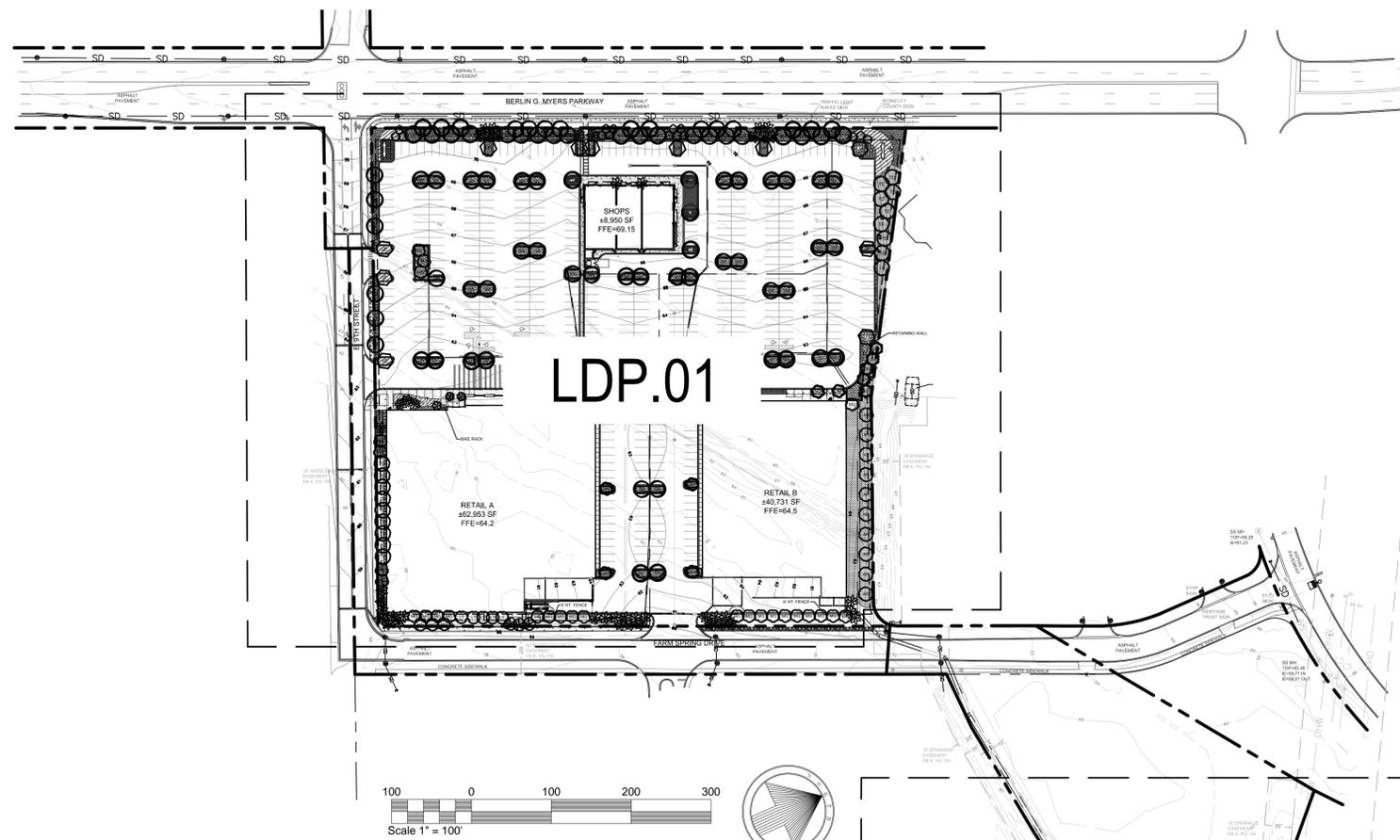
| UTILITY LEGEND | |
|----------------|--|
| — W — W — | EX. WATER LINE |
| — SS — SS — | EX. SANITARY SEWER LINE |
| — SD — SD — | EX. STORM DRAIN LINE |
| ⊙ | EX. SANITARY SEWER MANHOLE |
| ⊙ | EX. STORM MANHOLE |
| ⊙ | EX. STORM STRUCTURE/INLET |
| — G — G — | EX. GAS LINE |
| — UGE — UGE — | EX. UNDERGROUND ELECTRIC LINE |
| — UGT — UGT — | EX. UNDERGROUND TELEPHONE LINE |
| ⊙ | EX. LIGHT POLE |
| — ELEC — | PROPOSED UNDERGROUND ELECTRIC LINE |
| — GAS — | GAS LINE (BY GAS COMPANY) |
| — TEL — | PROPOSED PHONE LINE |
| — | PROPOSED STORM SEWER LINE |
| ⊙ | PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE) |
| ⊙ | PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1772) (GRASS USE NEENAH R-1786) |
| ⊙ | PROPOSED OPEN LID CURB STRUCTURE (B6.12 C&G USE NEENAH R-3281-A) |
| ⊙ | PROPOSED SANITARY SEWER LINE |
| ⊙ | PROPOSED SANITARY MANHOLE |
| ⊙ | PROPOSED STORM/SANITARY CLEANOUT |
| — W — W — | PROPOSED WATER LINE |
| ⊙ | PROPOSED VALVE VAULT |
| ⊙ | PROPOSED VALVE BOX |
| ⊙ | PROPOSED FIRE HYDRANT |
| ⊙ | PROPOSED LIGHT POLE |
| ⊙ | PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY) |

| | | | | | | | | |
|--|---|---------------|-----------------|--|--|--|--|-----------|
| | | | | | | | | |
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| SCALE: AS NOTED | DESIGNED BY: DDL | DRAWN BY: DDL | CHECKED BY: AMM | | | | | NO. |
| UTILITY PLAN | | | | | | | | DATE |
| SUMMERVILLE COMMONS | | | | | | | | BY |
| NE CORNER OF BERLIN G MYERS HIGHWAY & E 9TH N STREET | | | | | | | | REVISIONS |
| SUMMERVILLE, SC 29463 | | | | | | | | DATE |
| ORIGINAL ISSUE: 11/2/2016 | | | | | | | | |
| KHA PROJECT NO. 168443001 | | | | | | | | |
| SHEET NUMBER | | | | | | | | |
| C3.1 | | | | | | | | |

Drawing name: K:\GIS\DEV\168443001_GBT_Summerville_SCV3 Design\PlanSheets_Preliminary\C3.0 - UTILITY PLAN.dwg C3.2 Nov 02, 2016 1:45pm by: Derek Leary
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| | |
|---|---|
| <h2 style="margin: 0;">OFFSITE UTILITY PLAN</h2> | <h2 style="margin: 0;">SUMMERVILLE COMMONS</h2> |
| NE CORNER OF BERLIN G MYERS HIGHWAY & E 9TH N STREET SUMMERVILLE, SC 29463 | |
| ORIGINAL ISSUE: 11/2/2016 KHA PROJECT NO. 168443001 SHEET NUMBER | C3.2 |
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| GBT REALTY CORPORATION 9010 OVERLOOK BOULEVARD BALTIMORE, MARYLAND 21287 (410) 370-0470 • (410) 373-3111 FAX www.gbtrealty.com | REVISIONS NO. DATE BY |



SITE DATA

| | |
|------------------------|------------|
| Retail Site | 9.04 acres |
| Total Landscape area | 1.24 acres |
| Percent Landscape Area | 13.72% |

| | |
|------------------------|------------|
| Detention Area Site: | 2.67 acres |
| Total pervious area: | 2.67 acres |
| Percent pervious area: | 100.00% |

Landscape Calculations

| | |
|-------------------------|-------------------|
| Retail Site | |
| Tree Replacement Method | 20 trees per acre |
| Site Area | 9.04 acres |
| Minimum trees required: | 180.8 trees |

Buffer Requirements

Berlin G. Meyers Parkway

| | | |
|--|-----------------|-----------------|
| Front Buffer | | |
| Frontage length | 657 lf | |
| Required Buffer Width | 15 ft | |
| Total Buffer Area | 9855 sf | |
| Buffer area divided by 250 sf | 39.42 | |
| Required Caliper inches per 250 sf | 6 | |
| Description | Required | Provided |
| Total required caliper inches | 237 | 238 |
| Min. Required Caliper Inches of Canopy Trees (50%) | 118 | 157.5 (66%) |
| Required Shrubs (4 ft. hgt min.) | 118 | 127 |
| Required Shrubs (2 ft. hgt min.) | 79 | 86 |

Farm Springs Road

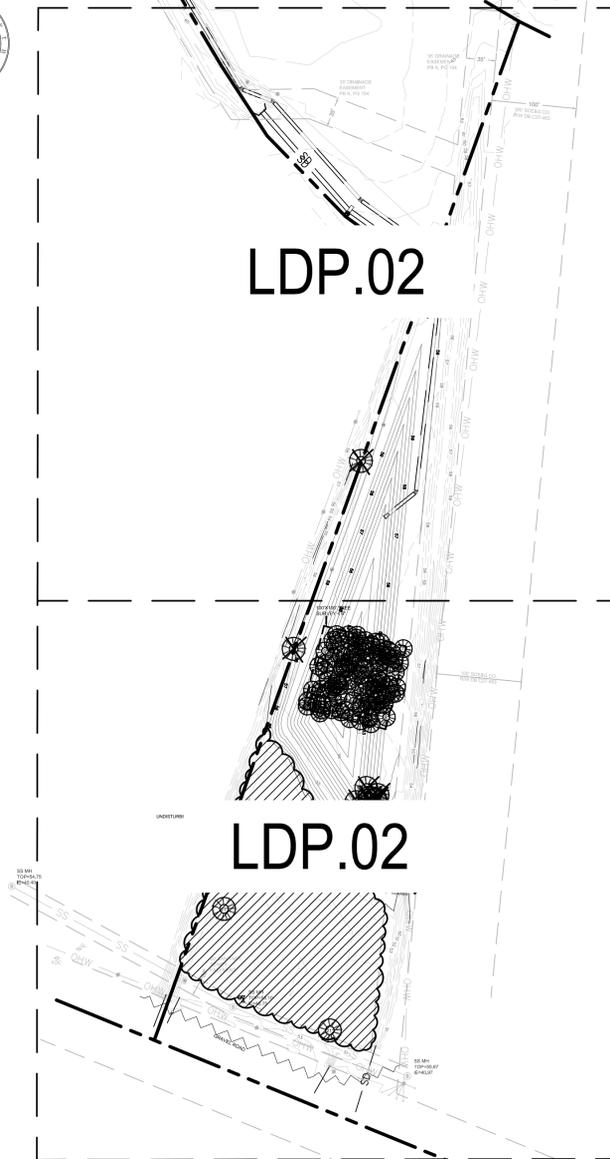
| | | |
|---------------------------------------|-----------------|-----------------|
| Class II Rear Buffer | | |
| Frontage length | 554 lf | |
| Required Buffer Width | 15 ft | |
| Description | Required | Provided |
| Canopy Tree required @ 4 per 100 lf | 22 | 22 |
| Understory Trees required @ 6 per 100 | 33 | 33 |
| Shrubs required @ 8 per 100 lf | 44 | 54 |
| Screen Fence (6 ft. hgt. wood) | | Provided |

East 9th Street Buffer

| | | |
|------------------------------------|-----------------|-----------------|
| Side Buffer | | |
| Frontage length | 550 lf | |
| Required Buffer Width | 5 ft | |
| Description | Required | Provided |
| Canopy Tree required @ 1 per 30 lf | 18 | 19 |

North Property Line

| | | |
|------------------------------------|-----------------|-----------------|
| Side Buffer | | |
| Length | 622 lf | |
| Required Buffer Width | 5 ft | |
| Description | Required | Provided |
| Canopy Tree required @ 1 per 30 lf | 22 | 24 |



PLANT SCHEDULE

| TREES | QTY | BOTANICAL NAME / COMMON NAME | MIN. SIZE | ROOT | REMARKS |
|-------|-----|--|-----------|-------|---|
| AR | 10 | Acer rubrum / Red Maple | 4" cal. | B & B | Full Canopy, Standard |
| JH | 5 | Juniperus chinensis 'Hetzii Columnaris' / Hetzi Column Juniper | 3" cal. | B & B | Full to Base |
| LT | 5 | Liriodendron tulipifera / Tulip Tree | 4" cal. | B & B | Full Canopy |
| LW | 15 | Lagerstroemia x 'Natchez' / White Crape Myrtle | 3" cal. | B & B | Full Canopy, Single Stem |
| MG | 31 | Magnolia grandiflora / Southern Magnolia | 4" cal. | B & B | Full to Base |
| PC | 3 | Pistacia chinensis / Chinese Pistache | 4" cal. | B & B | Full Canopy |
| QS | 37 | Quercus shumardii / Shumard Red Oak | 4.5" cal. | B & B | Full Canopy |
| QV | 62 | Quercus virginiana / Southern Live Oak | 4.5" cal. | B & B | Full Canopy |
| SS | 45 | Sabal palmetto / Cabbage Palmetto | 14' C.T. | B & B | Full Intact Fronds, Top 1/4 of trunk booted, Bottom 3/4 slicked |
| TD | 18 | Taxodium distichum / Bald Cypress | 6" cal. | B & B | Full to Base |
| UAP | 10 | Ulmus americana 'Princeton' / Princeton Elm | 3" cal. | B & B | Full Canopy |
| UP | 11 | Ulmus parvifolia 'Allee' / Allee Lacebark Elm | 4" cal. | B & B | Full Canopy |
| UW | 5 | Ulmus alata / Winged Elm | 4.5" cal. | B & B | Full Canopy |

| SHRUBS | QTY | BOTANICAL NAME / COMMON NAME | MIN. SIZE | SPACING | REMARKS |
|--------|-----|---|-----------|---------|--|
| AS | 50 | Acca sellowiana / Pineapple Guava, Feijoa | 15 gal. | 4' o.c. | 4' HT., Full to base |
| CS | 27 | Cordata sellowiana / Pampas Grass | 3 gal. | 4' o.c. | Full to Base |
| ID | 13 | Ilex cornuta 'Delcambre' / Needlepoint Holly | 3 gal. | 3' o.c. | Full to Base |
| IP | 27 | Illicium parviflorum / Anise Tree | 3 gal. | 4' o.c. | Full to Base |
| IV | 8 | Ilex vomitoria / Yaupon Holly | 3 gal. | 3' o.c. | Full to Base Hedge |
| LP | 41 | Loropetalum chinense rubrum 'Plum Delight' TM / Purple Leaf Fringe Flower | 15 gal. | 4' o.c. | 4' HT., Full to Base |
| LR | 150 | Ligustrum recurvifolia / Ligustrum | 3 gal. | 4' o.c. | Full to Base Hedge |
| LS | 32 | Ligustrum sinense 'Sunshine' / Sunshine Ligustrum | 7 gal. | 3' o.c. | 2' HT., Full to base |
| NC | 32 | Nerium oleander 'Calypso' / Calypso Oleander | 3 gal. | 3' o.c. | Full to Base |
| RC | 219 | Raphiolepis indica 'Olivia' / Elenor Tabor Indian Hawthorn | 3 gal. | 2' o.c. | Full to Base, Dense |
| RM | 40 | Rosa x 'Meiggilli' / Peach Drift Rose | 7 gal. | 3' o.c. | 2' HT., Full to Base, Showy Peach Blooms |
| VA | 2 | Viburnum awabuki / Evergreen Sweet Viburnum | 7 gal. | 4' o.c. | Full to Base |
| VO | 77 | Viburnum obovatum / Walter's Viburnum | 15 gal. | 4' o.c. | 4' HT., Full to Base |

| GROUND COVERS | QTY | BOTANICAL NAME / COMMON NAME | UNIT | SPACING | REMARKS |
|---------------|-----------|---|--------|----------|------------------------------------|
| HA | 57 | Hemerocallis x 'August Orange' / Daylily | 1 gal. | 18" o.c. | Full Coverage, Orange Showy Blooms |
| LM | 710 | Liriope muscari / Lily Turf | 1 gal. | 15" O.C. | Full Coverage |
| SEED | 12,375 sf | Hydroseed / Hydroseed | SF | | Evenly Dispersed, |
| SOD | 20,721 sf | Sod x / Sod | SF | | Full Coverage |
| TA | 655 | Trachelospermum asiaticum / Asian Jasmine | 1 gal. | 24" | Full Coverage |

SUMMERVILLE COMMONS

PREPARED FOR
GBT REALTY CORPORATION

SHEET STATUS

| MARK | DATE | BY | RELEASE |
|------|------|----|---------|
| A | | | |

SHEET TITLE:

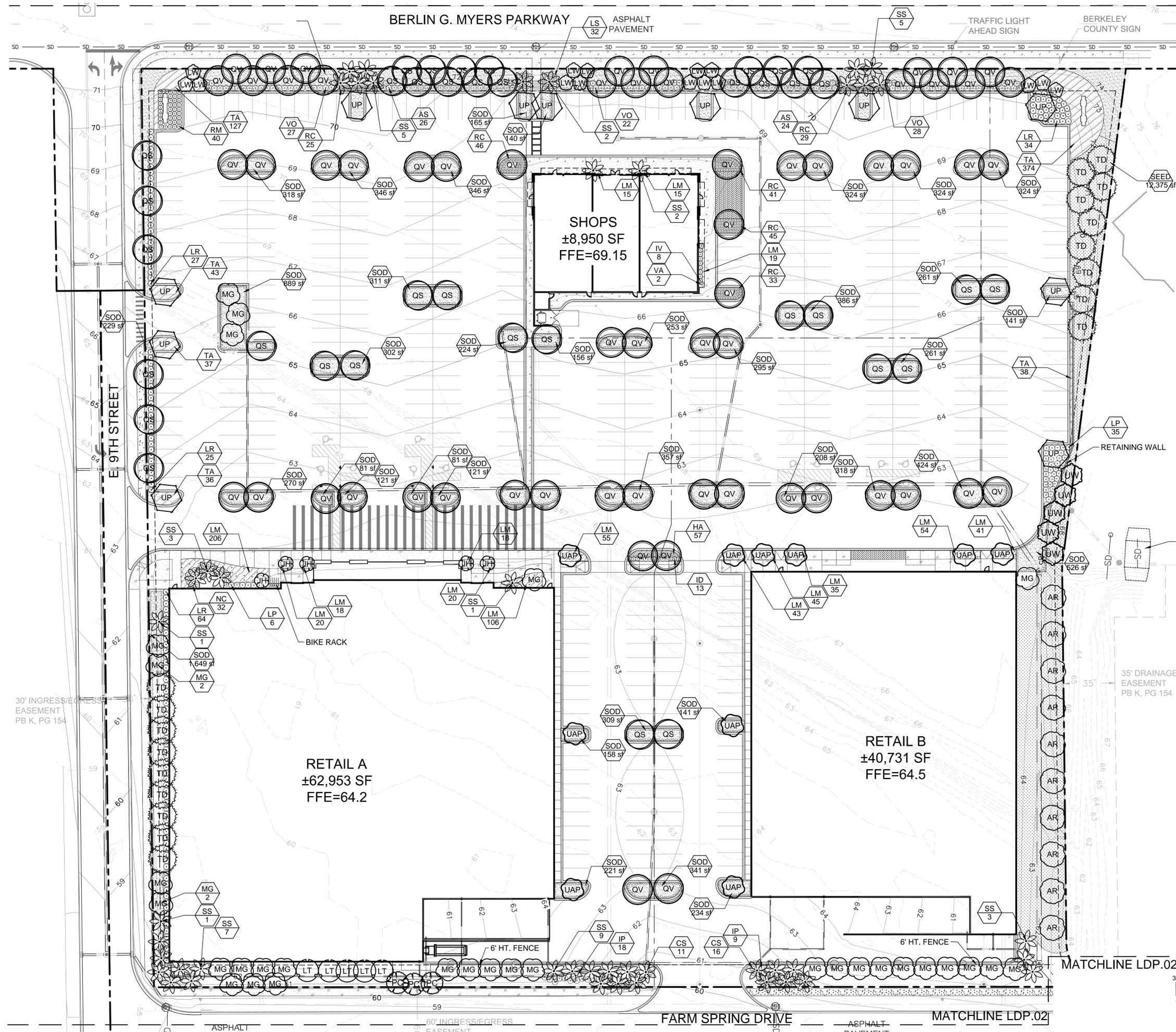
LAND DEVELOPMENT PLAN

PROJECT NUMBER:
16014.00

LDP.01

DATE: 07.28.2016

NOT FOR CONSTRUCTION



SITE DATA

| | |
|------------------------|------------|
| Retail Site | 9.04 acres |
| Total Landscape area | 1.24 acres |
| Percent Landscape Area | 13.72% |
| Detention Area Site: | 2.67 acres |
| Total pervious area: | 2.67 acres |
| Percent pervious area: | 100.00% |

