



**TOWN OF SUMMERVILLE
DESIGN REVIEW BOARD – AGENDA
Summerville Municipal Complex
Summerville Council Chambers or Zoom Virtual Meeting
September 17, 2020 4:00 p.m.**

Approval of August 20, 2020 meeting Minutes

APPLICANTS –

For additional information regarding this public meeting please contact the Planning Department at 843.851.5200. All applications and related documents for this public meeting are available for review at the Planning Department during regular business hours, Monday–Friday, 8:30–5:00 excluding Town of Summerville holidays.

OLD BUSINESS:

- 1. Limehouse Village Amenity Center – Proposed Amenity Center for the Limehouse Village Subdivision on Dorchester Road (PUD)**
The applicant is requesting Final Approval

NEW BUSINESS:

- 1. 1200 N Main Street – Façade improvements for the former Sticky Fingers Restaurant (G-B)**
The Applicant is requesting Conceptual Review
- 2. South Pointe Apartments – 228 Unit Multi-Family development at South Pointe Boulevard (MF-R upon annexation)**
The applicant is requesting Conceptual Review
- 3. Freddy’s Frozen Custard – New 3,010 sf restaurant with drive-thru (UC-MX)**
The applicant is requesting Preliminary Approval
- 4. 105 Midland Parkway – redevelopment to a Freestanding 6300 Square Foot Optometry Office (UC-MX)**
The applicant is requesting Conceptual Review
- 5. 113 N. Magnolia Street – Redevelopment of the property for a 1 story 5,660 sf office building (D-MX)**
The applicant is requesting Conceptual Review
- 6. 114 Farm Road – addition of 7,500 sf office to the property (G-B)**
The applicant is requesting Conceptual Review
- 7. Signs:**

Miscellaneous:

NONE

ADJOURN:

Posted September 11, 2020

Design Review Board Minutes
Thursday, August 20, 2020
Zoom Virtual Meeting

Members Present:

Bill Beauchene
Chris Campeau
Carolyn Rogerson
Hart Weatherford

Staff Present:

Tim Macholl, Zoning Administrator
Jessi Shuler, Director of Planning
Rebecca Brown

Items on the agenda:

OLD BUSINESS:

None

NEW BUSINESS:

1. **Limehouse Village Amenity Center – Proposed Amenity Center for the Limehouse Village Subdivision on Dorchester Road (PUD)**
The applicant is requesting Conceptual Review
2. **1525 Old Trolley Raod – Façade improvements for the Trolley Square Shopping Center (UC-MX)**
The Applicant is requesting Final Approval
3. **Summerville Commons – 270 Unit Multi-Family development at Berlin G Myers Parkway and E. 9th North Street (Proposed G-B upon Annexation)**
The applicant is requesting Conceptual Review
4. **Signs:**

Miscellaneous:

NONE

The meeting was called to order at 4:04 pm by the Chairman.

Mr. Macholl explained that the applicant for item 2 under New business had requested that the agenda be amended to meet a personal appointment. Mr. Beauchene made a motion to amend the agenda and hear the Agenda item 2 before the first item on the agenda. The motion was seconded by Ms. Rogerson. The motion carried unanimously.

Mr. Campeau asked for consideration of the July 16, 2020 meeting minutes. Ms. Rogerson pointed out that she was in attendance at the July meeting but that the minutes did not note her as present. Mr. Weatherfor made a motion for approval of the minutes as amended and Mr. Beauchene seconded. The motion carried 4-0.

OLD BUSINESS

1. **None**

NEW BUSINESS

1. **1525 Old Trolley Road** – The first item under New Business was a request for Final Approval of the proposed façade improvements for Trolley Square Shopping Center. Losse Knight of LFK Architects shared his screen and discussed the project with the board, showing before pictures and proposed elevations. He explained that the owner wants to freshen up the shopping center, the main building at the rear of the property and the freestanding one as well. Mr. Campeau said that he liked the proposal to wrap the skinny columns, but objected to painting the existing brick at the base of the building. Mr. Beauchene agreed that painting the brick was not a good idea for the brick. Ms. Rogerson felt that painting the entire building white was too much, and that the brick was needed to anchor the building. Mr. Knight explained that the owner has other centers painted similarly and wanted consistency. He pointed out that other developments had white bricks approved. Mr. Beauchene asked if the façade o the outbuilding closest to Trolley Road could be cleaned up. Mr. Beauchene and Mr. Campeau pointed out that painting the brick ruins

it forever. Mr. Knight inquired if painting some of the bricks would be acceptable. The board did not feel that painting the brick was a good idea in any manner. The Board agreed that wrapping the thinner columns and bulking them up would be a nice upgrade to the façade. Mr. Knight asked if squaring off the arches on the front would be acceptable and showed a rendering of what it could look like. The Board felt it would take some of the character out of the center and make it too horizontal. Mr. Campeau stressed that cleaning up the façade of the second building was very important. Mr. Knight indicated that they had looked at this possibility but that they were not prepared to discuss this at this time. Mr. Campeau asked about the possibility of adding landscaping. Mr. Beauchene pointed out that there was room between the drive through lane and the sidewalk to add a hedge. Mr. Campeau asked if there were any other comments, being none he asked for a motion.