Landscape Calculations

| | |
|-------------------------|-------------------|
| Retail Site | |
| Tree Replacement Method | 20 trees per acre |
| Site Area | 9.04 acres |
| Minimum trees required: | 180.8 trees |

Buffer Requirements

Berlin G. Meyers Parkway

| | |
|--|--------------------------|
| Front Buffer | |
| Frontage length | 657 lf |
| Required Buffer Width | 15 ft. |
| Total Buffer Area | 9855 sf |
| Buffer area divided by 250 sf | 39.42 |
| Required Caliper inches per 250 sf | 6 |
| Description | Required Provided |
| Total required caliper inches | 237 238 |
| Min. Required Caliper Inches of Canopy Trees (50%) | 118 157.5 (66%) |
| Required Shrubs (4 ft. hgt min.) | 118 127 |
| Required Shrubs (2 ft. hgt min.) | 79 86 |

Farm Springs Road

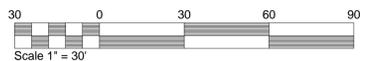
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| Class II Rear Buffer | |
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| Description | Required Provided |
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| Understory Trees required @ 6 per 100 | 33 33 |
| Shrubs required @ 8 per 100 lf | 44 54 |
| Screen Fence (6 ft. hgt. wood) | Provided |

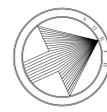
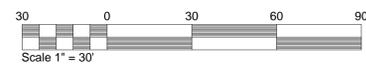
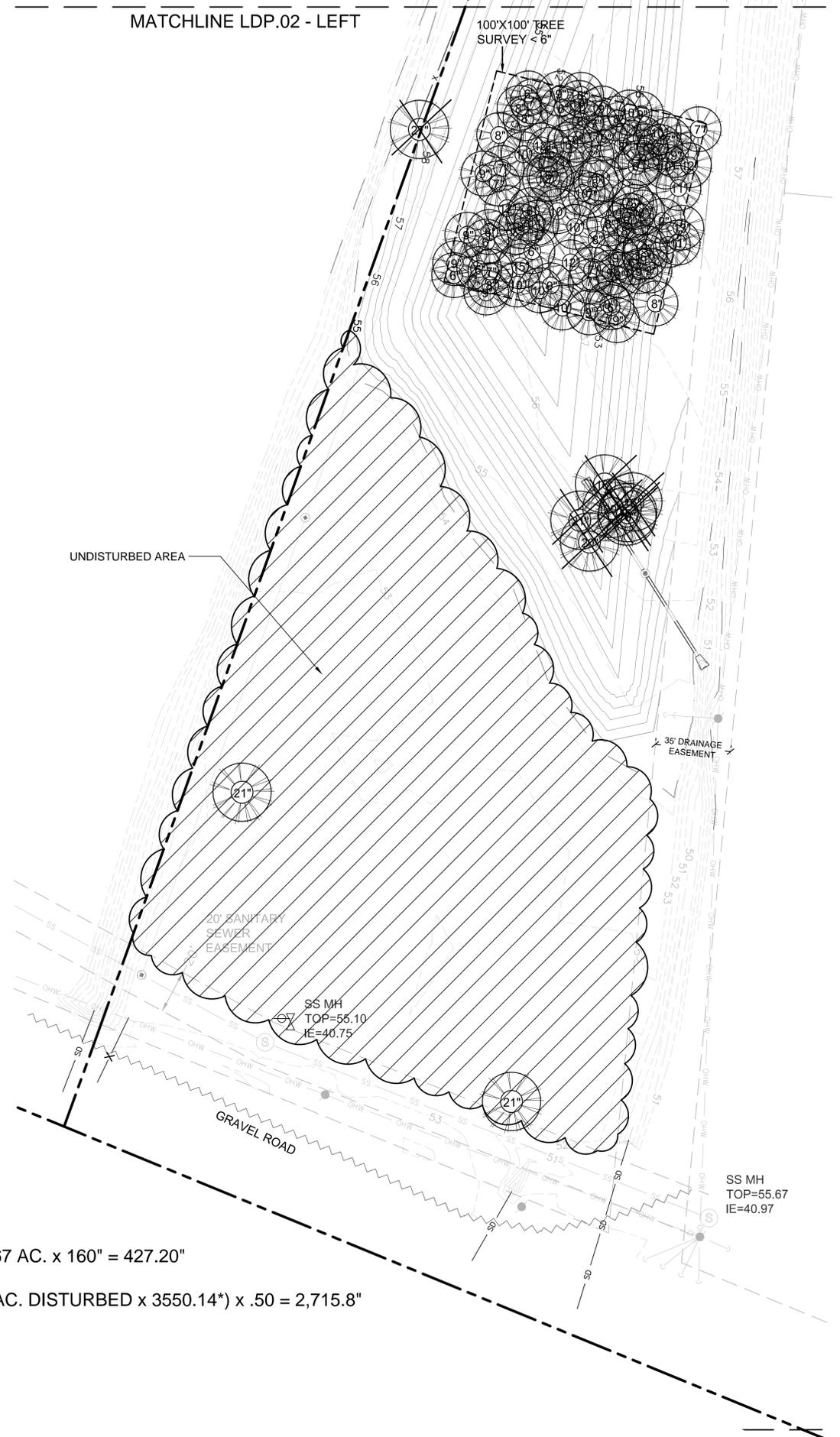
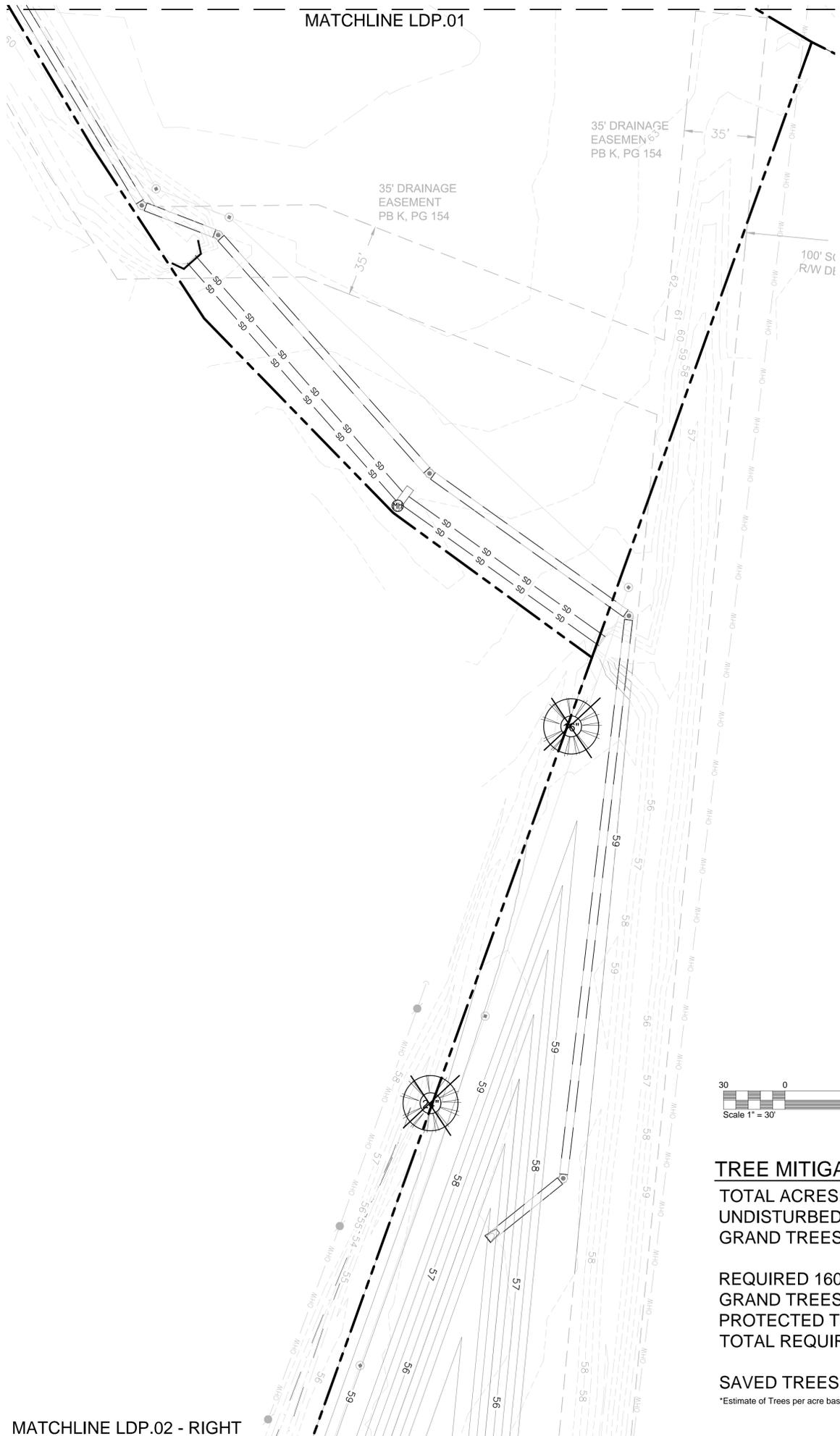
East 9th Street Buffer

| | |
|------------------------------------|--------------------------|
| Side Buffer | |
| Frontage length | 550 lf |
| Required Buffer Width | 5 ft. |
| Description | Required Provided |
| Canopy Tree required @ 1 per 30 lf | 18 19 |

North Property Line

| | |
|------------------------------------|--------------------------|
| Side Buffer | |
| Length | 622 lf |
| Required Buffer Width | 5 ft. |
| Description | Required Provided |
| Canopy Tree required @ 1 per 30 lf | 22 24 |





TREE MITIGATION CALCULATIONS

TOTAL ACRES: 2.67
 UNDISTURBED AREA: 1.14
 GRAND TREES REMOVED: 192"

REQUIRED 160" INCHES SAVED PER ACRE: 2.67 AC. x 160" = 427.20"
 GRAND TREES REPLACED @ 100%: 192"
 PROTECTED TREES REPLACED @ 50%: (1.53 AC. DISTURBED x 3550.14*) x .50 = 2,715.8"
 TOTAL REQUIRED MITIGATION: 3,335"

SAVED TREES: 1.14 AC x 3550.14* = 3550"
 *Estimate of Trees per acre based on 100'x100' sample area shown on tree survey.

MATCHLINE LDP.02 - RIGHT

SUMMERVILLE COMMONS
 PREPARED FOR
GBT REALTY CORPORATION

| SHEET STATUS | | | |
|--------------|------|----|---------|
| MARK | DATE | BY | RELEASE |
| A | | | |

SHEET TITLE:
LAND DEVELOPMENT PLAN

PROJECT NUMBER:
 16014.00

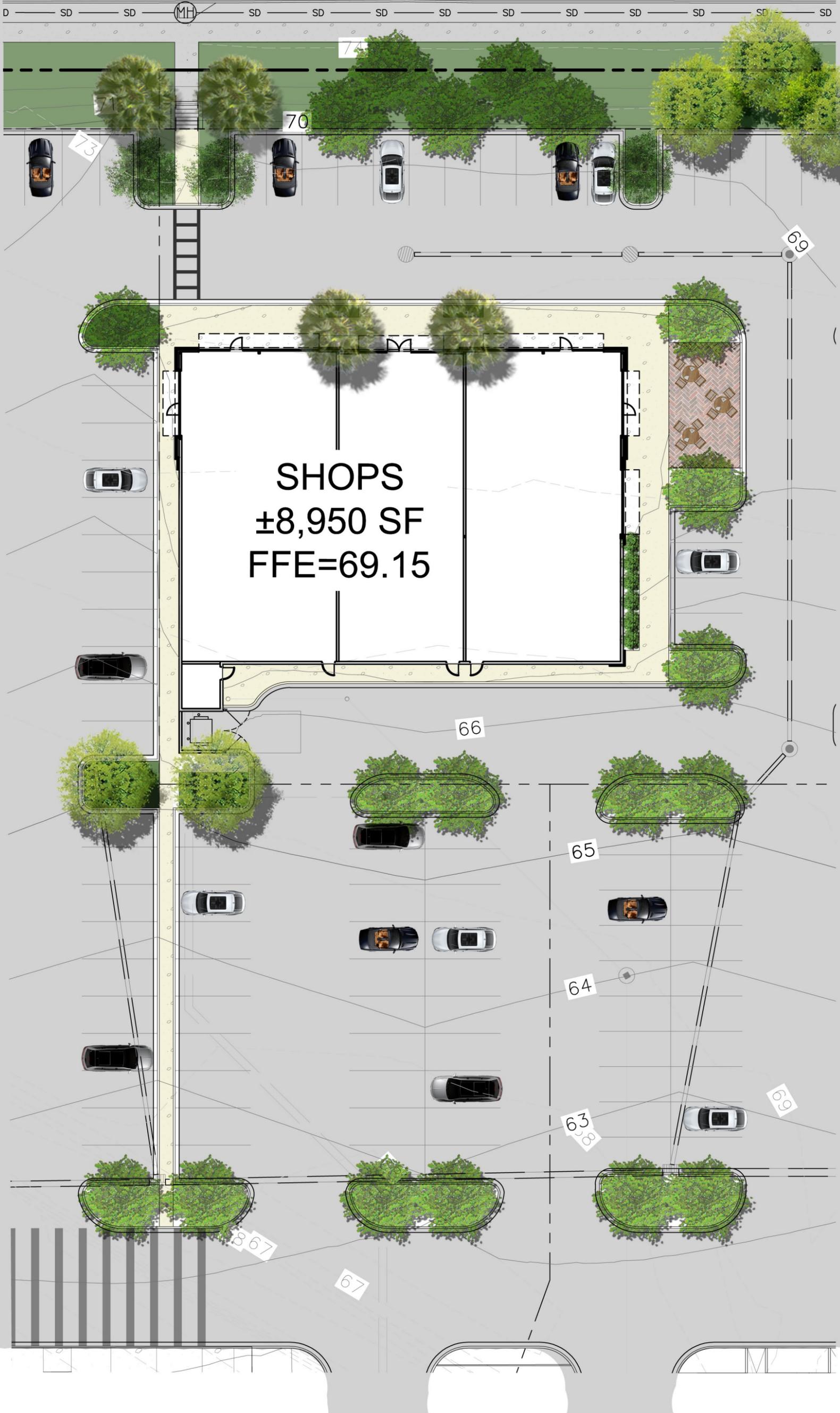
LDP.02

Anchor B

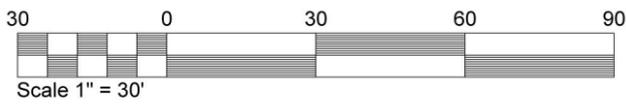
Anchor A



BERLIN G. MYERS PARKWAY

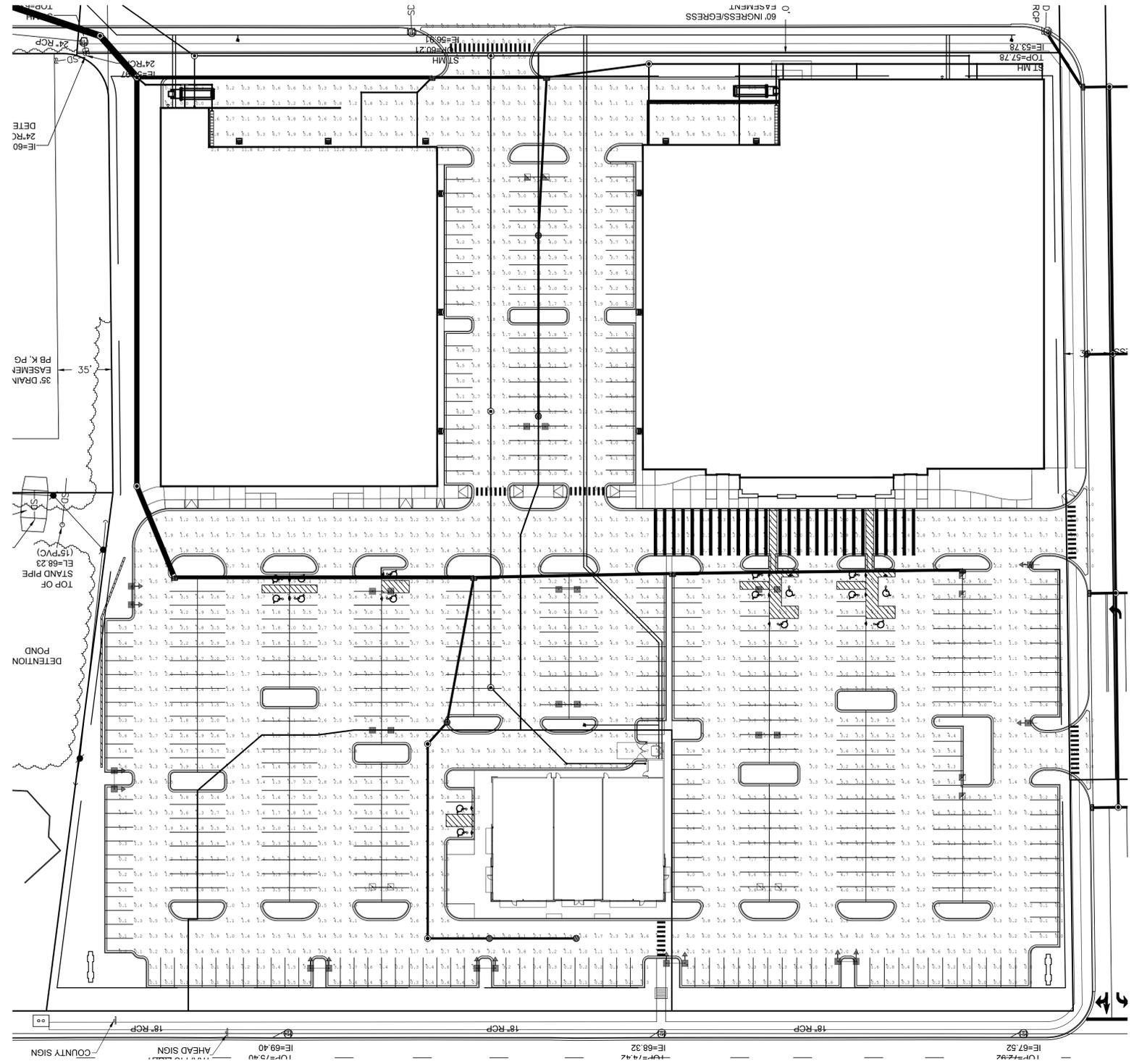


SHOPS
±8,950 SF
FFE=69.15



REVISIONS

| REV # | DATE | BY: |
|-------|------|-----|
| | | |



| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min | Footc/ft | Footc/ft |
|------------------|-------------|-------|------|-----|-----|---------|---------|----------|----------|
| PARKING DRIVEWAY | Illuminance | Ft | 2.79 | 8.2 | 0.0 | N.A. | N.A. | 10 | 10 |
| ROAD DRIVEWAY | Illuminance | Ft | 2.10 | 6.3 | 0.0 | N.A. | N.A. | | |

| Symbol | Qty | Label | Total Lamp Lumens | SPF | Description | Sum. Watts |
|--------|-----|-------|-------------------|-------|--|------------|
| 1 | 7 | A | 44000 | 0.800 | WLS-PFM-5-400-FPM-FD 32" POLE 3' BASK | 492 |
| 2 | 4 | B | 44000 | 0.800 | WLS-PFM-PP-400-FPM-FD-DS 32" POLE 3' BASK | 492 |
| 3 | 2 | C | 44000 | 0.800 | WLS-PFM-PP-400-FPM-FD-DS 32" POLE 3' BASK | 492 |
| 4 | 3 | D | 44000 | 0.800 | WLS-PFM-PP-400-FPM-FD-DS 32" POLE 3' BASK | 492 |
| 5 | 11 | E | 23500 | 0.800 | WLS-MW-100-100-100-100-100-100 14" MOUNTING HEIGHT | 291 |
| 6 | 2 | F | 44000 | 0.800 | WLS-PFM-5-400-FPM-FD 32" POLE 3' BASK | 492 |

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

SUMMERVILLE COMMONS
SUMMERVILLE, SC

WLS LIGHTING SYSTEMS
Consider the Impact!

1919 WINDSOR PLACE
FORT WORTH, TX 76110
WWW.WLSLIGHTING.COM

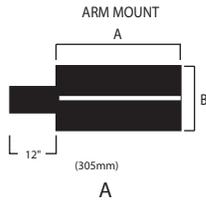
WLS LIGHTING SYSTEMS

FV VERTICAL LAMP / FLAT GLASS LENS SERIES



Flat-lensed fixtures meet IESNA full cutoff classification

DIMENSIONS



| | A | B |
|---------------|----------------|----------------|
| FVM Arm Mount | 21-5/8"(549mm) | 12-3/4"(324mm) |
| FVR Arm Mount | 21-5/8"(549mm) | 16-1/8"(410mm) |

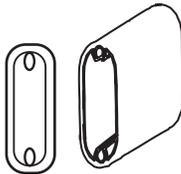
LUMINAIRE EPA CHART

| FV SERIES Flat Lens | FVM SERIES 12" Bracket | FVR SERIES 12" Bracket |
|---------------------|------------------------|------------------------|
| Single | 3.2 | 3.8 |
| D180° | 6.3 | 7.6 |
| D90° | 5.7 | 7.6 |
| T90° | 8.8 | 11.4 |
| TN120° | 9.0 | 11.4 |
| Q90° | 11.3 | 15.2 |

Note: House Side Shield adds to fixture EPA. Consult factory.

MOUNTING BRACKETS

BOLT ON ARM



SPECIFICATIONS

HOUSING - The FV Series formed aluminum housing is finished to produce a clean, sharp appearance and ensures weather-tight construction. Available in 2 sizes: Medium (reduced envelope 400 Watt Lamp) and Reduced (reduced envelope 1000 Watt Lamp).

LENS/GASKET - A flat tempered glass lens is sealed to the housing with an EPDM gasket, preventing entry of moisture, dust and insects. Combined with the vertical burn feature, the flat glass lens provides high performance lighting.

TOP ACCESS - Is secured by four captive stainless steel fasteners and provides ease of installation and servicing.

FINISHES - Each fixture is finished with a baked-on polyester powder finishing process to give the fixture an exceptionally attractive appearance. Standard finish colors include bronze, black, platinum and white. The polyester finish withstands extreme weather changes without cracking or peeling. Consult factory for available custom colors and pinstripe decal options.

REFLECTORS/DISTRIBUTION PATTERNS - The FV Series fixture is available in five reflector systems and distribution patterns, all with vertical burn lamps: Type II (2), Type III (3), Type V (5), Perimeter Forward Throw (FP) and Super Reflector (SR) for a minimum mounting height of 30 feet. Reflectors are field-rotatable, enabling generous flexibility in distribution patterns without fixture movement.

LIGHT SOURCES - Designed to operate with Pulse-Start Metal Halide, Natural White, Super Metal Halide, Metal Halide, Metal Halide Reduce Envelope or High Pressure Sodium.

SOCKETS - Porcelain mogul-base sockets with spring-reinforced contacts.

BALLAST - Pulse Start Metal Halide, Metal Halide, Super Metal Halide, and High Pressure Sodium feature a high-power factor CWA ballast, and are designed for -20°F operation.

BRACKETS - Arm Mount: 5 1/2" x 2 1/2" x 12" length shipped standard. (An 8" bracket is available for single or D180 configurations, but must be ordered separately from Options column of the ordering chart.) A Round Pole Plate (RPP) is required for mounting to 3" - 5" round poles. (See Options in Luminaire Ordering Information.)

DECAL STRIPING - WLS offers optional color-coordinated decals in 9 standard colors to accent the fixture. Decal is guaranteed for five years against peeling, cracking, or fading.

Approved By: _____ Project Name: _____

Location: _____ Date: _____

1919 Windsor Place ■ Fort Worth, TX 76110 ■ 800.633.8711 ■ Fax: 817.735.4824 ■ www.wslighting.com

WLS LIGHTING SYSTEMS

Consider the Impact!

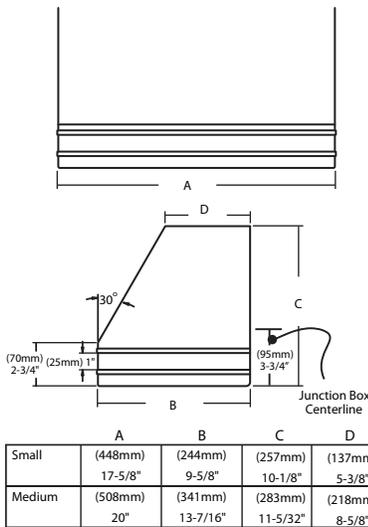
WLS LIGHTING SYSTEMS

WME WALL SCONCE SERIES

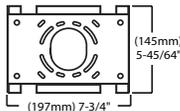


Flat-lensed fixture meet IESNA full cutoff classification.

DIMENSIONS



UNIVERSAL MOUNTING PLATE



LISTED
listed for wet locations
(downlight only)
damp location
(uplight-covered location only)

SPECIFICATIONS

HOUSING - Aluminum housing is available in two sizes and is a rectangular shape. All mounting hardware is stainless steel or electro-zinc plated steel.

WALL MOUNT - A galvanized-steel universal wall mounting plate easily mounts directly to a 4" octagonal or square junction box. An EPDM gasket is supplied to be installed between the mounting plate and junction box from the entrance of water. The universal plate permits the fixture to be mounted in the uplighting position (listed for damp locations) or downlighting position (listed for wet locations).

LENS / GASKET - A flat clear tempered glass lens, which is sealed to the door frame with EPDM gasketing, is standard. An optional polycarbonate lens is available on most Compact Fluorescent fixtures.

DOOR FRAME - The aluminum door frame with two stainless steel captive fasteners allows easy access into the fixture. A one piece extruded silicone gasket seals the door frame against the housing. The door swings open and is held in place by a retainer.

FINISHES - Fixtures are finished with WLS's DuraGrip® polyester powder coat finishing process. The DuraGrip® finish withstands extreme weather changes without cracking or peeling, and is guaranteed for five full years. Standard colors include bronze, black, platinum plus, graphite, metallic silver and white.

REFLECTORS / DISTRIBUTION PATTERNS - Forward Throw (FP,FPM) and Type III (3) reflectors are available on small and medium. All are high performance, full cut-off distribution as defined by the IESNA (downlight position only). Photometric data is tested in accordance with IESNA guidelines.

LIGHT SOURCES - This fixture is designed to operate with horizontal Pulse Start Metal Halide, Pulse Start Metal Halide Reduced, Natural White, Super Metal Halide, Super Metal Halide Reduced, Metal Halide, Metal Halide Reduced, High Pressure Sodium, and single, double or triple compact fluorescent lamps. Lamps supplied as standard - HID (clear, ship installed), and Compact Fluorescent (coated, 4100K shipped in separate carton).

SOCKETS - HID lampholders are glazed porcelain, medium base for the small fixture and mogul base for the medium fixture, 4KV pulse rated. The Compact Fluorescent fixtures feature a one-piece thermoplastic socket.

BALLASTS - Electrical components are factory-mounted in housing and pre-wired with voltage specific leads which extend out the back of the unit through a rubber grommet. This grommet prevents the entry of insects, dust, and moisture into the fixture. The need to open the fixture to make wiring connections is eliminated, making installation quick and easy. UL listed components with high-power factor ballast rated for -20° F starting. Compact Fluorescent ballasts are Electronic Universal Voltage (120-277V 50 / 60Hz) or 347V (60Hz), 0° F starting. Consult factory for available wattages and voltages for use in Canada.

EMERGENCY OPERATION - A variety of integral emergency options are available to comply with Life Safety Codes which require emergency lighting along the path of egress on the buildings exterior, so building occupants can exit safely. (See Options in Ordering Information)

Approved By: _____ Project Name: _____

Location: _____ Date: _____

1919 Windsor Place ■ Fort Worth, TX 76110 ■ 800.633.8711 ■ Fax: 817.735.4824 ■ www.wslighting.com

WLS LIGHTING SYSTEMS

Consider the Impact!



FRONT ELEVATION
62,953 SF RETAIL "A"



FRONT ELEVATION
40,731 SF RETAIL "B"

EXTERIOR MATERIAL LEGEND

| | |
|--------|---|
| BK-1 | BRICK, COLOR: METROBRICK 458 BROWNSTONE FLASH (OR SIM.) "DEEP BROWN" |
| BK-2 | BRICK, COLOR: METROBRICK 105 FIELDSTONE (OR SIM.) "OFF WHITE" |
| BK-3 | BRICK, COLOR: HEBRON BRICK SILVERADO (OR SIM.) "MED BROWN" |
| EIFS-1 | DRYWIT - #310 CHINA WHITE (TO MATCH SW#7005 "PURE WHITE") |
| EIFS-2 | DRYWIT: TO MATCH SW#7641 "COLLONADE GRAY" |
| PT-1 | PAINT - SHERWIN WILLIAMS SW#7641 "COLLONADE GRAY" |
| PT-2 | PAINT - SHERWIN WILLIAMS #6108 "LATTE" (TO MATCH BK-1) |
| PT-3 | PAINT - SHERWIN WILLIAMS #7025 "BACKDROP" TO MATCH BK-3 |
| PT-4 | TEXTURED PAINT - SHERWIN WILLIAMS "PURE WHITE" SW#7005 |
| PT-5 | PAINT - SHERWIN WILLIAMS CM ACADEMY BLUE |
| PT-6 | PAINT - SHERWIN WILLIAMS #7005 "PURE WHITE" |
| PT-7 | PAINT - SHERWIN WILLIAMS CW ACADEMY RED |
| PT-8 | PAINT - SHERWIN WILLIAMS #6082 "COBBLE BROWN" TO MATCH BK-1 |
| CMU-1 | SPLIT-FACE CMU, PAINTED |
| TILT-1 | TILT-UP CONCRETE PANEL TO HAVE TEXTURED PAINT TO MATCH EIFS |
| SILL-1 | PRE-CAST SILL BLOCK, COLOR: BUFF |
| ALUM-1 | ALUMINUM STOREFRONT - CLEAR ANODIZED W/ CLEAR GLAZING |
| ALUM-2 | ALUMINUM STOREFRONT - CLEAR ANODIZED W/ FROSTED WHITE SPANDREL GLAZING |
| AWN-1 | PRE-FINISHED BLACK ALUMINUM AWNING WITH STANDING SEAM TO MATCH CLEAR ANODIZED |
| AWN-2 | PREFINISHED METAL FASCIA, COLOR: CLEAR ANODIZED |

Note: Signage subject to city approval.

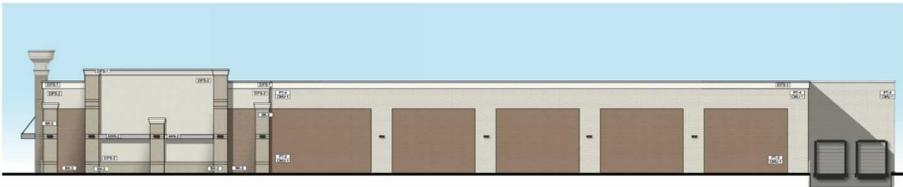
11/02/16



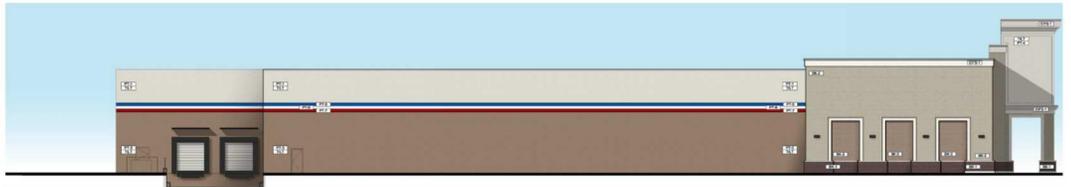
FRONT ELEVATION
40,731 SF RETAIL "B"



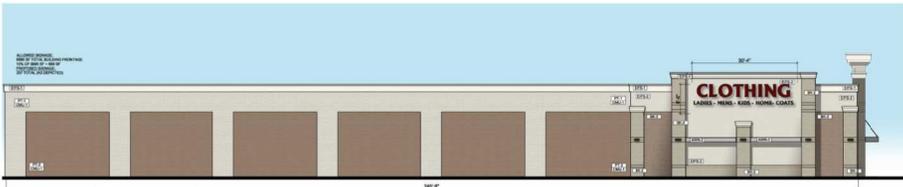
FRONT ELEVATION
62,863 SF RETAIL "A"



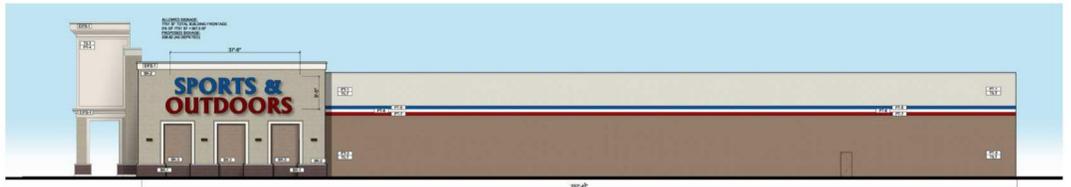
RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



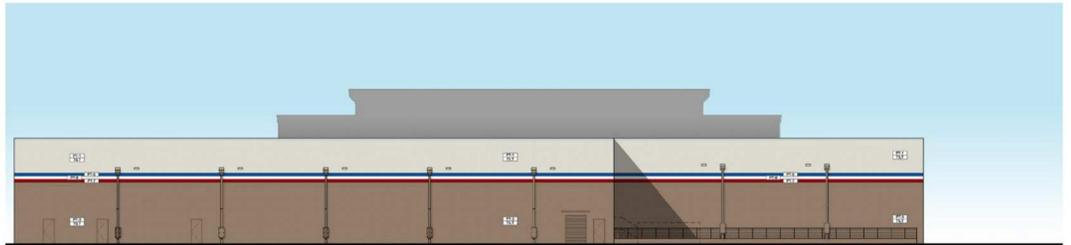
LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



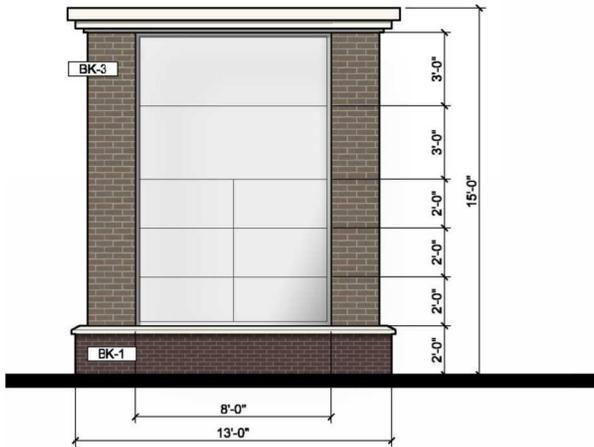
REAR ELEVATION



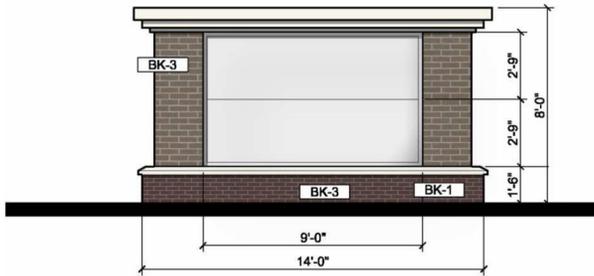
REAR ELEVATION

Note: Signage subject to city approval.

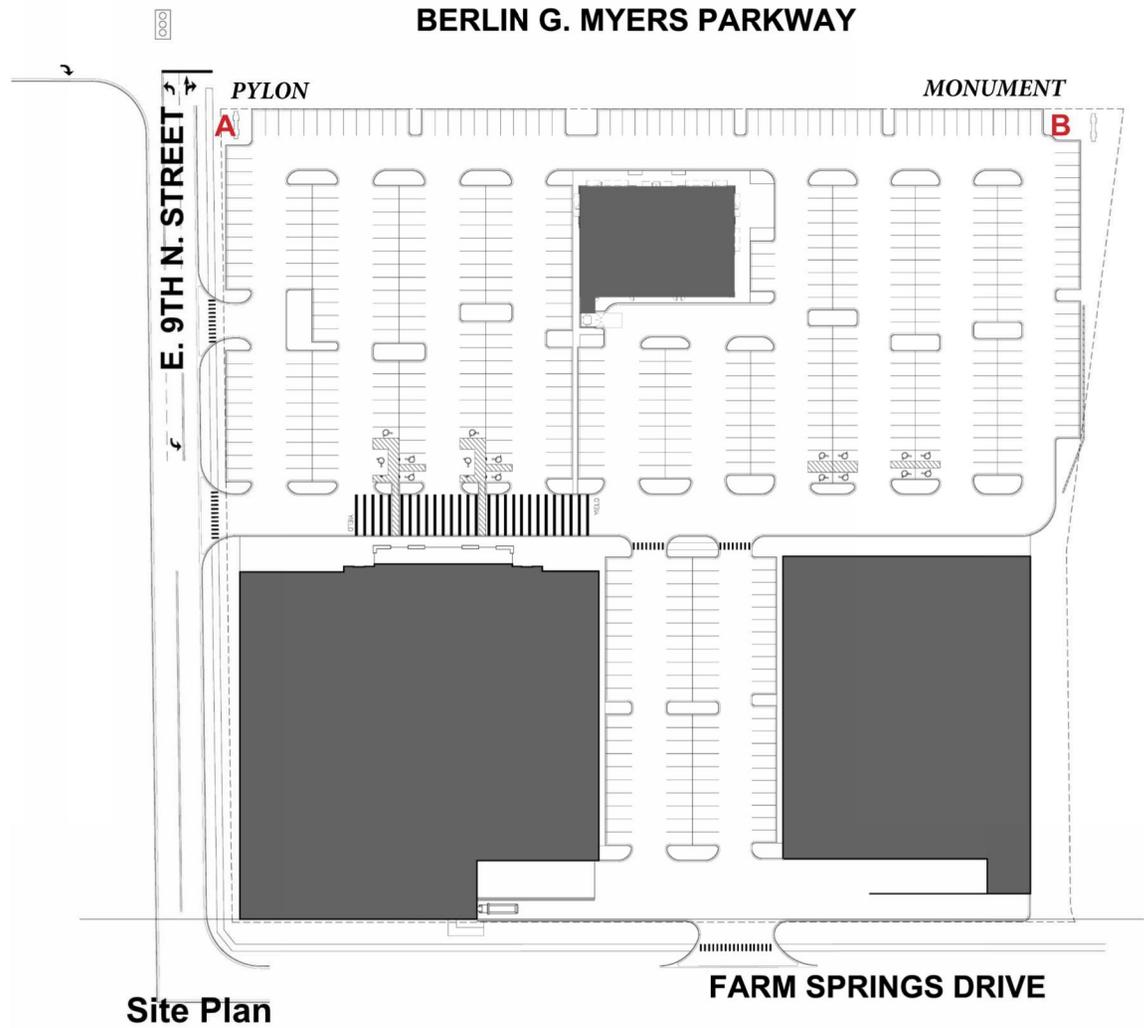
11/02/16



Pylon Sign "A"
(96 sf / 15'-0" Tall Max)



Monument Sign "B"
(49.5 sf / 8'-0" Tall Max)



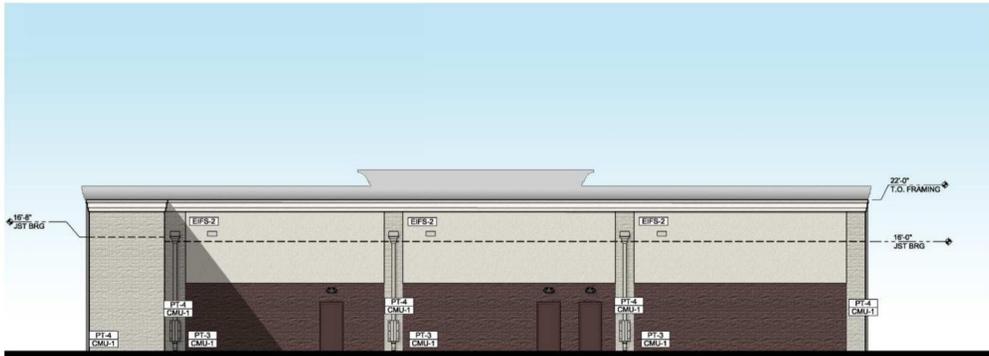
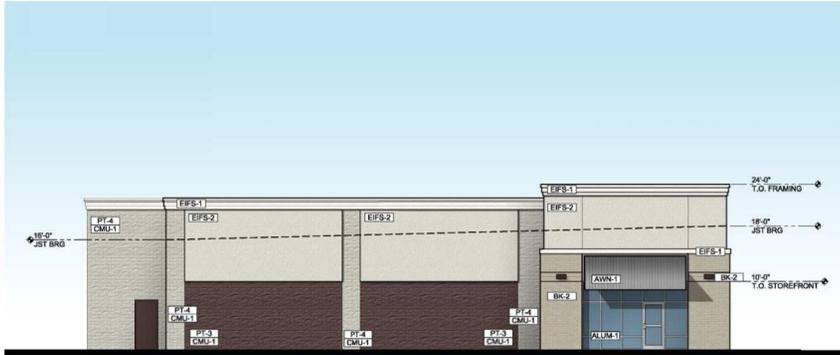
Site Plan

Note: Signage subject to city approval.