Mr. Beauchene made a motion for Final Approval with the following conditions: No painting of the existing brick; preserve the arches; add a hedge row to the street side of the drive through aisle, to be approved by staff. The motion was seconded by Ms. Rogerson. The motion passed unanimously 4-0.

2. Limehouse Village Amenity Center – The next item under New Business is a request for Conceptual Review of a proposed new Amenity Center for the Limehouse Village subdivision. Mr. Jason Hutchinson, Mr. Jesse Solomon, and Mr. Mike Penrose were available to discuss the proposed project for the applicant. Mr. Solomon walked the board through the site, and expressed that it was important that the amenity center be understated, relaxed, and fit into the lowcountry aesthetic. The building was set far back from the road intentionally to allow for the Live Oak Row. The buffer was maintained per the PUD. Mr. Penrose addressed the architecture. He wanted to make the building blend into the neighborhood, make it look like an agrarian building with a modern twist. It will have cementitious siding and a metal roof. Ms. Rogerson asked about the color scheme. Mr. Penrose indicated that the roof would be galvalume, and the siding white to provide a good contrast with the landscaping. Mr. Campeau complimented the design and asked if it would be possible to increase the depth of the overhang. Mr. Beauchene agreed and asked about a vent in the gable end. The Board suggested a black roof to be consistent with the predominant color scheme in the area. Ms. Rogerson suggested Charleston Green. It was suggested that sod be used and that all mulch should be pine straw.

This being Conceptual Review there was no vote.

3. Summerville Commons – The third item under New Business is a Conceptual Review of a proposed 270 unit apartment complex at Berlin Meyers Parkway and E. 9th North Street extended. Ms. Erica Chase of Stantec and Dan Rutilante, architect were present to present to the Board. Ms. Chase explained that since the prior project that the Board reviewed for this property, the market has changed, and multi-family residential really is the highest and best use for this particular location, not retail. The property is unique in that it has about 15 feet of drop from the front of the property near BGM Parkway to the rear of the property at Farmsprings Road. E. 9th North Street will be extended to Farmsprings, with Farmsprings eventually be turned over to the Town as Public ROW. Offsite detention will be implemented to provide the required detention for this site as well as for future development of other property in the area. The proposal includes a couple three story buildings closest to BGM and 4 and 5 story buildings in the center of the property. Mr. Rutilante presented the perspective drawing of the buildings, showing the mix of 3, 4, and 5 story buildings, as well as the carriage house apartments over the proposed garages. Green space at the center of the site, with the larger buildings providing a back drop for the main entrance into the site. Fencing details will be provided, and the fence is to provide a sense of security to the residents of the development. He addressed the proposed materials, explaining they would include vernacular materials, including lap and board and baton siding, different colors to break up the massing. Black shingle roofs. Mr. Campeau asked the architect about the exhibit and that it didn't seem to address the grade change across the property. Mr. Rutilante tried to address this situation and how it would be addressed in future submittals. Mr. Campeau felt that the fence was not needed. He felt that the amenity center needed more work, and that it really needed to have a lowcountry aesthetic. He also expressed a concern about the number of parking spaces and the lack of trees in the parking lot. Ms. Chase addressed this stating that there would be a number of spaces removed to meet the planting requirement. She explained this is the desired amount and that they had seen that on street parking is allowed in the UDO. Mr. Campeau asked if they had reached out to the adjacent developer and if they had considered the proposed roundabout at the 9th Street and Farmsprings Road intersection. Ms. Chase stated that the first developer approved would be able to set the intersection design. Signals are set for the intersection with BGM and E. 9th North. Mr. Weatherford expressed a concern that the only access to the development was proposed for 9th. He also wanted to know about the detention. Ms. Chase explained the location of the offsite detention and how it was being designed for multiple users. The signal warrants are part of the Traffic Impact Analysis as well as the a study of the other intersections..

This being a Conceptual Review there was no vote taken.

MISCELLANEOUS:

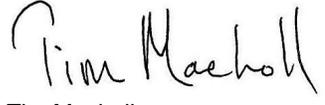
There were no items under miscellaneous.

ADJOURN:

There being no further business, the meeting was adjourned at 5:14 PM on a motion by Mr. Beauchene and a second by Ms. Rogerson. The motion passed unanimously.

Respectfully Submitted,

Date: _____



Tim Macholl
Zoning Administrator

Approved: Chris Campeau, Chairman _____; or,

Michael Gregor, Vice Chairman _____

DRAFT

**STAFF REPORT
CDRB Meeting
August 20, 2020 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: August 13, 2020

GENERAL INFORMATION

Applicant: Thomas & Hutton
Property Owner: Lennar Carolinas LLC.
Requested Action: The applicant is requesting Final Approval of a proposed amenity center for the Limehouse Crossing Subdivision
Requested Approval: Final Approval
Existing Zoning: PUD Planned Development District
Adjacent Zoning: **North:** PUD Planned Development District
South: PUD Planned Development District
East: PUD Planned Development District
West: PUD Planned Development District
Location: Limehouse Crossing
Existing Land Use: Residential Subdivision
Prior Approvals: First Meeting – 8/20/2020 Conceptual Review

Ordinance Reference:

Sec. 13.3.5. Design Review Board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

The proposed facility is subject to Design Review Board Approval. The applicant has addressed the major concerns of the Board from the Conceptual Review. The roof color was not changed.