11/02/16

SUMMERVILLE COMMONS

SUMMERVILLE, SC



Note: Signage subject to city approval.

11/02/16

SUMMERVILLE COMMONS

SUMMERVILLE, SC



Note: Signage subject to city approval.

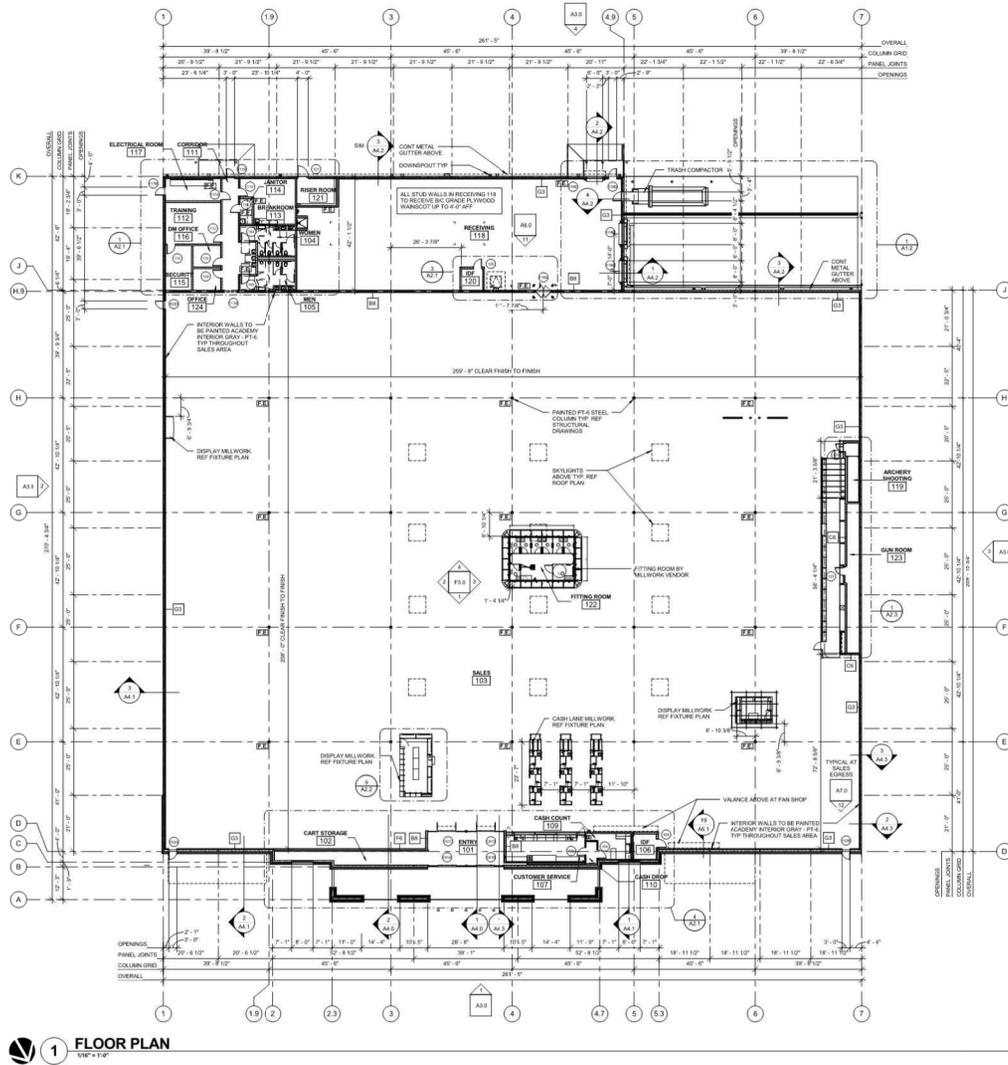
11/02/16

SUMMERVILLE COMMONS

SUMMERVILLE, SC

GBT REALTY CORPORATION
 9010 OVERLOOK BOULEVARD
 BRENTWOOD, TENNESSEE 37027
 (615) 370-0670 • (615) 373-3111 FAX
 www.gbtrealty.com

MJM ARCHITECTS
 ARCHITECTURE 422 4TH AV. S. NASHVILLE, TN 37203
 PLANNING 615-244-8170
 INTERIORS 615-244-8170
 GRAPHICS 615-244-8170 FAX
 www.mjmarch.com



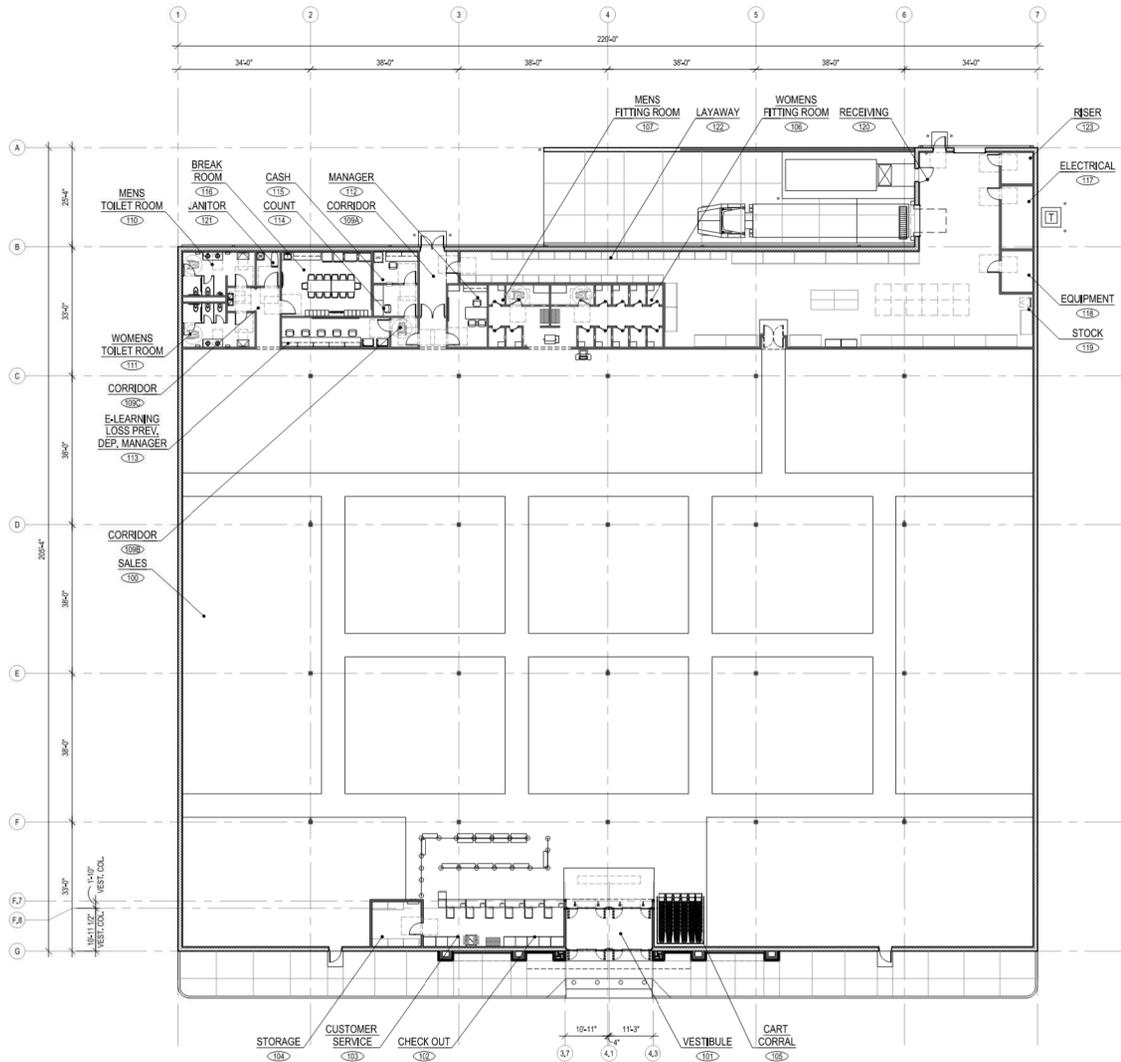
Retail A Prototypical Floor Plan

Note: Signage subject to city approval.

11/02/16

SUMMERVILLE COMMONS

SUMMERVILLE, SC



Retail B Prototypical Floor Plan

Note: Signage subject to city approval.

11/02/16

**STAFF REPORT
CDRB Meeting
November 17, 2016 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: November 9, 2016

GENERAL INFORMATION

Applicant: Taco Bell Oakbrook
Property Owner: Warren Nelson/JEM Restaurants
Requested Action: The applicant is applying for Preliminary Approval to demolish an existing Pizza Hut and build a new Taco Bell.
Requested Approval: Preliminary Approval
Existing Zoning: B-3, General Business
Location: 10115 Dorchester Road
Existing Land Use: Restaurant

Ordinance Reference:

Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based upon preliminary staff review, the project does not meet the Zoning Ordinance. Staff needs a parking justification for the increased number of parking spaces above the minimum required, and all spaces above the minimum are required to be pervious with a parking island every six spaces. The three parking spaces along the drive aisle do not appear to be in a good location for traffic flow, they should be removed. Existing freestanding sign will need to be replaced with a monument style sign that meets current ordinance requirements. All trees (canopy and understory) must be 3" caliper minimum. Side and rear border plantings do not meet requirements – a canopy tree must be planted every 30 feet on average. The trees shown to be saved are all Bradford pears, which are invasive, and are not in good condition, they should be removed and replanted with the required canopy trees. Staff needs the scientific name of the landscape plants included in the plant schedule. Double parking lot islands require two canopy trees to be planted. The Town's Engineering Department had the following comments: include existing and proposed impervious surface calculations on the site plan; based on the condition of the existing parking lot and curbing and the storm sewer, the entire parking lot needs to be redone and the stormwater design needs to be brought up to current requirements.

Town of Summerville



| | |
|----------------|-----------------|
| Date Received: | <u>11/2/16</u> |
| Amount Paid: | <u>\$100.00</u> |
| Staff Initial: | <u>OP</u> |

Department of Planning & Development
 200 S. Main Street
 Summerville, SC 29483

COMMERCIAL DESIGN REVIEW BOARD APPLICATION

REQUIREMENTS: This application, **9 sets (eight 11x17 and one full size) of plans** (site, landscape, and architectural), and any applicable fees (see fee schedule) must be submitted to the Department of Planning and Development at least 15 days prior to the Commercial Development Design Review Board meeting. Applications must include all applicable information required in the Commercial Design Review Application Checklist and **all sets of plans must be collated and folded**. Final plans must carry the seal of a registered architect or engineer licensed in the State of South Carolina. Applicants or a representative must be present for an item to be heard.

REQUEST:

- Conceptual Review (only requires photos of site, proposed building elevations, and site plan)
- Preliminary Approval (see attached checklist)
- Final Approval (see attached checklist)

Preliminary Approval Granted On: _____

PROJECT NAME: Taco Bell Oakbrook

PROJECT'S COMPLETE ADDRESS (if in shopping center, indicate name)
10115 Dorchester Road, Summerville SC 29485; Oakbrook Shopping Center

PRIMARY CONTACT'S EMAIL ADDRESS: khoyt@hoytberenyi.com

Owner/Developer's Name Warren Nelson ~~John McGrath~~ Firm JEM Restaurants Phone (757) 685-6465

Primary Contact's Name Kyle Hoyt Firm Hoyt Berenyi Phone (843) 408-3546

Architect's Name Brandon Baquet Firm ArcVision, Inc. Phone (800) 489-2233

Landscape Arch. Name Kyle Hoyt Firm Hoyt Berenyi Phone (843) 408-3546

Engineers Name Kyle Hoyt Firm Hoyt Berenyi Phone (843) 408-3546

The Commercial Development Design Review Board will meet at 4:00 p.m. on November 17, 2016

I have read and understand the instructions accompanying this application form. I certify that all information required by the Site and Architectural Plan Checklist is included and the application is complete. If an application is found to be incomplete, the primary contact will be notified and the application will be removed from the agenda. I also understand that any changes made to the drawings approved by the Commercial Design Review Board must be resubmitted for approval of any change or alteration. A Certificate of Occupancy will not be issued if the building and/or site and landscaping differ from the approved plans.

[Signature]
 Signature of Owner/Developer

Town of Summerville



Department of Planning & Development

COMMERCIAL DESIGN REVIEW BOARD APPLICATION CHECKLIST **MUST BE COMPLETED AND SUBMITTED WITH APPLICATION PACKAGE**

The Commercial Design Review Board meets the third Thursday of each month. Without exception, all required materials must be submitted by close of business 15 days prior to the meeting to be placed on the agenda. Materials shall be 11x17 with one full size to scale for staff review.

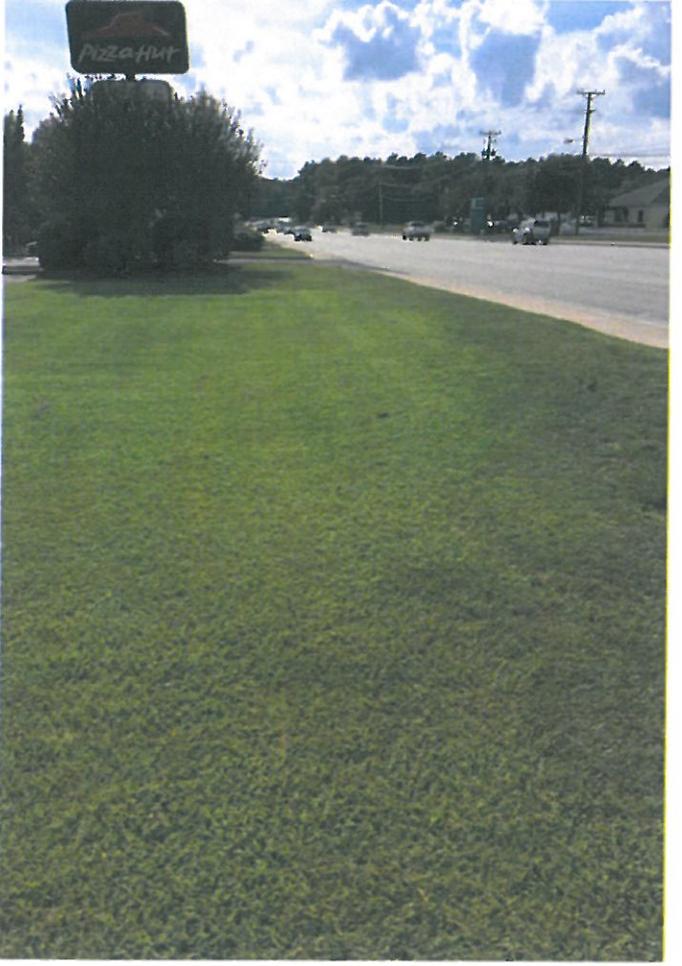
- Tax Map Number(s) for proposed property.
- Tree survey of parcel as well as proposed footprint of building(s). *(If applicable)*
- Site plan, drawn to scale showing exact size, shape and location of existing and/or proposed buildings.
- Site plan (see above) overlaid on tree survey of existing site. *(If applicable)*
- For signs, overall dimensions of sign(s), location and/or placement of sign, and dimensions of front of building.
- Advertising features and signs, including material type, lighting (if any), and colors. *(If applicable)*
- Floor plan.
- All proposed building elevations.
- Photos included Color rendering and/or samples of colors to be used in proposed project.
Not currently available Materials to be used in the proposed project (bring samples to meeting).
- Location and layout of parking areas and driveways.
- Pervious/impervious surface calculations.
- Proposed grade and drainage plans. *(If applicable)*
- Proposed water and sewer facilities including electrical gas, cable, etc. *(If applicable)*
- Not currently available Landscaping plans including screening and fencing, and showing any existing trees to be saved.
- Not currently available Photometric plan of site lighting (manufacturer's specifications will be accepted) and cut sheets showing light fixtures and specifications (i.e. pole height). *(If applicable)*
- Photographs of the proposed project site, properties on either side of proposed site, and of properties across the street from the project site.



#1 - Neighboring Property to the East



#3 - Neighboring Property to the West



#2 - Development Parcel Frontage Looking West Along Dorchester Road



#4 - Standing on Eastern Property Line Looking at Adjacent Parcel

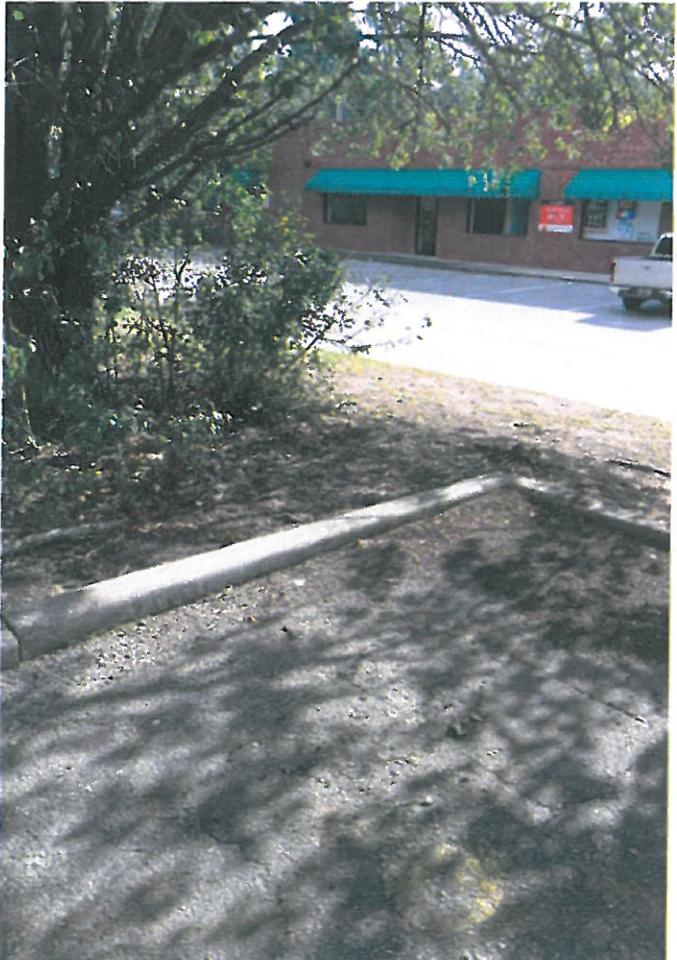
#7 - Existing Building to be Demolished



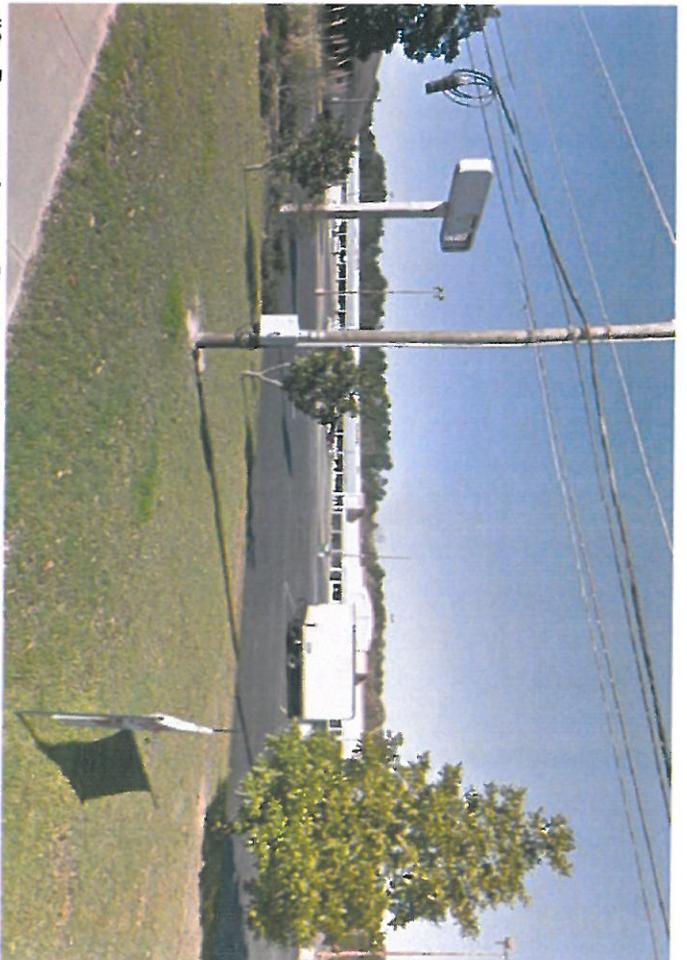
#5 - Southern Property Line - Existing Vegetation