Z:\152\152-00-00-120\Drawings\Conceptual Plans\CRB\152-00-00-120-01.dwg - 15 July 2020 - 2:23:51 PM

SITE DEVELOPMENT OF LIMEHOUSE AMENITY CENTER CONCEPTUAL CRB SUMMERVILLE, SOUTH CAROLINA

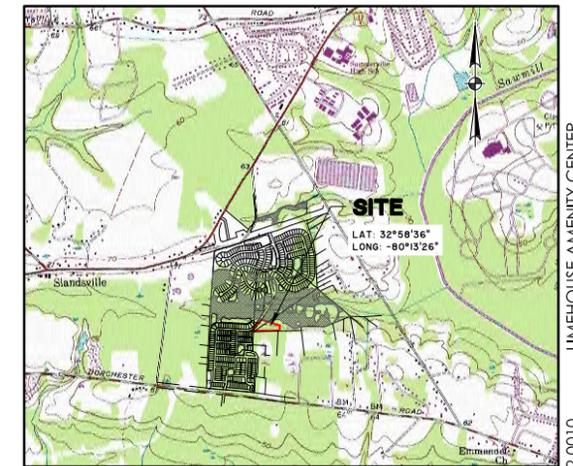
PREPARED FOR:
LENNAR CAROLINAS, LLC
216 SEVEN FARMS DRIVE, SUITE 200
CHARLESTON, SC 29492

TM# 152-00-00-120

JULY 31, 2020

J-26522.0010

PREPARED BY:



VICINITY MAP
SCALE: 1" = 2000'

LIMEHOUSE AMENITY CENTER
CONCEPTUAL CRB
J-26522.0010

Sheet List Table

Sheet Number	Sheet Title
C0	COVER SHEET
C.1	AERIAL SITE PLAN
C.2	EXISTING SITE PICTURES
C.3	EXISTING CONDITIONS AND TREE SURVEY
C.4	SITE PLAN
C.5	GRADING & UTILITY PLAN
L.1	LANDSCAPE PLAN
L.2	PLANTING DETAILS & GENERAL NOTES
R.1	RENDERING FRONT
R.2	RENDERING REAR
A.1	FOUNDATION PLAN - CONTROL JOINT DETAIL
A.2	FLOOR PLAN - RESTROOM EQUIPMENT SCHEDULE ETC.
A.3	ROOF PLAN
A.4	ELECTRICAL PLAN - LIGHTING AND FAN LEGEND
A.5	EXTERIOR ELEVATIONS - FRONT AND LEFT ELEVATIONS
A.6	EXTERIOR ELEVATIONS - REAR & RIGHT ELEVATIONS
A.7	BATHROOM DETAILS & ADA DETAILS
A.8	BUILDING DETAILS

REVISION HISTORY

REV. NO.	REVISION	BY	DATE

SUBMITTAL HISTORY

SUBMITTED TO	DATE



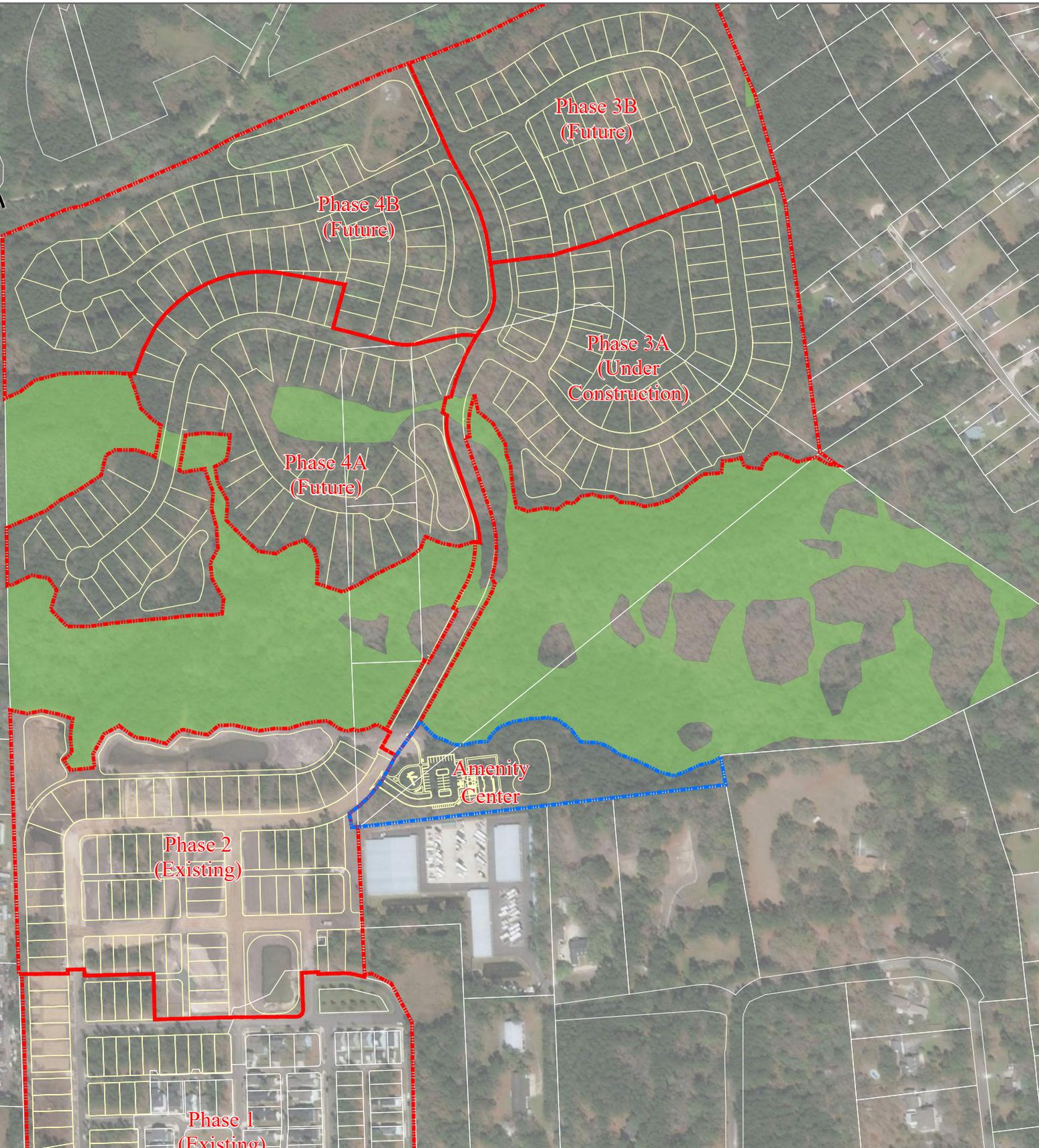
Know what's below.
Call before you dig.