#8 - Standing at Western Property Line Looking at Adjacent Parcel



#6 - Property Across Dorchester Road to the North



BUILDING COLORS



TACO BELL OAKBROOK

10095 DORCHESTER ROAD
SUMMERVILLE, SC 29485
TMS #161-00-00-066
TOWN OF SUMMERVILLE, SC



Taco Bell Oakbrook
 10095 Dorchester Road
 Summerville, SC 29485
 TMS #161-00-00-066
 TOWN OF SUMMERVILLE, SC

GENERAL NOTES:

- CONTRACTOR SHALL PROCEED AND CONFORM TO ALL CONSTRUCTION PERMITS REQUIRED BY BERKELEY COUNTY, THE SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL, THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION, AND THE OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT.
- CONTRACTOR SHALL PROVIDE ALL BONDS AND INSURANCE REQUIRED BY PUBLIC AND/OR PRIVATE AGENCIES HAVING JURISDICTION.
- CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM SCOTD FOR ALL WORK WITHIN THE STATE RIGHT-OF-WAY AND CONFORM TO ALL CONDITIONS OF THE PERMIT.
- ALL MATERIALS AND WORKMANSHIP FOR FACILITIES IN STREET RIGHT-OF-WAY OR EASEMENTS SHALL CONFORM TO APPROVING AGENCIES' CONSTRUCTION SPECIFICATIONS WHEREIN EACH HAS JURISDICTION, INCLUDING BUT NOT LIMITED TO BERKELEY COUNTY, DHS, AND COSA.
- UNLESS OTHERWISE APPROVED BY THE PUBLIC WORKS DIRECTOR, CONSTRUCTION OF ALL PUBLIC FACILITIES SHALL BE DONE BETWEEN 7:00 A.M. AND 6:00 P.M., MONDAY THROUGH SATURDAY.
- THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET APPLICABLE AGENCY REQUIREMENTS AND PROVIDE A COMPLETED PROJECT.
- CONTRACTOR TO NOTIFY SCOTD, COUNTY, BOSASA, AND ALL UTILITY COMPANIES A MINIMUM OF 48 BUSINESS HOURS (2 BUSINESS DAYS) PRIOR TO START OF CONSTRUCTION.
- ANY INSPECTION BY THE COUNTY, OR OTHER AGENCIES SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH THE APPLICABLE CODES AND AGENCY REQUIREMENTS.
- CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, WARNING SIGNS, TRAFFIC CONES PER SCOTD, COUNTY, & BOSASA REQUIREMENTS IN ACCORDANCE WITH THE MUTCD (INCLUDING SOUTH CAROLINA AMENDMENTS). ACCESS TO DRIVeways SHALL BE MAINTAINED AT ALL TIMES. ALL TRAFFIC CONTROL MEASURES SHALL BE APPROVED AND IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITY.
- RECORD DRAWINGS: THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS ON THE CONSTRUCTION SITE AT ALL TIMES WHEREIN HE WILL RECORD ANY APPROVED DEVIATIONS IN CONSTRUCTION FROM THE APPROVED DRAWINGS, AS WELL AS THE STATION LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES ENCOUNTERED. THESE FIELD RECORDED DRAWINGS SHALL BE KEPT UP TO DATE AT ALL TIMES AND SHALL BE AVAILABLE FOR INSPECTION BY THE GOVERNING AGENCIES UPON REQUEST.
- UPON COMPLETION OF CONSTRUCTION OF PUBLIC FACILITIES, CONTRACTOR SHALL SUBMIT A CLEAN SET OF FIELD RECORDED DRAWINGS CONTAINING ALL PERTINENT INFORMATION TO THE DESIGN ENGINEER FOR USE IN THE PREPARATION OF RECORD DRAWINGS FOR SUBMITTAL TO THE COUNTY & BOSASA.
- CONTRACTOR SHALL HOLD ALL PERMITS IN HAND PRIOR TO CONSTRUCTION.
- ALL UTILITIES OTHER THAN SANITARY SEWER, WATER AND STORM DRAINAGE BY OTHERS: CONTRACTOR SHALL NOTIFY AND COORDINATE WITH POWER, TELEPHONE, AND CABLE TO COMPANY FOR LOCATION OR RELOCATION OF VAULTS, PEDESTALS, PONDPILES, ETC.
- CONTRACTOR OBLIGATION SHALL BE SATISFIED AFTER PERMITTING OF THIS PROJECT. AS SUCH, BERENYI, INC. IS NOT RESPONSIBLE FOR CONSTRUCTION ADMINISTRATION UNLESS AUTHORIZED BY CONTRACT.

EXISTING UTILITIES & FACILITIES:

- THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE ENGINEER OF UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD LOCATE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING PROPERTY AND STREET MOVEMENTS PRIOR TO CONSTRUCTION. ANY MOVEMENTS DURING CONSTRUCTION OF THE PROJECT SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WHERE NEW FACILITIES CROSS. CONTRACTOR SHALL BE RESPONSIBLE FOR EXPOSING POTENTIAL UTILITY CONFLICTS FAR ENOUGH AHEAD OF CONSTRUCTION TO MAKE NECESSARY GRADE MODIFICATIONS WITHOUT DELAYING THE WORK. IF GRADE MODIFICATION IS NECESSARY, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AND THE DESIGN ENGINEER SHALL OBTAIN APPROVAL FROM THE COUNTY ENGINEER AND BOSASA PRIOR TO CONSTRUCTION. ALL UTILITY CROSSINGS SHALL BE FORTIFIED AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OR ALIGNMENT CONFLICTS.
- ALL EXISTING FACILITIES SHALL BE MAINTAINED IN-PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE COUNTY AND BOSASA.
- UTILITIES, OR INTERFERING PORTIONS OF UTILITIES, THAT ARE ABANDONED IN PLACE SHALL BE REMOVED BY THE CONTRACTOR TO THE EXTENT NECESSARY TO ACCOMPLISH THE WORK. THE CONTRACTOR SHALL PLUS THE REMAINING EXPOSED ENDS OF ABANDONED UTILITIES.
- CONTRACTOR SHALL REMOVE ALL EXISTING SIGNS, MAILBOXES, FENCES, LANDSCAPING, ETC. AS REQUIRED TO AVOID DAMAGE DURING CONSTRUCTION AND REPLACE THEM TO EXISTING OR BETTER CONDITION.
- ANY SEPTIC TANKS ENCOUNTERED DURING CONSTRUCTION SHALL BE PLUMPED OUT. CONTRACTOR SHALL BREAK BOTTOM OF TANK OUT AND BACKFILL WITH PERMITS UNLESS OTHERWISE REQUIRED BY PUBLIC AGENCIES HAVING JURISDICTION. SEPTIC TANKS REMOVED TO BE IN ACCORDANCE WITH COUNTY SANITARIAN REQUIREMENTS.
- ANY WELLS ENCOUNTERED SHALL BE ABANDONED PER SCOTD REQUIREMENTS.
- ANY FUEL TANKS ENCOUNTERED SHALL BE REMOVED AND DEPOSED OF PER SCOTD REQUIREMENTS. BACKFILL WITH COMPACTED GRANULAR MATERIAL.

GRADING, PAVING & DRAINAGE:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING CONSTRUCTION ACTIVITIES TO INSURE THAT PUBLIC STREETS AND RIGHT-OF-WAYS ARE KEPT CLEAN OF MUD, DIRT OR DEBRIS. DUST ABATEMENT SHALL BE MAINTAINED BY ADEQUATE WATERS OF THE SITE BY THE CONTRACTOR.
- UNLESS OTHERWISE NOTED, ALL GRADING, ROCKING AND PAVING TO CONFORM TO SCOTD STANDARD SPECIFICATIONS, LATEST EDITION.
- CLEAR AND GRUB WITHIN WORK LIMITS ALL SURFACE VEGETATION, TREES, STAMPS, BRUSH, ROOTS, ETC. DO NOT DAMAGE OR REMOVE TREES EXCEPT AS APPROVED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS. PROTECT ALL ROOTS TWO INCHES IN DIAMETER OR LARGER.
- STRIP WORK LIMITS, REMOVING ALL ORGANIC MATTER WHICH CANNOT BE COMPACTED INTO A STABLE MASS. ALL TREES, BRUSH AND DEBRIS ASSOCIATED WITH CLEARING, STRIPPING OR GRADING SHALL BE REMOVED AND DEPOSED OF LEGALLY OFF-SITE BY THE CONTRACTOR.
- IMMEDIATELY FOLLOWING FINE GRADING OPERATIONS, CONTACT SURVEYOR TO SET THE WADSWORTH DRY BENCHES. SURFACE SHOULD BE TEMPORARILY PROTECTED BY A LOADED DUMP TRUCK TO VERIFY ADEQUATE COMPACTION HAS BEEN ACHIEVED. CONTRACTOR SHALL ALSO COORDINATE WITH SCOTD FOR ANY INSPECTIONS REQUIRED ON SUBGRADE MATERIAL PLACED WITHIN THE RIGHT-OF-WAY.
- ALL FILLS WITHIN PUBLIC RIGHT-OF-WAYS AND EASEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE GOVERNING AGENCY'S SPECIFICATIONS.
- UNLESS OTHERWISE SHOWN ON THE DRAWINGS, STRAIGHT GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS AND/OR FINISH CONTROLS. FINISH PAVEMENT GRADES AT TRANSITION TO EXISTING PAVEMENT SHALL MATCH EXISTING PAVEMENT GRADES OR BE FINISHED WITH JOINTS WITH PAVEMENT AS REQUIRED TO PROVIDE A SMOOTH, FREE DRAINAGE SURFACE.
- CRUSHED ROCK SHALL CONFORM TO THE REQUIREMENTS OF SCOTD STANDARD SPECIFICATIONS SECTION 302 (BASE AGGREGATE), COMPACT TO 95% OF THE MAXIMUM DRY DENSITY. ALL BASE MATERIAL SHALL BE PROOF ROLLED TO VERIFY COMPACTION PRIOR TO PAVING.
- A.C. PAVEMENT SHALL CONFORM TO SCOTD STANDARD SPECIFICATIONS SECTION 401 (ASPHALT CONCRETE PAVEMENT) FOR STANDARD DUTY MIX.
- ALL EXISTING OR CONSTRUCTED MANHOLES, CLEANOUTS, MONUMENTS, GAS VALVES, WATER VALVES AND SIMILAR STRUCTURES SHALL BE ADJUSTED TO FINISH GRADE OF THE PAVEMENT, SODIUM, LANDSCAPED AREA OR MEDIAN STRIP WIDTHEN THEY ARE.
- UNLESS OTHERWISE SHOWN ON THE DRAWINGS, NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 3:1V.
- CONTRACTOR SHALL HYDROSEAL ALL EXPOSED SLOPES AND DISTURBED AREAS WHICH ARE NOT SCHEDULED TO BE LANDSCAPED.
- ALL STORM SEWERS AND JOINTS, PAVING UNDERBAYS ROADWAYS SHALL BE WRAPPED WITH A NONWOVEN POLYPROPYLENE FABRIC, MEETING ASTM D-4433 AND ASTM D-4491 STANDARDS.

GENERAL SEQUENCE OF CONSTRUCTION

- CLEARING AND GRUBBING THOSE AREAS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS.
 - INSTALLATION OF SEDIMENT BASINS AND TRAPS.
 - CONSTRUCTION OF PERIMETER CONTROLS AND TREE PROTECTION.
 - REMAINING CLEARING AND GRUBBING.
 - PAVEMENT GRADING.
 - ROUGH GRADING FOR THE REMAINDER OF THE SITE.
 - UTILITY INSTALLATION AND BUILDING PAD.
 - FINAL GRADING, LANDSCAPING, AND STABILIZATION; AND
 - REMOVAL OF SEDIMENT CONTROLS UPON FINAL INSPECTION AS REQUIRED BY PERMITS.
- CHANGES TO THE SEQUENCE OF CONSTRUCTION OPERATIONS MAY BE MODIFIED BY THE PERSON CONDUCTING THE LAND DISTURBING ACTIVITY OR THOSE RESPONSIBLE AND DO NOT CONSTITUTE A VIOLATION UNLESS MEASURES TO CONTROL STORMWATER RUNOFF AND SEDIMENT ARE NOT UTILIZED.



VICINITY MAP
N.T.S.

Drawing Index:

- | | |
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| C1 | Civil Notes |
| C2 | Existing Conditions |
| C3 | Demolition & SWPPP |
| C4 | Site Plan |
| C5 | Paving, Grading, & Drainage |
| C6 | Water, Sewer, & Utilities |
| C7 | Details |
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| C9 | Details |
| C10 | Dumpster Details |
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| L1 | Landscape Plan |
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PIPED UTILITIES:

- UNLESS OTHERWISE NOTED, MATERIALS AND WORKMANSHIP FOR WATER, SANITARY SEWER AND STORM SEWER SHALL CONFORM TO SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL, AND APMA STANDARD SPECIFICATIONS.
- ALL PIPED UTILITIES ABANDONED IN PLACE SHALL HAVE ALL OPENINGS CLOSED WITH CONCRETE PLUGS WITH A MINIMUM LENGTH EQUAL TO 2 TIMES THE DIAMETER OF THE ABANDONED PIPE.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT AND FACILITIES REQUIRED FOR TESTING ALL UTILITY PIPING IN ACCORDANCE WITH TOWN CONSTRUCTION SPECIFICATIONS.
- TRENCH WIRE: ALL NON-METALLIC WATER PIPING LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY OR NOT LAG IN STRAIGHT LINES BETWEEN STRUCTURES SHALL HAVE AN ELECTRICALLY CONDUCTIVE INSULATED 12 GAUGE COPPER TRACER WIRE THE FULL LENGTH OF THE INSTALLED PIPE. LONG BLUE WIRE FOR WATER TRACER WIRE SHALL BE EXTENDED UP INTO ALL VALVE BOXES.
- WARNING TAPE: DETECTABLE OR NON-DETECTABLE GAS AND ALKALI RESISTANT SANITARY SEWER LATERALS AND ALONG ALL WATER AND SANITARY SEWER MANHOLE SEGMENTS NOT LOCATED UNDER STREETS OR PAVED PORTIONS OF STREETS, UNDERGROUND WARNING TAPE SHALL BE CONTINUOUS THE ENTIRE LENGTH OF SERVICE LATERALS.
- NO TRENCHES IN ROADS OR DRIVEWAYS SHALL BE LEFT IN AN OPEN CONDITION OVERNIGHT. ALL SUCH TRENCHES SHALL BE CLOSED BEFORE THE END OF EACH WORK DAY AND NORMAL TRAFFIC FLOWS RESTORED.

SCDHEC ABBREVIATED NOTES (< 0.5 AC):

- IF NECESSARY, SLOPES, WHICH EXCEED 1:1, SHALL BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL MEASURES DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BUILT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. SLOPES SHALL BE STABILIZED WITHIN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS NOTED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SHOW COVER OR FROZEN GROUND CONDITIONS.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE. ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS. TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. PERIODIC INSPECTION OF OTHER INFORMATION, INCLUDING THAT A BMP HAS BEEN APPROPRIATELY OR PROGRESSIVELY, THE PERMITS MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.

SANITARY SEWER:

- ALL WORK TO BE PERFORMED PURSUANT TO SCOTD AND SUMMERVILLE CDP STANDARD SPECIFICATIONS FOR SEWER SYSTEMS AS APPROVED BY SCOTD ON NOVEMBER 3, 2003.
- OPENINGS FOR CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE BY SANDING OR CORE-DRILLING EXISTING MANHOLE STRUCTURE. USE OF PNEUMATIC JACKHAMMERS SHALL BE PROHIBITED. CONNECTIONS TO BE WATERPROOFED AND SHALL PROVIDE A SMOOTH FLOW INTO AND THROUGH THE MANHOLE. SMALL GRIPPING HAMMERS OR SIMILAR LIGHT TOOLS WHICH WILL NOT DAMAGE OR CRACK THE MANHOLE BASE MAY BE USED TO SHAPE CHANNELS OR DRAINAGE EXISTING OPENINGS, IF AUTHORIZED BY SCOTD.
- LEAKAGE TESTING: SANITARY SEWER PIPE AND APPURTENANCES SHALL BE TESTED FOR LEAKAGE. LEAKAGE TESTS SHALL INCLUDE AN AIR TEST OF ALL SEWER LINES AND LATERALS AND VACUUM TESTING OF THE MANHOLES.
- CLEANING: PRIOR TO MANHOLE TESTING AND/OR TV INSPECTION, FLUSH AND CLEAR ALL SEWERS, AND REMOVE ALL FOREIGN MATERIAL FROM THE MANHOLES AND MANHOLES. DO NOT ALLOW DEBRIS TO ENTER EXISTING SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR COMPLETE SEWER SERVICE INSTALLATION, WHILE WORKING UNDER THE SUPERVISION OF SCOTD PERSONNEL.