682 Johnnie Dodds Boulevard • Suite 100
Mt. Pleasant, SC 29464
p.843.849.0200 f.843.849.0203
www.thomasandhutton.com

County Parcels
Freshwater Wetlands

Future Berlin
G. Myers



Phase 2
(Existing)

Phase 1
(Existing)

Phase 4A
(Future)

Phase 4B
(Future)

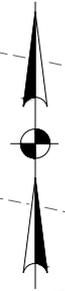
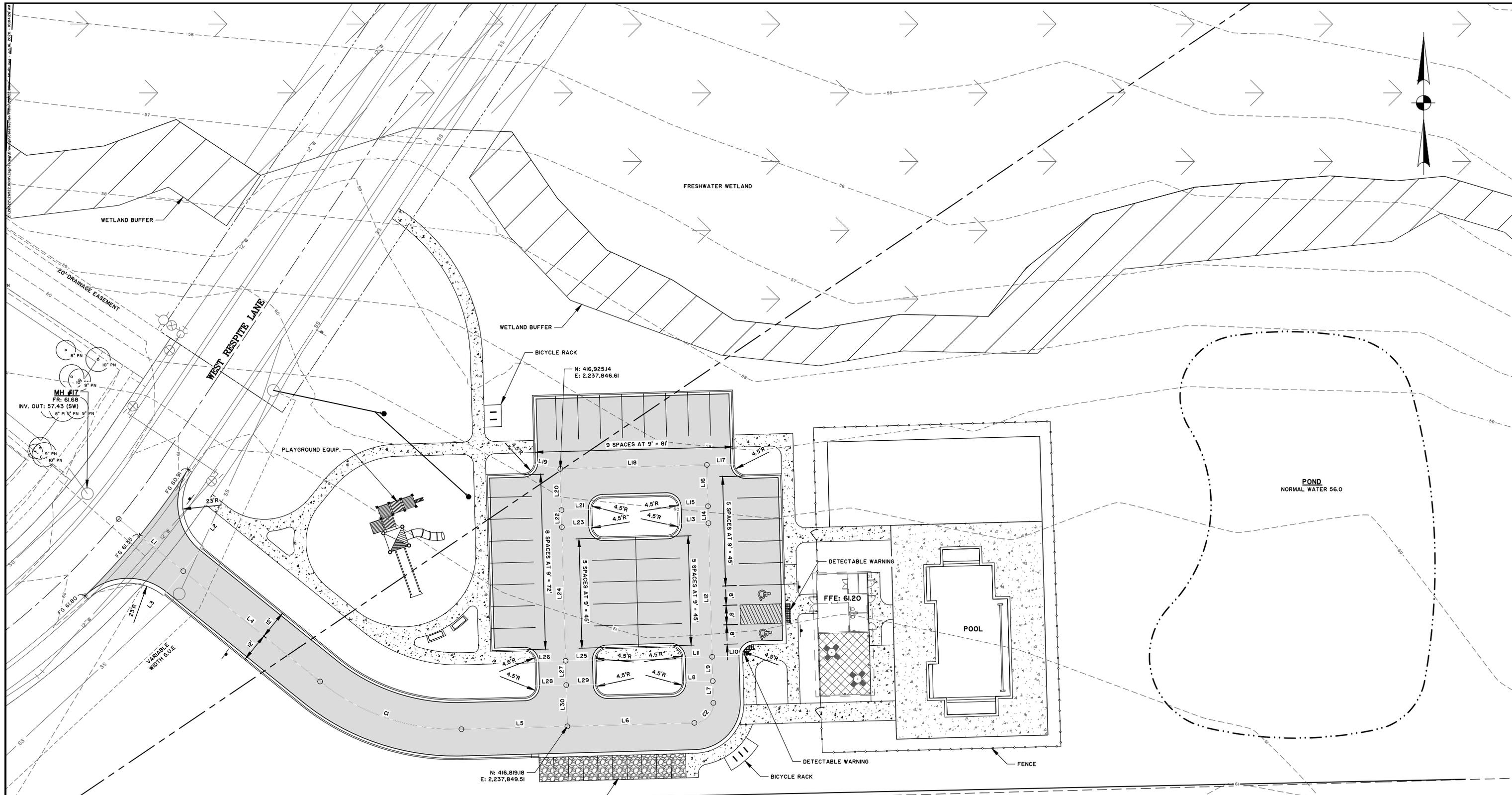
Amenity
Center

Phase 3A
(Under
Construction)

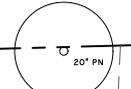
Phase 3B
(Future)

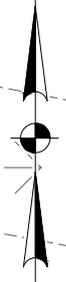
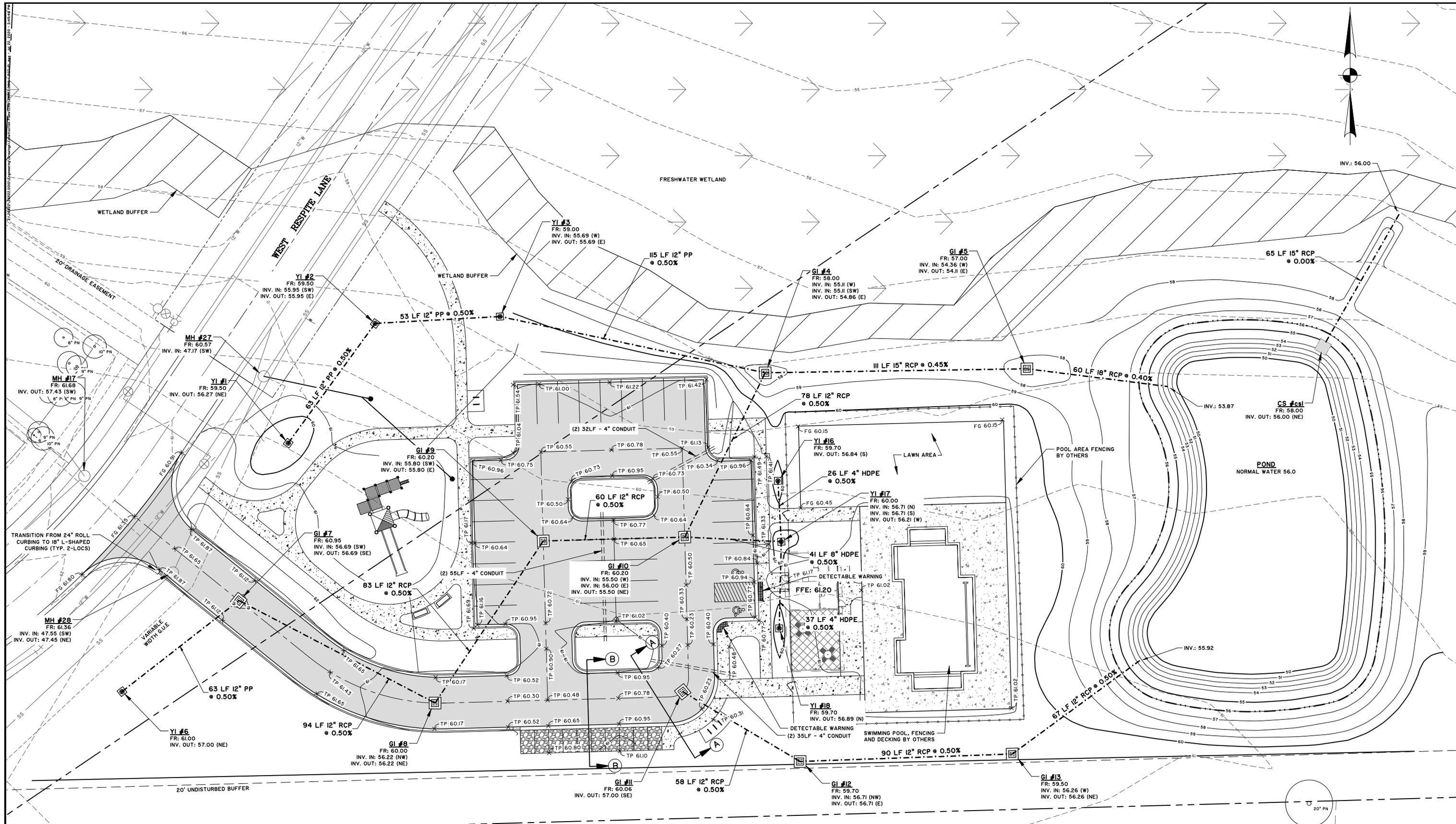