WATER:

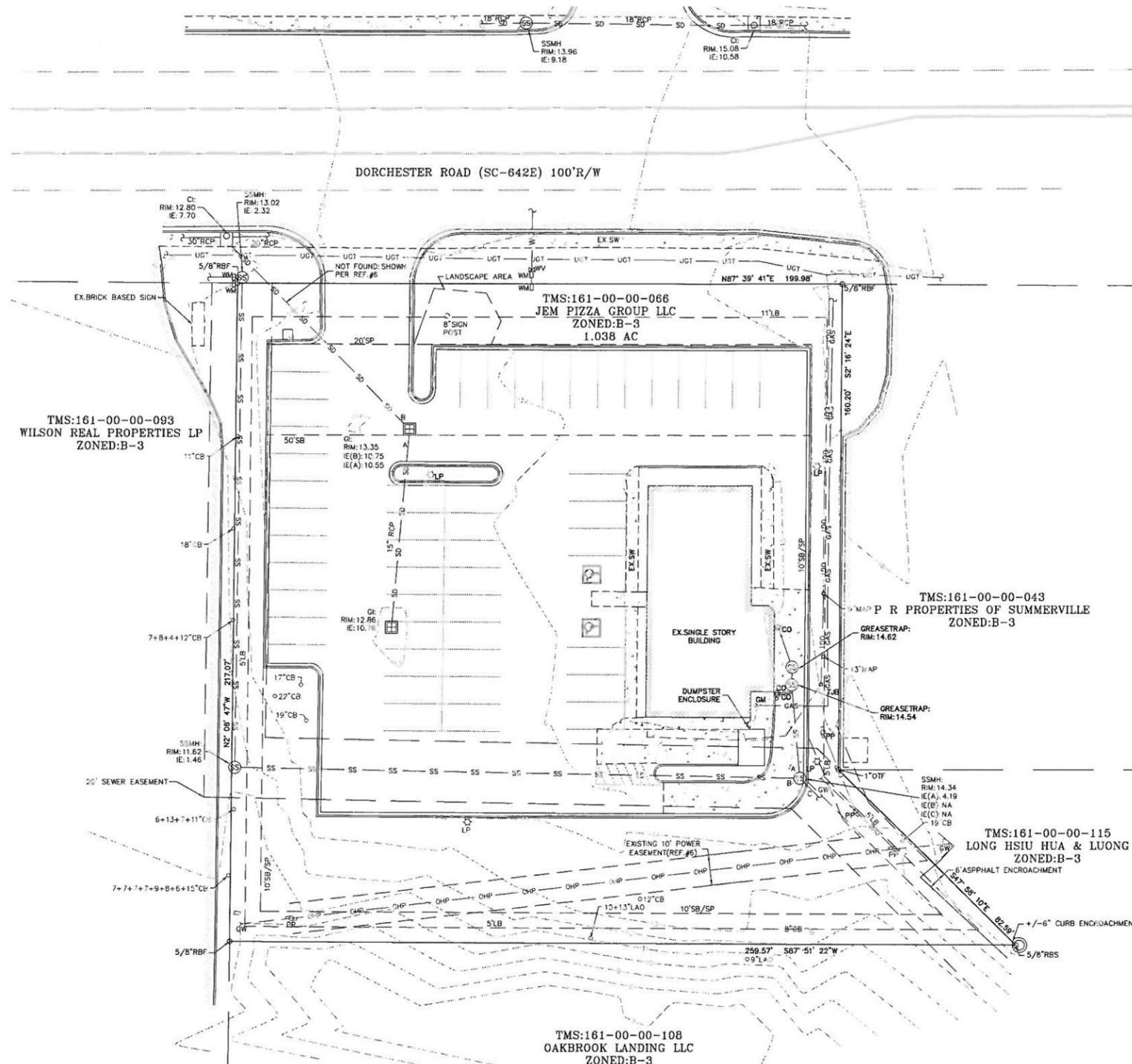
- ALL WORK TO BE PERFORMED PURSUANT TO SCOTD AND SUMMERVILLE CDP STANDARD SPECIFICATIONS FOR WATER SYSTEMS AS APPROVED BY SCOTD ON DECEMBER 4, 2003.
- SCOTD TO OPERATE ALL VALVES, INCLUDING FIRE HYDRANTS, ON EXISTING PUBLIC MAINS.
- UNLESS OTHERWISE NOTED, WATER SERVICE PIPE ON THE PRIVATE SIDE OF THE METER SHALL BE SCHEDULE 40 PIPE.
- EXCAVATION AND PIPE BACKFILL PROTECTION DEVICES AND VALVES SHALL CONFORM TO REQUIREMENTS OF PUBLIC AND/OR PRIVATE AGENCIES HAVING JURISDICTION.
- CONTRACTOR SHALL INSTALL TEMPORARY PLUG AND FLASHING IN FRONT AS REQUIRED AT THE END OF WATERLINE FOR FLASHING, TESTING AND CALCULATION.
- THE WORK SHALL BE PERFORMED IN A MANNER DESIGNATED TO MAINTAIN WATER SERVICE TO BUILDINGS SUPPLIED FROM THE EXISTING WATERLINES. IN NO CASE SHALL SERVICE TO ANY MAIN LINE OR BUILDING BE INTERRUPTED FOR MORE THAN FOUR (4) HOURS IN ANY ONE DAY. CONTRACTOR SHALL NOTIFY SCOTD AND ALL AFFECTED RESIDENTS AND BUSINESSES IN WRITING A MINIMUM OF 24 BUSINESS HOURS (1 BUSINESS DAY) PRIOR TO ANY INTERRUPTION OF SERVICE.
- SANITARY SEWER & WATERLINE CROSSINGS: WHERE SANITARY SEWER LINES CROSS WITHIN 18-INCHES VERTICAL SEPARATION OF A WATERLINE, BOTH PIPES SHALL BE DUCTILE IRON PIPE. CENTER FULL LENGTH OF DUCTILE IRON PIPE AT POINT OF CROSSING. CONNECT TO SEWER LINES WITH APPROVED COUPLINGS. NOTE: FOR AN 8-INCH WATERLINE WITH 36-INCH COVER, LATERAL INVERTS WITHIN 5.67'-FEET (50-INCHES) OF FRESH GRADE MUST BE DUCTILE IRON PIPE.
- WATER MAIN CONSTRUCTION NOT TO PROCEED UNTIL ROADWAY SUBGRADES HAVE BEEN CUT FILLED TO DESIGN ELEVATIONS.
- ALL 1/4 FITTINGS TO BE RESTRAINED WITH RESTRAINING FLANGES. FITTINGS AND VALVES WITHIN 10' OF EACH OTHER SHALL BE ROODED TOGETHER WITH 3/4" ALL-TREAD ROD.

SCOTD GRASSING AND STABILIZATION NOTES:

- ALL GRASSING AND STABILIZATION TEMPORARY AND PERMANENT PERFORMED WITHIN THE SCOTD RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH SCOTD SUPPLEMENTAL TECHNICAL SPECIFICATION SC-3-M-016.

| NO. | DATE | BY | DESCRIPTION |
|-----|------------|--------------|--------------------------|
| 1 | 11-02-2015 | Kyle M. Hoyt | ISSUED FOR PERMIT REVIEW |

DRAWN BY: Kyle M. Hoyt, P.E.
 CHECKED BY: Gary F. Berenyi, P.E.
 DATE: October 3, 2016
 PROJECT #: 16-051
 SCALE: AS NOTED
 SHEET TITLE: CIVIL TITLE SHEET
 SHEET NUMBER: C.1



- NOTES:
1. THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
 2. PROPERTY LIES IN FLOOD X PER FEMA COMMUNITY PANEL NUMBER 4500680245C, EFFECTIVE APRIL 15, 1994.
 3. ELEVATIONS REFERENCE NA'D 88.
 4. DORCHESTER COUNTY TMS: 161-00-00-066.
 5. AREA DETERMINED BY COORDINATE METHOD.
 6. PROPERTY IS SUBJECT TO APPLICABLE ZONING ORDINANCES AND BUILDING CODES, INCLUDING, WITHOUT LIMITATION, PERMITTED USES, SETBACKS, AND BUILDING HEIGHT RESTRICTIONS.
 7. THE PROPERTY LINES SHOWN HEREON ARE BASED ON FOUND MONUMENTATION, LISTED REFERENCE DATA, AND LINES OF OCCUPATION.
 8. SETBACKS SHOWN PER REF.#6

BUILDING: FRONT: 50'
SIDE: 10'
REAR: 10'

PARKING: FRONT: 20'
SIDE: 10'
REAR: 10'

- REFERENCES:
1. "PLAT SHOWING TRACT H", A 1.035 ACRE TRACT OF LAND LOCATED ON DORCHESTER ROAD, IN OAKBROOK, DORCHESTER COUNTY, SC, BY A. VINT THORNBURG, P.E., DATED DECEMBER 31, 1984, AS RECORDED IN PLAT BOOK E, PAGE 172 AT THE DORCHESTER COUNTY ROD.
 2. "PLAT SHOWING REVISED TRACT J", PROPERTY OF BISRAM HARI, LOCATED IN OAKBROOK, THE TOWN OF SUMMERVILLE, DORCHESTER COUNTY, SOUTH CAROLINA, BY CHARLES W. SHAWER, P.E., DATED JANUARY 24, 1989, AS RECORDED IN PLAT BOOK G, PAGE 206 AT THE DORCHESTER COUNTY ROD.
 3. "PLAT SHOWING FIVE TRACTS OF LAND LOCATED AT THE INTERSECTION OF DORCHESTER ROAD, SURVEYED AT THE REQUEST OF P.R. PROPERTIES OF SUMMERVILLE, L.L.C., BY ASSOCIATED SURVEYORS AND ENGINEERS, AS RECORDED IN PLAT BOOK J, PAGE 149 AT THE DORCHESTER COUNTY ROD.
 4. SCDOT FILE NO. 18.483.
 5. RESTRICTIVE COVENANTS FOR OAK BROOK COMMERCIAL PROPERTY, AS RECORDED IN DEED BOOK 425, PAGE 51 AT THE DORCHESTER COUNTY ROD.

LEGEND

| LINE TYPES AND SYMBOLS | DESCRIPTION |
|------------------------|-----------------------------------|
| —●— | PROPERTY LINE WITH CORNER FOUND |
| —○— | PROPERTY LINE WITH 5/8" REBAR SET |
| --- | RIGHT OF WAY |
| - - - - | ADJACENT PROPERTY LINE |
| --- | CENTERLINE |
| --- | EXISTING EASEMENT |
| —GAS— | GAS LINE |
| —SD— | UNDERGROUND COMMUNICATION LINE |
| —SD— | STORM DRAIN LINE |
| —SS— | SANITARY SEWER LINE |
| —W— | WATER LINE |
| —OHP— | OVERHEAD POWER |
| —GAS— | GAS LINE |
| —GP— | POWER POLE |
| —GW— | GUY WIRE |
| —LP— | SIGN |
| —LP— | LIGHT POLE |
| —SP— | SPOT ELEVATION |
| —U— | UTILITY TERMINI UNKNOWN |

ABBREVIATIONS

| | |
|------|-------------------------------|
| RBF | REBAR FOUND |
| OTF | OTF |
| JB | JUNCTION BOX |
| CI | CURB INLET |
| GI | GRATE INLET |
| TJB | TELEPHONE JUNCTION BOX |
| GS | GROUND SHOT |
| EOP | EDGE OF PAVEMENT |
| BOC | BACK OF CURB |
| C | TOP OF CONCRETE |
| EB | ELECTRIC BOX |
| CL | CENTERLINE |
| SDMH | STORM DRAIN MANHOLE |
| SSMH | SANITARY SEWER MANHOLE |
| WH | WELLHEAD |
| TOD | TRANSITIONAL OVERLAY DISTRICT |
| SB | BUILDING SETBACK |
| SP | PARKING SETBACK |
| LB | LANDSCAPE BUFFER |
| SW | SIDEWALK |

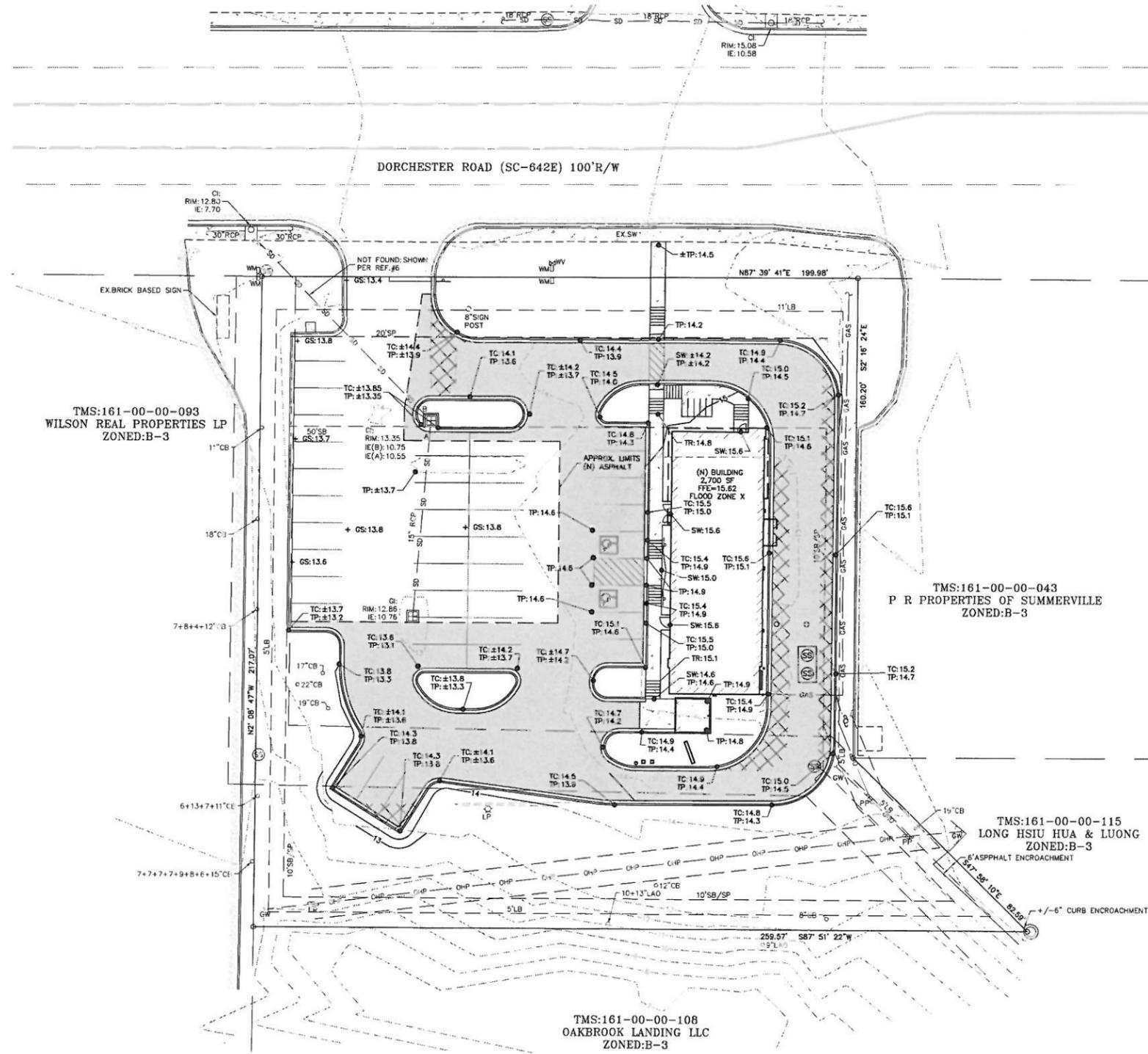


DRAWING FOR:

Taco Bell Oakbrook
10095 Dorchester Road
Summerville, SC 29485
TMS #161-00-00-066
TOWN OF SUMMERVILLE, SC

| NO. | DATE | BY | DESCRIPTION |
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DRAWN BY: Kyle M. Hoyt, P.E.
CHECKED BY: Gary F. Berenyi, P.E.
DATE: October 3, 2016
PROJECT #: 16-061
SCALE: 1" = 20'
SHEET TITLE: **EXISTING CONDITIONS**
SHEET NUMBER: **C.2** OF 12



LEGEND

| LINE TYPES AND SYMBOLS | |
|------------------------|-----------------------------------|
| | PROPERTY LINE WITH CORNER FOUND |
| | PROPERTY LINE WITH 5/8" REBAR SET |
| | RIGHT OF WAY |
| | ADJACENT PROPERTY LINE |
| | CENTERLINE |
| | EXISTING EASEMENT |
| | GAS LINE |
| | UNDERGROUND COMMUNICATION LINE |
| | STORM DRAIN LINE |
| | SANITARY SEWER LINE |
| | WATER LINE |
| | OVERHEAD POWER |
| | GAS LINE |
| | POWER POLE |
| | GUY WIRE |
| | SIGN |
| | LIGHT POLE |
| | SPOT ELEVATION |
| | UTILITY TERMINI UNKNOWN |

ABBREVIATIONS

| | |
|------|-------------------------------|
| RBF | REBAR FOUND |
| OTF | OTF |
| JB | JUNCTION BOX |
| CI | CURB INLET |
| GI | GRATE INLET |
| TJB | TELEPHONE JUNCTION BOX |
| GS | GROUND SHOT |
| EOP | EDGE OF PAVEMENT |
| BOC | BACK OF CURB |
| C | TOP OF CONCRETE |
| EB | ELECTRIC BOX |
| CL | CENTERLINE |
| SDMH | STORM DRAIN MANHOLE |
| SSMH | SANITARY SEWER MANHOLE |
| WH | WELLHEAD |
| TOD | TRANSITIONAL OVERLAY DISTRICT |
| SB | BUILDING SETBACK |
| SP | PARKING SETBACK |
| LB | LANDSCAPE BUFFER |
| SW | SIDEWALK |

PAVING LEGEND

| | |
|--|---|
| | CONCRETE |
| | NEW STANDARD DUTY ASPHALT (IN PLACES OF EXISTING ASPHALT) |
| | NEW STANDARD DUTY ASPHALT (NO EXISTING ASPHALT, FULL SECTION DEPTH REQ.) |

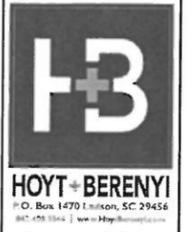
GENERAL NOTES

1. ALL GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING TO DRAIN INLETS AND PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXISTING PAVEMENT AND CURB.

POST CONSTRUCTION STORMWATER MAINTENANCE PLAN

1. ALL GRASSED/PLANTED AREAS SHALL BE MAINTAINED IN A MANNER TO PROVIDE VEGETATIVE COVER BUT NOT IMPEDE THE FUNCTION OF THE OUTFALL STRUCTURES OR STORMWATER DRAINAGE. THIS MAY INCLUDE PESTICIDE/NUTRIENT MANAGEMENT, VOLUNTEER SHRUB TREE REMOVAL, MONTHLY MOWING OF GRASSED AREAS MINIMUM, ETC.

2. MONITOR ONSITE EROSION SEMI-ANNUALLY MINIMUM. REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.

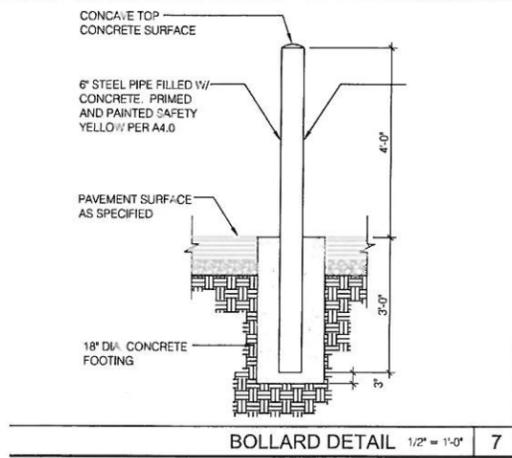


DRAWING FOR:
Taco Bell Oakbrook
 10095 Dorchester Road
 Summerville, SC 29485
 TMS #161-00-00-066
 TOWN OF SUMMERVILLE, SC

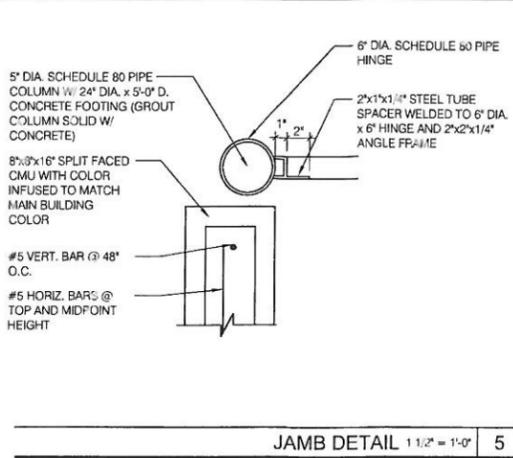
| REV | DATE | DESCRIPTION |
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| A | 11-01-2015 | ISSUED FOR PERMIT REVISIONS |

DRAWN BY: Kyle M. Hoyt, P.E.
 CHECKED BY: Gary F. Berenyi, P.E.
 DATE: October 3, 2016
 PROJECT #: 16-051
 SCALE: 1" = 20'
 SHEET TITLE:
**PAVING,
 GRADING &
 DRAINAGE PLAN**
 SHEET NUMBER:

C.5



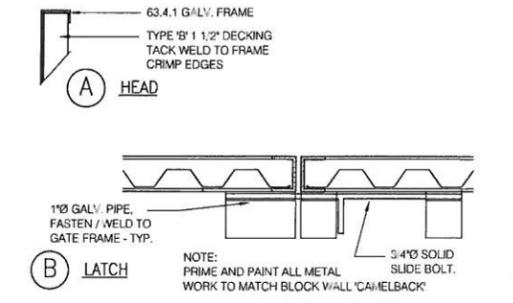
BOLLARD DETAIL 1/2" = 1'-0" 7



JAMB DETAIL 1 1/2" = 1'-0" 5

GATE NOTES:
 (2) EQUAL (±6'-0") WIDE x 6'-0" HIGH MTL. GATES, TYPE 'B' 1 1/2" DECKING, 22GA. W/ T.S. 5 X 5 X .1875 BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT 'CAMELBACK'.

GATE HARDWARE:
 1. ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.
 2. **GATE STOP** - MUSH-ROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.



NOTES:
 1. LOCATION SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT.
 2. AREAS SHALL BE ACCESSIBLE FOR DELIVERY AND COLLECTION.
 3. GATES SHALL BE CORRUGATED METAL DOORS AND MUST BE APPROVED BY PUBLIC WORKS DEPARTMENT PRIOR TO INSTALLATION.
 4. GATE LATCHES SHALL BE OF THE PLUNGER BAR TYPE OR EQUIVALENT AS APPROVED BY THE PUBLIC WORKS DEPARTMENT.
 5. SEE ATTACHED SPECIFICATIONS, NOTES AND PROCEDURES

TRASH ENCLOSURE DETAIL MATERIAL SPECIFICATIONS:
 1. SPLIT FACE CONCRETE BLOCK: 8" MINIMUM IN SIZE.
 2. REINFORCING STEEL: ASTM 615, GRADE 40.
 3. ACCEPTABLE SOIL TYPES:
 A. MIN. ALLOWABLE BEARING: 1000 LBS/SQ. FT.
 B. MIN. LATERAL BEARING: 100 LBS/SQ. FT./FT.
 C. MAX EXPANSION INDEX: 20
 4. CONCRETE: 2000 LBS/SQ. IN. IN 28 DAYS.
 5. MORTAR: 1:1 1/2:3 (PORTLAND CEMENT: HYDRATED LIME OR LIME PUTTY; SAND, BY VOLUME). MIXED TO PLASTIC CONSISTENCY. REFER TO UBC TABLE 24-A FOR OTHER TYPES OF CEMENT.
 6. GROUT: 1:1:10:3 (PORTLAND CEMENT: HYDRATED LIME OR LIME PUTTY; SAND BY VOLUME; MAX TO FLOW WITHOUT SEGREGATION. GROUT MAY CONTAIN 2 PARTS PEA GRAVEL (3/8" MAX. SIZE).
 MINIMUM COMPRESSIVE STRENGTH: 2000 LBS/SQ. IN. REFER TO UBC TABLE 24-B FOR OTHER TYPES OF CEMENT.