EXISTING STORAGE CENTER



LINE TABLE			LINE TABLE		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 50°56'29" E	34.07'	L18	S 88°26'08" W	60.00'
L4	S 50°56'29" E	72.09'	L19	S 80°22'16" E	15.45'





INV: 56.00

FRESHWETLAND

WETLAND BUFFER

WEST RESERVE LANE

YI #3
FR: 59.00
INV. IN: 55.69 (W)
INV. OUT: 55.69 (E)

115 LF 12" PP
• 0.50%

GI #5
FR: 57.00
INV. IN: 54.36 (W)
INV. OUT: 54.11 (E)

65 LF 15" RCP
• 0.00%

YI #2
FR: 59.50
INV. IN: 55.95 (SW)
INV. OUT: 55.95 (E)

53 LF 12" PP • 0.50%

GI #4
FR: 58.00
INV. IN: 55.11 (W)
INV. IN: 55.11 (SW)
INV. OUT: 54.86 (E)

MH #27
FR: 60.57
INV. IN: 47.17 (SW)

YI #1
FR: 59.50
INV. OUT: 56.27 (NE)

67 LF 12" PP • 0.50%

111 LF 15" RCP • 0.45%

60 LF 18" RCP • 0.40%

MH #17
FR: 61.68
INV. OUT: 57.43 (SW)

YI #1
FR: 59.50
INV. OUT: 56.27 (NE)

GI #9
FR: 60.20
INV. IN: 55.80 (SW)
INV. OUT: 55.80 (E)

78 LF 12" RCP
• 0.50%

CS #1
FR: 58.00
INV. OUT: 56.00 (NE)

TRANSITION FROM 24" ROLL CURBING TO 18" L-SHAPED CURBING (TYP. 2'-LCS)

YI #1
FR: 59.50
INV. OUT: 56.27 (NE)

GI #7
FR: 60.95
INV. IN: 56.69 (SW)
INV. OUT: 56.69 (SE)

60 LF 12" RCP
• 0.50%

26 LF 4" HDPE
• 0.50%

POND
NORMAL WATER 56.0

MH #28
FR: 61.36
INV. IN: 47.55 (SW)
INV. OUT: 47.45 (NE)

YI #1
FR: 59.50
INV. OUT: 56.27 (NE)

83 LF 12" RCP
• 0.50%

GI #10
FR: 60.20
INV. IN: 55.50 (W)
INV. IN: 56.00 (E)
INV. OUT: 55.50 (NE)

41 LF 8" HDPE
• 0.50%

37 LF 4" HDPE
• 0.50%

INV.: 55.92

63 LF 12" PP
• 0.50%

YI #6
FR: 61.00
INV. OUT: 57.00 (NE)

94 LF 12" RCP
• 0.50%

GI #8
FR: 60.00
INV. IN: 56.22 (NW)
INV. OUT: 56.22 (NE)

GI #11
FR: 60.06
INV. OUT: 57.00 (SE)

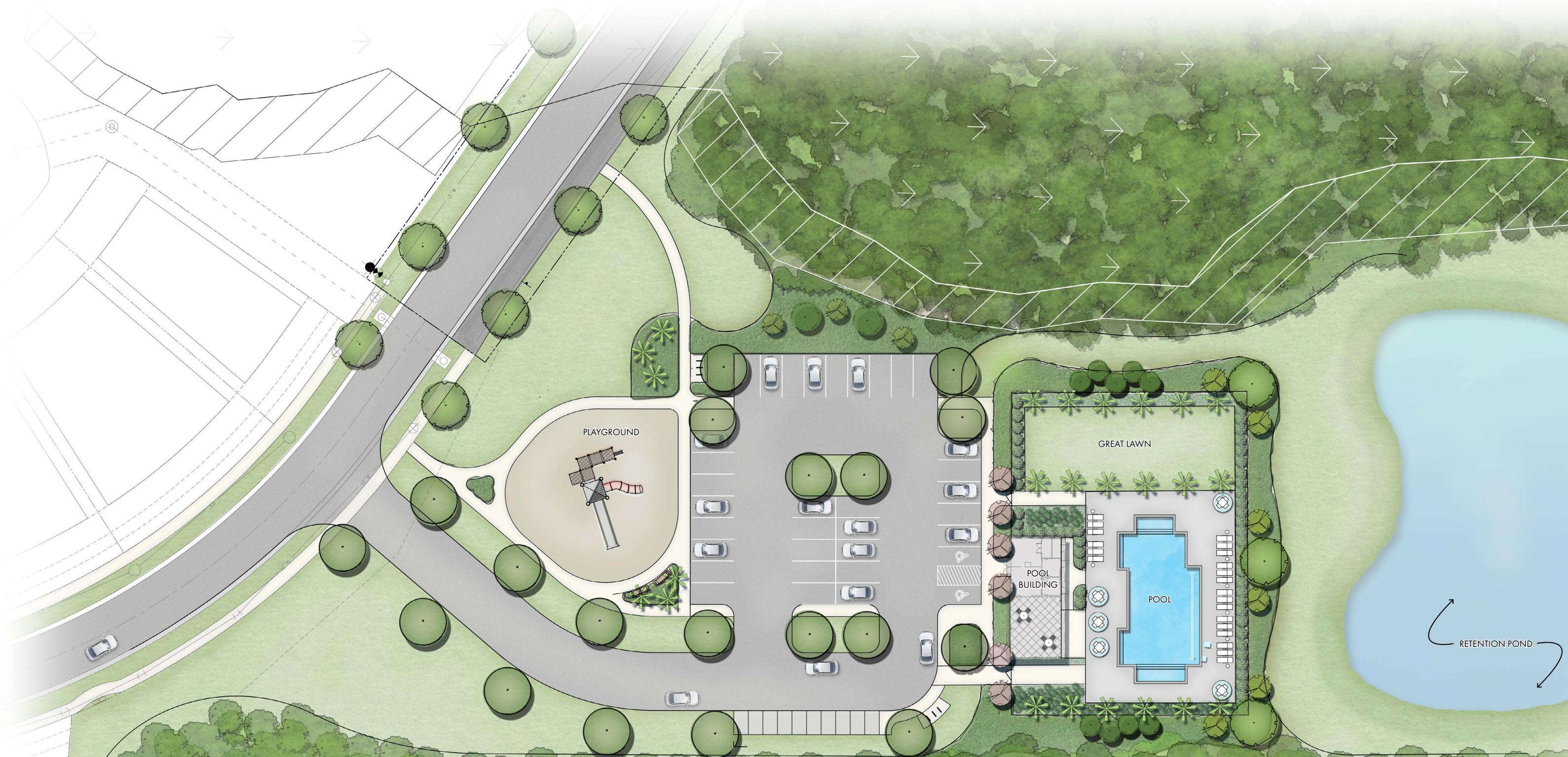
58 LF 12" RCP
• 0.50%

GI #12
FR: 59.70
INV. IN: 56.71 (NW)
INV. OUT: 56.71 (E)

GI #13
FR: 59.50
INV. IN: 56.26 (W)
INV. OUT: 56.26 (NE)