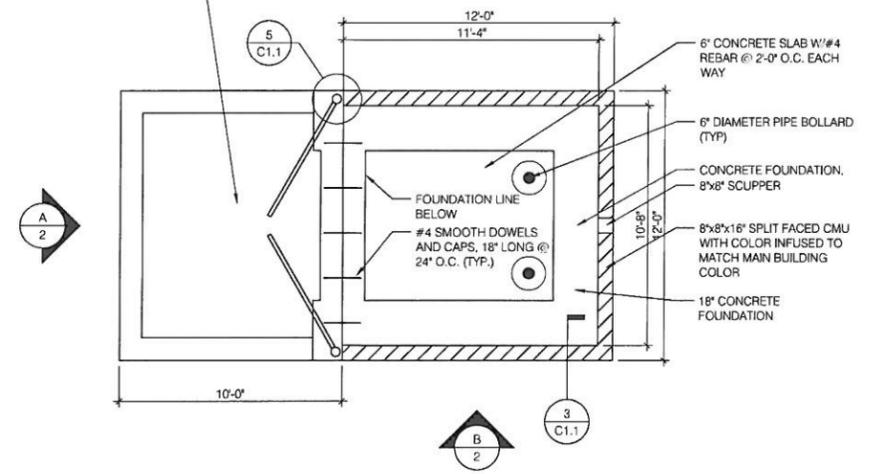
GENERAL NOTES:
 1. THIS DESIGN IS FOR AVERAGE CONDITIONS AND MAY NOT BE SUITABLE FOR ALL CASES. IT IS RECOMMENDED THAT A LICENSED CIVIL OR STRUCTURAL ENGINEER BE CONSULTED.
 2. FOOTINGS SHALL BE IN NATURAL SOIL OR CERTIFIED FILL.
 3. BLOCKS TO BE STAGGERED (RUNNING BOND).
 4. ALL CELLS CONTAINING REINFORCING STEEL SHALL BE GROUTED.
 5. APPROVED GROUT STOPS ARE REQUIRED BELOW HORIZONTAL STEEL IN PARTIALLY GROUTED WALLS. BAGS, NEWSPAPERS, ETC. ARE NOT APPROVED GROUT STOPS.
 6. INITIAL BED JOINT SHALL BE 1/4" MIN. 1" MAX. SUBSEQUENT BED JOINTS SHALL BE 1/2" MIN., 3/4" MAX.
 7. VERTICAL CONTINUITY OF CELLS SHALL BE UNOBSTRUCTED. MORTAR PROJECTIONS SHALL NOT EXCEED 1/2" FOR 6" AND LARGER BLOCK. MORTAR DROPPINGS OR OTHER FOREIGN MATTER ARE NOT PERMITTED IN CELLS AND MUST BE REMOVED.
 8. EXPANSION JOINTS REQUIRED AT 60'-0" MAX. INTERVALS.
 9. REQUIRED BAR LAPS:
 A. VERTICAL STEEL: 30 BAR DIAMETERS.
 B. HORIZONTAL STEEL: 40 BAR DIAMETERS.
 C. WIRE JOINT REINFORCEMENT IN THE MORTARED BED JOINT: 75 WIRE DIAMETERS OR IN ALTERNATE BED JOINTS OF RUNNING BOND, 54 DIAMETERS PLUS TWICE THE BED JOINT SPACING.
 10. WHERE HORIZONTAL WIRE JOINT REINFORCEMENT IS REQUIRED OR UTILIZED, IT SHALL BE EQUIVALENT TO TWO 3/16" DIAMETER BARS CONNECTED AT 16" INTERVALS BY NO. 9 GAUGE WELDED WIRE.
 11. FOR PIPES AND CONDUIT EMBEDDED IN MASONRY, REFER TO SEC. 24-07(g) UBC.
 12. 3" MIN. COVER REQUIRED FOR REINFORCEMENT IN CONCRETE WHICH IS CAST AGAINST EARTH.

INSPECTION PROCEDURES:
 1. FOUNDATION: AFTER TRENCHES ARE DUG, STEEL IS TIED IN PLACE AND BEFORE ANY CONCRETE IS POURED.
 2. PREGROUT: AFTER ALL BLOCKS (EXCEPT CAP) ARE IN PLACE, VERTICAL AND HORIZONTAL STEEL IS IN PLACE, GROUT STOPS (FOR PARTIALLY GROUTED MASONRY) ARE IN PLACE, AND PRIOR TO GROUTING.
 3. FINAL: AFTER GROUT IS IN PLACE AND PRIOR TO PLACEMENT OF CAP.

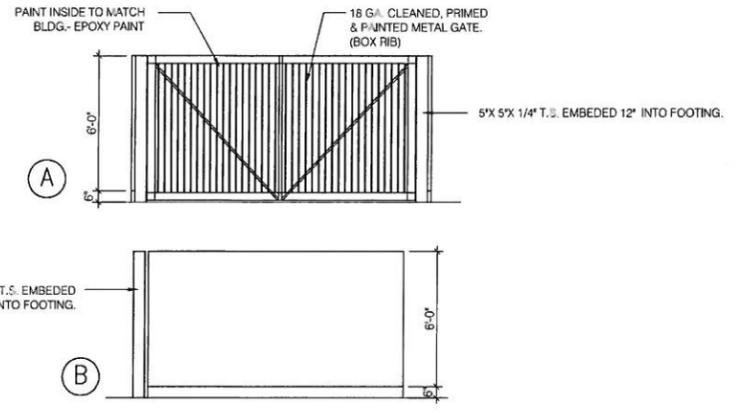
GATE DETAILS N.T.S. 6

DUMPSTER DETAILS ARE PROVIDED FROM PLANS BY ARCVISION INC. (ARCHITECT) FOR PERMIT PURPOSES. REFER TO FINAL ARCHITECTURAL PLANS TO VERIFY DETAILS.

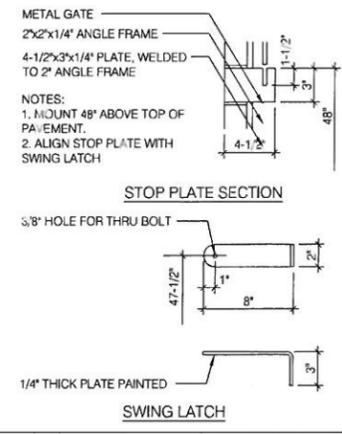
8" THICK CONCRETE APRON WITH 12"x12" THICKENED EDGE. #4 REBAR @ 12" O.C. EACH WAY ±3 DAY MIN COMPRESSION STRENGTH OF 4,000 PSI W/5x6 10-10 WWM 12" COMPACTED STABILIZED SUBGRADE MIN. LBR 40 COMPACTED TO MIN. 95% OF MAX. DRY DENSITY A-SHTO T-180. COMPACT AASHTO (ASTM D 1557)



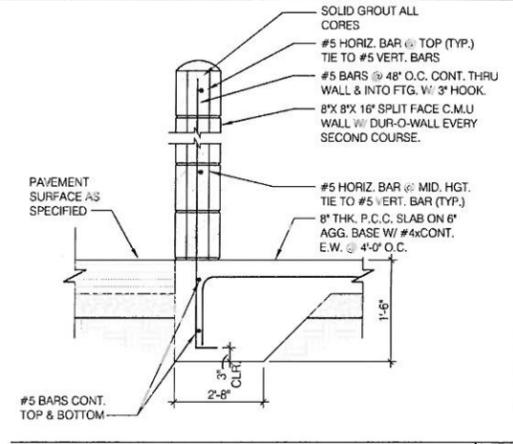
PLAN VIEW 1/4" = 1'-0" 1



ELEVATION 1/4" = 1'-0" 2



GATE DETAILS N.T.S. 4



SECTION N.T.S. 3



HOYT + BERENYI
 P.E. Board 14770 E. Columbia, SC 29454
 803-456-3344 | www.HoytBerenyi.com



DRAWING FOR:
Taco Bell Oakbrook
 10095 Dorchester Road
 Summerville, SC 29485
 TMS #161-00-00-066
 TOWN OF SUMMERVILLE, SC

| NO. | DATE | DESCRIPTION |
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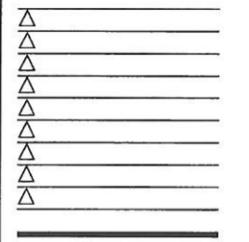
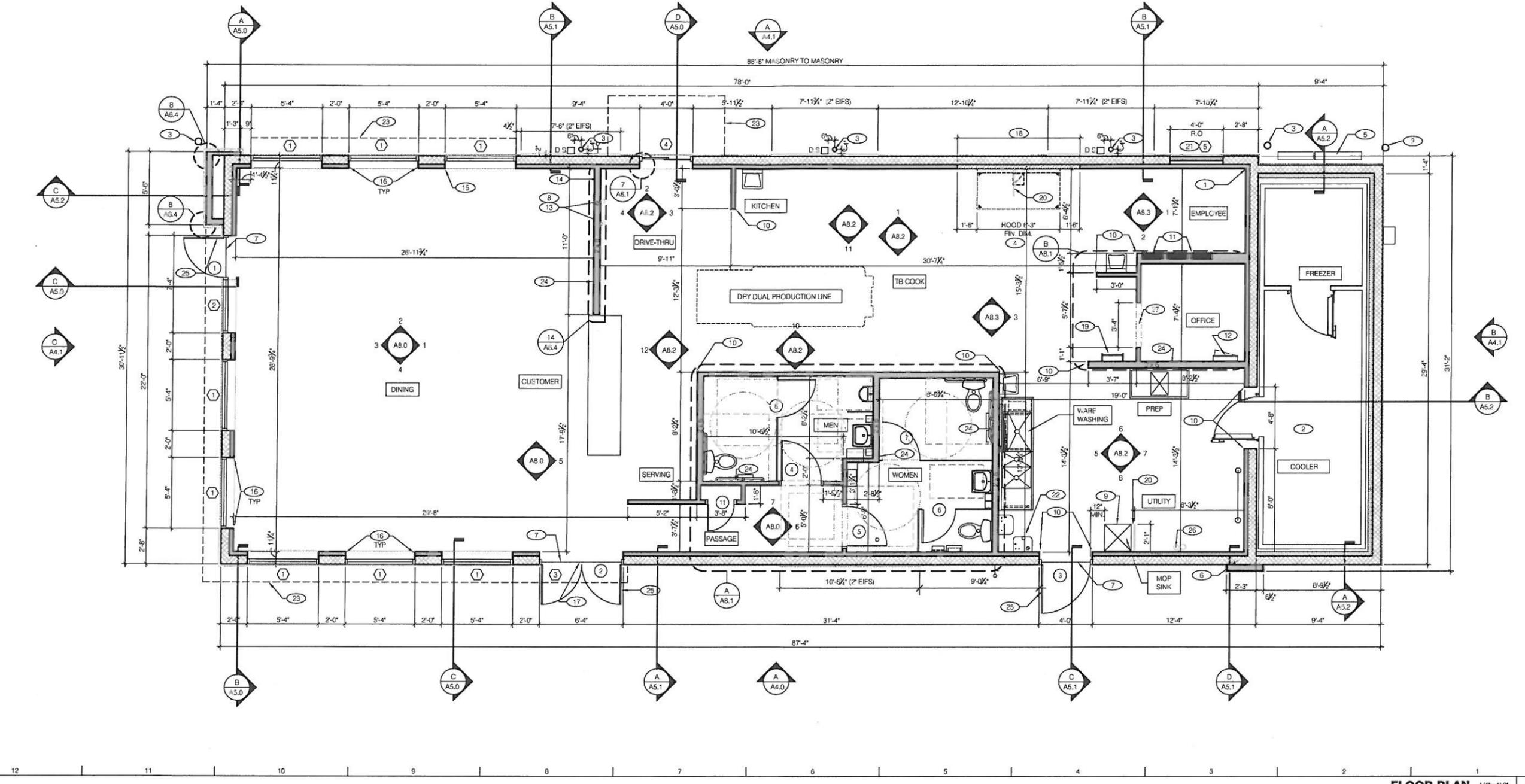
DRAWN BY: Kyle M. Hoyt, P.E.
 CHECKED BY: Gary F. Berenyi, P.E.
 DATE: October 3, 2015

PROJECT #: 16-051
 SCALE: AS NOTED

SHEET TITLE:
DUMPSTER DETAILS

SHEET NUMBER:

C.10 OF 12



CONTRACT DATE: 09.02.16
 BUILDING TYPE: LIVE MAS LARGE50
 PLAN VERSION: MARCH 2015
 ARC# NUMBER: 160958
 STORE NUMBER:

FLOOR PLAN 1/4"=1'-0" **A**

| WALL LEGEND | | E |
|---|---|--|
| | TYPICAL EXTERIOR WALL: 2x6 WD STUDS AT 16" O.C. W/ SHEATHING AS SCHEDULED (SEE STRUCT. DWGS.) AND R-19 KRAFT-FACED FIBERGLASS BATT INSULATION U.O.N. GC SHALL PROVIDE 2 LAYERS OF GRADE 17 60 lb BUILDING PAPER. PROVIDE 2X4 WD STUDS AT 16" O.C. AT FUTURE WINDOW INFILL. | INTERIOR SOUND-RATED WALL: TYPICAL INTERIOR WALL W/ 3-1/2" UNFACED FIBERGLASS BATT INSULATION. HOODWALL: TYPICAL EXTERIOR WALL WITH 20 GA. S.S. PANEL BEHIND HOOD. REFER TO DETAIL 2/M3.0 FOR EXTENT OF S.S. PANEL. DASHED LINE INDICATES INTERIOR SUBSTRATE LOCATION. |
| | TYPICAL INTERIOR WALL: 2x4 WD STUDS AT 16" O.C. (2x6 OR 2x8 WHERE NOTED.) | |
| WALL SUBSTRATES: 1. EXTERIOR: 1/2" CDX PLYWOOD AT ALL EXTERIOR SURFACES. IF WOOD FRAMED, ADDED PLYWOOD ON INTERIOR SIDE OF WALL FOR SHEAR AS NOTED ON SHEET S2.0. PROVIDE NAILING ETC. FOR SHEAR PER "WALL SHEATHING AND SHEAR WALL SCHEDULE" ON SHEET S2.0. WHERE PLYWOOD SUBSTRATE IS NOT CALLED FOR PROVIDE 1/2" GYPSUM WALLBOARD. PROVIDE 1/2" CDX PLYWOOD WHERE WALL SUPPORTED EQUIPMENT ON INTERIOR SURFACE IS NOTED. EXTEND PLYWOOD TO NEXT WOOD STUD BEYOND WALL SUPPORTED EQUIPMENT. SHEAR REQUIREMENTS TAKE PRECEDENCE. 2. DINING ROOM: 1/2" GYPSUM WALLBOARD FROM T.O. CURB TO 6" ABOVE CEILING HEIGHT U.O.N. SEE 6, 8 & 16/A6.3. 3. INTERIOR (EXCLUDING TOILET ROOM): 6" HIGH - 1/2" CEMENT WALLBOARD STARTING FROM T.O. SLAB. 1/2" CDX PLYWOOD WHERE WALL SUPPORTED EQUIPMENT IS NOTED. EXTEND PLYWOOD TO NEXT WOOD STUD BEYOND WALL SUPPORTED EQUIPMENT. PROVIDE 1/2" GYPSUM WALLBOARD FOR ALL OTHER WALL SURFACES. EXTEND ALL SUBSTRATES 6" ABOVE SUSPENDED CEILING. WALL PLYWD. IS SPECIFIED THE PLYWOOD SHALL BE CONTINUOUS FROM SILL PLATE TO TOP PLATE. SEE 4, 11 & 20/A6.3. 4. RESTROOM WALLS: INTERIOR WALLS USE 5/8" CEMENT WALLBOARD TO 6" ABOVE T.O. SLAB. ALL OTHER SUBSTRATE 5/8" HI-IMPACT BRAND XP WALLBOARD, TYPE X CORE FROM T.O. CEMENT BOARD OR CURB TO 6" ABOVE CEILING HEIGHT U.O.N.. NO SUBSTITUTIONS ALLOWED. FINISH AS SCHEDULED. SEE 11 (SII) 12/A6.3. | | |

| FLOOR PLAN NOTES | | D |
|---|--|---|
| DIMENSIONS: A. ALL DIMENSIONS ARE TO FACE OF STUD U.O.N. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS. B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL / WINDOW / OT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING. WINDOWS / DOORS: A. SEE SHT. A1.1 FOR WINDOW TYPES AND DOOR SCHEDULE. B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING. FINISH SUBSTRATES: A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 1/2" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES. U.O.N. B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS. C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE. U.O.N. DECOR: A. SEE A2.0 FOR SEATING PLAN AND DETAILS. B. SEE A7.0 FOR FLOOR FINISHES. C. SEE A8.0 - A8.3 FOR WALL FINISHES. D. SEE A7.1 FOR CEILING FINISHES. GENERAL: A. PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 lb. BC and (1) 10 lb. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT. B. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS, AND SUPPORTS IS ACCEPTABLE. C. ALL ATTACHMENTS MADE THROUGH E.I.F.S. SHALL BE BUSHED TO PREVENT DAMAGE TO THE FINISH. PER A6.3. D. ALL PENETRATIONS THROUGH E.I.F.S. SHALL BE SEALED USING MFRS. APPROVED METHOD. | | |

| KEY NOTES | | B |
|---|--|---|
| (1) STARTING POINT. ALL SUB-TRADES SHALL USE THIS POINT AS A BEGINNING LAY-OUT (INSIDE FACE OF EXT. WALL STUDS). (2) NO FRP BEHIND WALK-IN COOLER/FREEZER. (3) PIPE BOLLARD. SEE DETAIL 8/C1.0. (4) HOOD WALL. SEE WALL LEGEND. (5) ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECT. DWGS. (6) CO2 FILL BOX LOCATION. SEE SHEET A4.0 ELEVATION "A". (7) TILE TO CONCRETE METAL THRESHOLD. (8) KEEP CLEAR FOR UTILITIES & SYRUP LINES. SEE DETAIL 14 & 19/A6.4 FOR STUD LAYOUT REQUIREMENTS. (9) MOP SINK. REFER TO SHEET A2.0 & A2.1. (10) S.S. CORNER GUARD / WALL CAP. TYP. ALL CORNERS IN BACK-OF-HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER. SEE DETAIL 19/A6.3. (11) ELECT. PANELS RECESSED IN 2x6 WALL. (12) LIGHTING CONTROL PANEL SURFACE MOUNTED. REFER TO ELECT. DWGS. (13) SYRUP LINE CHASE (ABOVE). SEE DETAIL 19/A6.4. (14) HORIZONTAL OPENING FOR SYRUP TUBES. COORDINATE WALL PENETRATION WITH COUNTER INSTALLER. SEAL CHASE TO COUNTER. SEE 15/A6.4. | (15) START OF CHAIR RAIL. (16) CONTINUE CHAIR RAIL AROUND CORNER TO WINDOW JAMB. (17) REMOVABLE ASTRAGAL FROM INSIDE ONLY. (18) METAL STUDS REQUIRED PER LOCAL CODES. (19) ROOF LADDER. SEE DETAIL D/A8.3. (20) SPLASHGUARD. SEE DETAIL 9/A6.3. INSTALLATION SHALL BE COORDINATED WITH INSTALLATION OF MOP SINK. (21) ROUGH-IN FRAMING FOR FUTURE WINDOW. SEE (5) ON A1.1. (22) INDICATES WATER HEATER LOCATION. COMES WITH METAL STAND. (23) CANOPY & VALANCE ABOVE. (24) 6" STUD INTERIOR WALL. FINISHED PER WALL LEGEND E / THIS SHEET. (25) PROVIDE HORIZONTAL DOOR SWEEPS AT ALL EXTERIOR DOORS. SEE SHEET A1.1. (26) 6" PVC STUB THRU CEILING FOR SYRUP BUNDLE. SEE DETAIL 18/A6.4. (27) CASED OPENING. REFER TO DETAIL 10/A6.1. DOOR OPTIONAL. REFER TO DOOR SCHEDULE ON A1.1 (DOOR #10). | |

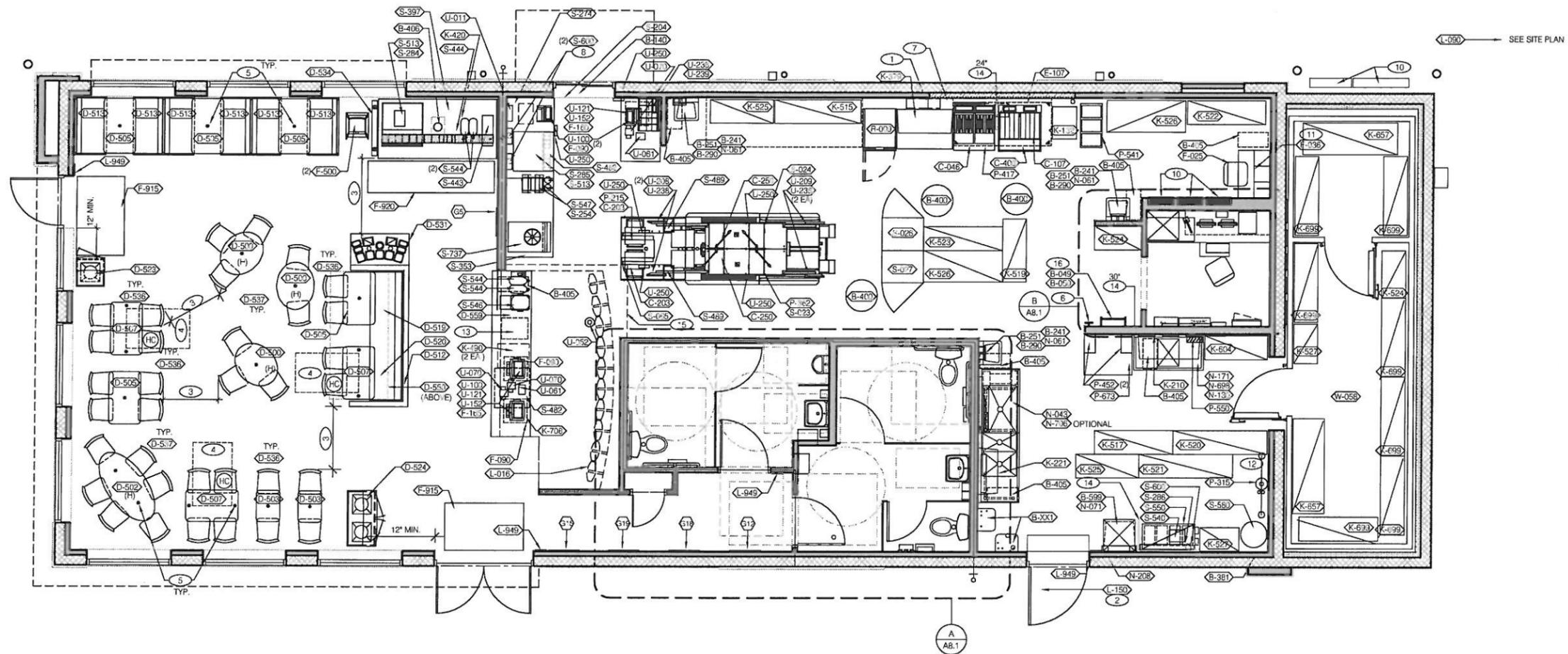
TACO BELL
 10115 DORCHESTER RD.
 SUMMERVILLE, SC 29485

LIVE MAS
 LARGE50

FLOOR PLAN

A1.0

PLOT DATE: 09.30.16



EQUIPMENT/SEATING PLAN 1/4"=1'-0" **A**

| SYM. | QTY. | ITEM | SYM. | QTY. | ITEM |
|-------|------|--|-------|------|-------------------------------------|
| D-500 | 3 | TABLE - OVAL - BAR HEIGHT - 24" X 30" - CORE DRILL BASE | D-537 | 1 | SCREEN WALL |
| D-502 | 1 | TABLE - OVAL - BAR HEIGHT - 30" X 60" - CORE DRILL BASE | D-538 | 20 | FORMED WOOD SHELL DINING CHAIR |
| D-503 | 2 | TABLE - RECTANGLE - STD HEIGHT - 18" X 24" - CORE DRILL BASE | D-537 | 14 | FORMED WOOD SEAT STOOL - BAR HEIGHT |
| D-505 | 5 | TABLE - RECTANGLE - STD HEIGHT - 24" X 40" - CORE DRILL BASE | D-550 | 1 | 8'-1" x 3'-7" OFFIT BY DISTRIBUTOR |
| D-507 | 3 | TABLE - RECTANGLE - STD HEIGHT - 24" X 40" - CORE DRILL BASE (ADA) | | | |
| D-512 | 1 | DIVIDER WALL - 103" LONG | | | |
| D-513 | 6 | OPEN BACK BENCH SETTEE - 42" | | | |
| D-519 | 1 | BACKLESS BENCH SETTEE - 42" | | | |
| D-520 | 1 | BACKLESS BENCH SETTEE - 57" | | | |
| D-523 | 1 | SINGLE TRASH RECEPTACLE | | | |
| D-524 | 1 | DOUBLE TRASH RECEPTACLE | | | |
| D-529 | 1 | SERVICE COUNTER - 126" | | | |
| D-531 | 1 | CONDIMENT COUNTER - SAUCE CORNERS | | | |

SEATING PACKAGE - BY SEATING VENDOR U.O.N. (TOTAL SEATS = 50) **E**

| (X) | QTY. | ITEM | REMARKS |
|-----|------|------------------------|-----------------------|
| 513 | 1 | TASTE EXPLOSION 1 OF 4 | SEE A8.0 FOR LOCATION |
| 513 | 1 | TASTE EXPLOSION 2 OF 4 | SEE A8.0 FOR LOCATION |
| 513 | 1 | TASTE EXPLOSION 3 OF 4 | SEE A8.0 FOR LOCATION |
| 513 | 1 | TASTE EXPLOSION 4 OF 4 | SEE A8.0 FOR LOCATION |
| 513 | 1 | VOLCANO TARGET | SEE A8.0 FOR LOCATION |
| 513 | 1 | NYC TACO TAXI | SEE A8.0 FOR LOCATION |
| 513 | 1 | TACO NIGHT TIME | SEE A8.0 FOR LOCATION |
| 513 | 1 | TACO BEACH BELL | SEE A8.0 FOR LOCATION |
| 55 | 1 | NUTRITION BOARD | SEE A8.0 FOR LOCATION |

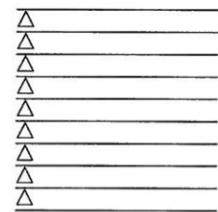
ARTWORK SCHEDULE **D**

- DECOR**
 1. REFER TO SC SHEETS FOR SCOPE OF WORK RESPONSIBILITIES.
 2. (H) - SYMBOL DENOTES A HIGH TABLE OR DINING COUNTER WITH STOOLS.
 3. (HC) - SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

| STORAGE TYPE | LINEAR FT. |
|----------------|------------|
| DRY STORAGE | 67 |
| COLD STORAGE | 36 |
| FROZEN STORAGE | 16 |

SHELVING QUANTITIES REQUIRED **C2**

- GENERAL NOTES** **C1**
- HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).
 - SEE SHEET A1.1 FOR SECURITY DOOR PACKAGE.
 - MAINTAIN 44" MIN CLEAR AISLE EGRESS PATHS TO EXIT DOORS.
 - 30" x 48" CLEAR FLOOR SPACE FOR HANDICAP ACCESS.
 - DOT INDICATES CORE DRILL LOCATION. CORE DRILL LAYOUT TO BE PROVIDED BY THE SEATING VENDOR. SEE DETAIL 7-A6.3 AND SCOPE OF WORK. CHANGE CORE DRILL BITS TO MATCH DECOR BASE SIZE TO MAINTAIN 3/8" MAX GROUT LINE AROUND BASE.
 - PULL STATION @ 3'-8" A.F.F.
 - GAS LINE DOWN TO EQUIPMENT.
 - COORDINATE LOCATION OF HORIZ PVC SYRUP CHASE THROUGH WALL TO COUNTER.
 - NOT USED.
 - SWITCHGEAR / ELECTRIC PANELS.
 - EMPLOYEE WORK STATION. SEE DETAIL B/A6.3.
 - 8' LADDER.
 - BRINKS SAFE.
 - SPLASH GUARD. SEE DETAIL 9/A6.3.
 - ALERT LIGHT BOX FOR 3-COMP POWER SOAK.
 - ROOF LADDER. SEE ELEVATION 5/A6.3.
- KEYNOTES** **B**



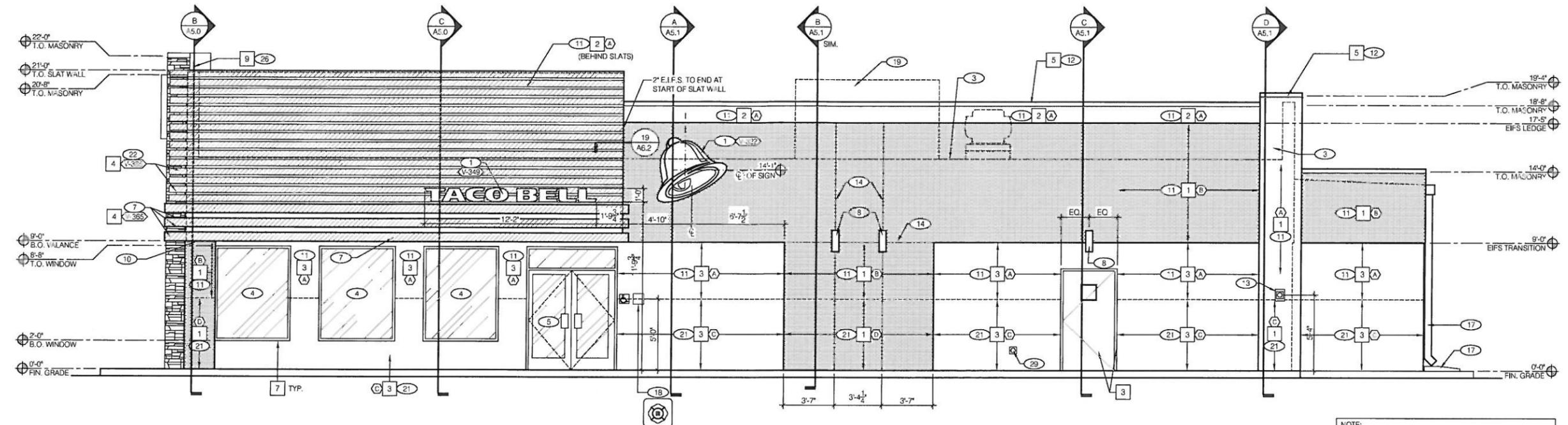
CONTRACT DATE: 09.02.16
 BUILDING TYPE: LIVE MAS LARGE50
 PLAN VERSION: MARCH 2015
 ARCV NUMBER: 160958
 STORE NUMBER:

TACO BELL
 10115 DORCHESTER RD.
 SUMMERVILLE, SC 29485



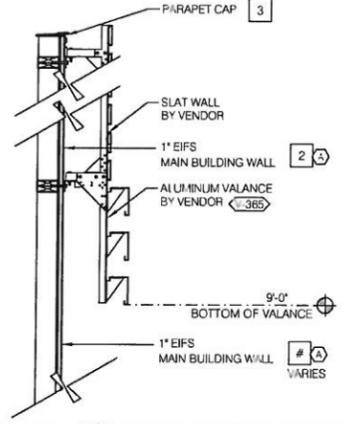
LIVE MAS
 LARGE50
EQUIPMENT AND SEATING PLAN
A2.0

PLOT DATE: 09.30.16

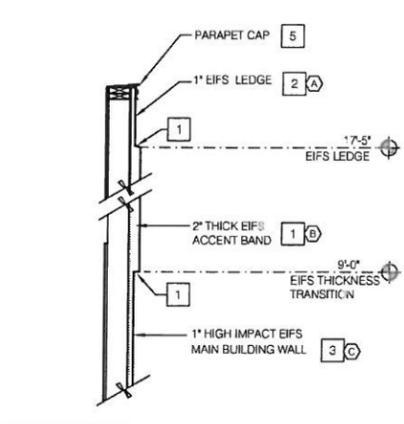


NOTE:
 GENERAL CONTRACTOR TO SUPPLY WINDOWS, DOORS, AND
 FRAMES MEETING WIND LOAD 62.2 ± P.S.F. AND/OR 37.4 P.S.F.
 ASD. PROVIDE FLORIDA PRODUCT APPROVALS TO
 JURISDICTION AS REQUIRED.

RIGHT SIDE ELEVATION 1/4"=1'-0" **A**



SLAT WALL COLOR TRANSITION N.T.S. **I**



EIFS THICKNESS COLOR TRANSITION N.T.S. **G**

MISCELLANEOUS
 A. SEE SHT A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.
 B. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
 C. "HIGH IMPACT" MESH SHALL BE USED WHERE NOTED (C).
 D. THE PAINT COLORS SHOWN ARE COLOR REFERENCES FOR THE E.I.F.S. SUPPLIER.
 E. E.I.F.S. TEXTURE SHALL BE "FINE".

SEALERS (REFER TO SPECS):
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.
 C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY/TRELLIS.

LEGEND:
 A. VENDOR SCOPE INCLUDES SUPPLY AND INSTALLATION OF AWNINGS, CANOPIES, AND SIGNAGE.
 B. DENOTES 2" THICK EIFS

"CRITICAL" DIMENSIONS:
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.
 2. OWNER REPRESENTATIVE WILL IDENTIFY IF LOTUSAN PAINT WILL BE USED.

GENERAL NOTES **F**

| QTY | ITEM DESCRIPTION | ELEC |
|-------|---|------|
| V-350 | 1 TACO BELL DRIVE THRU CANOPY | X |
| V-348 | 1 TACO BELL "BUILDING ACCENT" - OPTIONAL SHADING & LED LAMPING. | X |
| V-365 | 1 SLAT WALL SYSTEM | |

CANOPY AND BLDG. ACCENT SCHED. N.T.S. **E**

E.I.F.S. THICKNESS N.T.S. **B**

| QTY | ITEM DESCRIPTION | ELEC |
|-------|--|------|
| V-349 | 3 TACO BELL LETTERS 12" HIGH, WHITE, FLAT FACED | X |
| V-322 | 3 TACO BELL "BELL" SIGN 4'-10 1/2"W x 4'-6 1/4"H | X |

SIGN SCHEDULE N.T.S. **C**

| SYMBOL | AREA | MANUFACTURER | COLOR | ALTERNATE MFR. | ALTERNATE COLOR | ALTERNATE MFR. | ALTERNATE COLOR |
|--------|-------------------------------|--|---|------------------|---|------------------|-------------------------|
| 1 | MAIN BUILDING COLOR | LOTUSAN STO THERM CI ESSENCE, STOLIT LOTUSAN 1.0 | NA08-0011 "CAMEL BACK" | DRYVIT - HDP | TABE0910205 | SHERWIN WILLIAMS | SW 6122 "CAMEL BACK" |
| 2 | WALL COLOR BEHIND SCREEN WALL | LOTUSAN - STO THERM CI ESSENCE, STOLIT 1300DARK | NA14-0004 "CLEMATIS" | DRYVIT - HDP | #TABE031021 | SHERWIN WILLIAMS | SW 6831 "CLEMATIS" |
| 3 | ACCENT COLOR | LOTUSAN STO THERM CI ESSENCE, STOLIT LOTUSAN 1.0 | NA08-0010 "HOOKWOOD CLAY" | DRYVIT - HDP | TABE031021 | SHERWIN WILLIAMS | SW 2823 "HOOKWOOD CLAY" |
| 4 | SLAT WALL AND VALANCE COLOR | VENDOR | SW 7034 "STATUS BRONZE" (EQUAL) | | | | |
| 5 | PARAPET CAP COLOR | 27 DUROLAST | MEDIUM BRONZE (FACTORY FINISH) | SHERWIN WILLIAMS | SW 7069 "IRON ORE" | | |
| 6 | STONE WALL | BORAL - VERSA STONE | TIGHT CUT - "PLUM CREEK" | CORONADO | IDAHO DRY STACK, CARMEL MOUNTAIN CULTURED STONE VENEER - FULLY GROUTED. | | |
| 7 | STOREFRONT WINDOWS | TBD | "DARK BRONZE" | | | | |
| 8 | PIPE BOLLARDS | STREET SMART | YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL | | | | |
| 9 | PARAPET BACK ROOFING | DUROLAST | THE COLOR SHALL BE FACTORY COLORED TAN - EQUAL ALTERNATE ALLOWED. | | | | |

CONTACT INFORMATION
 SHERWIN WILLIAMS: BRAD HARRINGTON, 216-341-5555 X115 (PHONE), BRAD.E.HARRINGTON@SHERWIN.COM
 EIFS CONTACT: STO CORP.; CHUCK DUFFIN, 940-894-2092 (PHONE), 940-894-2095 (FAX), CDUFFIN@STOCORP.COM
 OWNER REPRESENTATIVE WILL IDENTIFY IF LOTUSAN PAINT WILL BE USED.
 DURO-LAST: CURT JAFFEE, 800-358-6646 (PHONE), CJJAFFEE@DURO-LAST.COM
 VERSETTA STONE WALL: ASHLEY JOYCE, 770-645-4531 (PHONE)
 STONE ALTERNATE: CORONADO: 1-800-847-8663

EXTERIOR FINISH SCHEDULE **H**

- KEY NOTES** **D**
- BUILDING SIGN, SEE SCOPE OF WORK.
 - DRIVE THRU WINDOW, SEE SHEET A1.0 AND A1.1.
 - ROOF BEYOND.
 - STOREFRONT TYPICAL.
 - DOUBLE DOOR.
 - SWITCH GEAR, PAINT TO MATCH WALL.
 - ARCHITECTURAL ALUMINUM VALANCE BY VENDOR.
 - LIGHT SCONCE, ALIGN BOTTOM OF FIXTURE'S MOUNTING BRACKET WITH CHANGE IN EIFS THICKNESS (CENTER OF BRACKET AT 9'-2").
 - ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR, REFER TO GRADING & SITE PLAN.
 - 2" EIFS TO TERMINATE AT TOP OF WINDOW HEIGHT, PROVIDE 1" EIFS ABOVE THAT POINT, SLOPE TRANSITION AWAY FROM BUILDING 1:12.
 - EIFS (TYP.) SEE 2 & 4/A6.2.
 - PARAPET COPING, IF DURO-LAST EDGE TRIM IS USED, USE THE DURO-LAST PRE-FINISHED EDGE TRIM, SEE DETAIL 2/A6.0.
 - CO2 FILLER VALVE & COVER, SEE DETAIL 5/A6.2 SIM.
 - EIFS REVEAL JOINT, SEE DETAIL 20/A6.2.
 - GAS SERVICE.
 - WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
 - SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL.
 - G.C. TO INSTALL LIGHT FRAME TRUSS SIGN.
 - RTU BEYOND, PAINT TO MATCH MAIN BUILDING COLOR.
 - NOT USED.
 - HIGH IMPACT E.I.F.S. WHERE SHOWN ON ELEVATIONS, TOP EXTENT AT 5'-0". SEE 2/A6.2.
 - ALUMINUM SLAT WALL BY VENDOR.
 - BOLLARD.
 - EIFS TRANSITION, SEE DETAIL 7/A6.2 (SIM).
 - NOT USED.
 - DUROLAST SINGLE MEMBRANE ROOFING OR EQUAL.
 - IF THE DURO LAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED.
 - OVERFLOW DRAIN.
 - HOSE BIBB, SEE DETAIL 8/A6.2.
 - RETURN ALUMINUM LOUVERS BACK TO FACE OF BUILDING.

KEY NOTES **D**

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 SUMMERVILLE, SC 29485



LIVE MAS
 LARGE50

EXTERIOR ELEVATIONS

A4.0

PLOT DATE: 09.30.16