20' UNDISTURBED BUFFER

20' PN



PLAYGROUND

GREAT LAWN

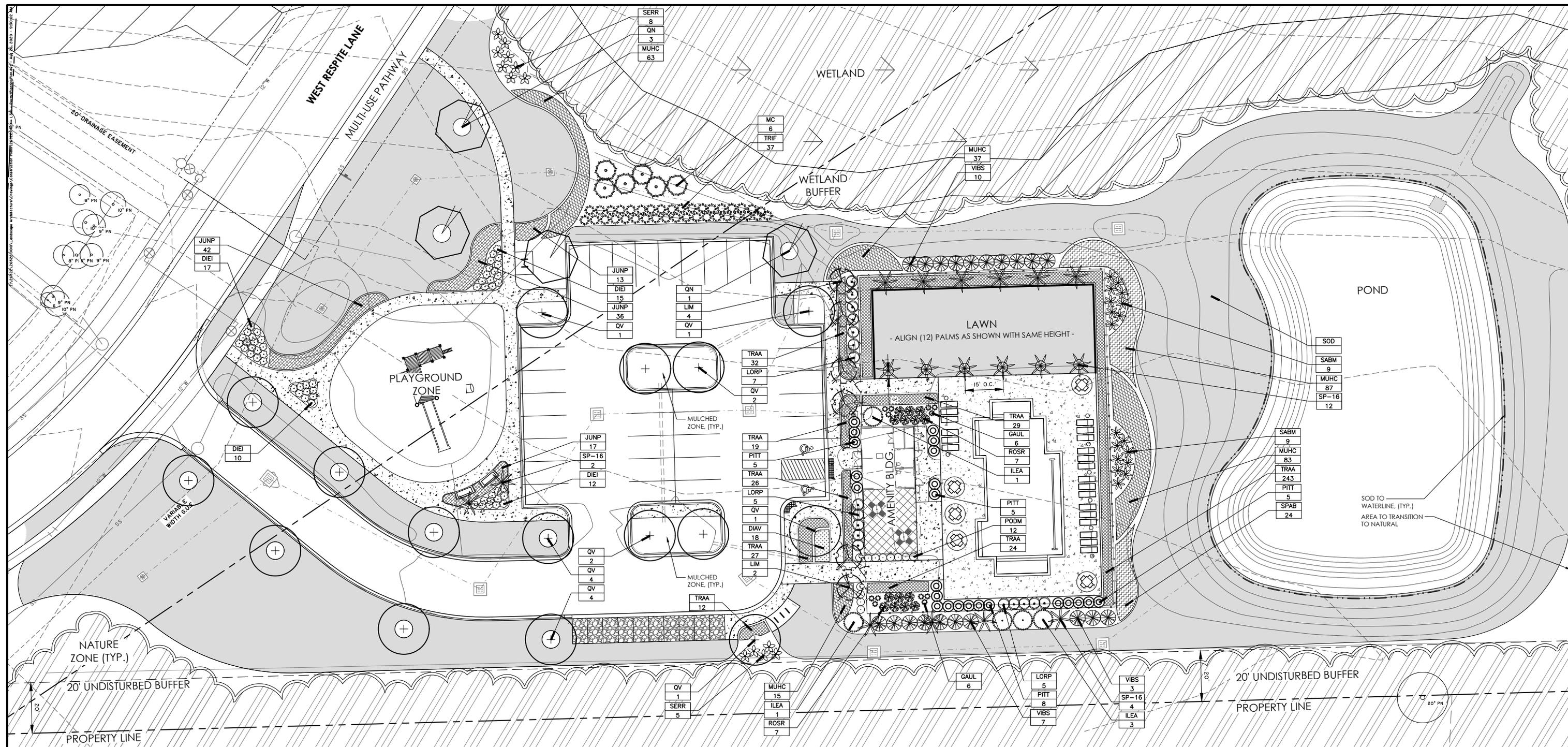
POOL BUILDING

POOL

RETENTION POND.

20' WIDE BUFFER

20' WIDE BUFFER



LANDSCAPE NOTES:

AMENITY SITE IS PART OF THE LIMEHOUSE P.U.D.

BUFFER REQUIREMENTS: 20' PERIMETER SETBACK & BUFFER AROUND THE EXTERIOR OF THE PUD. THE AMENITY SITE HAS THIS CONDITION ALONG THE SOUTHERN SIDE OF THE SITE AND HAS BEEN NOTED ON THE PLANS. AREA TO BE LEFT UNDISTURBED. HOWEVER, ADDITIONAL EVERGREEN PLANT MATERIAL MAY BE PLANTED AT OWNER'S DISCRETION IF EXISTING PLANT MATERIAL IS NOT SUFFICIENT FOR BUFFERING.

SITE INTERIOR LANDSCAPE REQUIREMENTS PER SECTION 32-323 (1) REQUIRED: 15% OF TOTAL AREA OF SITE MINUS STRUCTURES PROVIDED: ± 27% IS LANDSCAPED (±21,200 S.F.)

SCHEDULE NOTES:

- ALL AREAS SHOWN WITH SOLID GREY HATCH ARE TO BE SOD. SOD QUANTITIES GIVEN ARE AN ESTIMATE. CONTRACTOR TO CONFIRM FINAL SOD QUANTITIES IN THE FIELD TO MEET THE DESIGN INTENT.
- ALL DISTURBED AREAS TO BE COMPLETELY STABILIZED.
- NO WORK TO OCCUR IN WETLANDS, WETLAND BUFFERS, OR UNDISTURBED ZONES MARKED ON THE PLANS. ALL AREAS MARKED AS NATURAL ZONES THAT ARE NOT WITHIN WETLANDS OR BUFFERS ARE TO BE MULCHED.
- ALL AREAS NOT COVERED BY SOD OR HARDSCAPE ARE TO BE MULCHED. REFER TO NOTE #18 ON SHEET L.2 FOR TYPE.

PLANT SCHEDULE

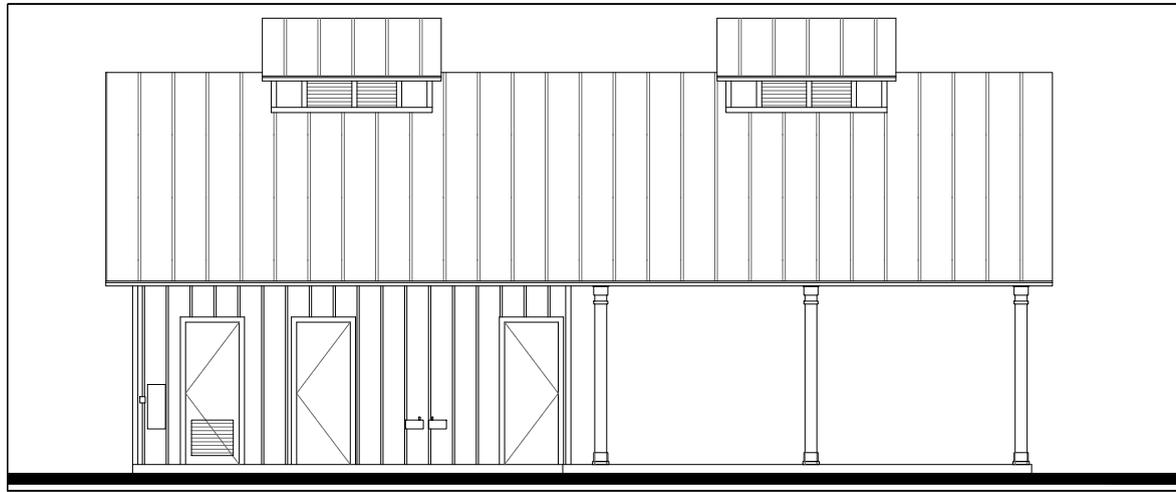
TREES

QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
5	ILEA	<i>Ilex x attenuata</i> 'Eagleston'	'Eagleston' Holly	B X B OR CONT.: 8'-10' HT. MIN.	AS SHOWN	Specimen, full to ground
6	LIM	<i>Lagerstroemia indica</i> 'Muskogee'	'Muskogee' Crape Myrtle	B & B OR CONT.: 10' - 12' HT.	AS SHOWN	Specimen, multi-trunk, 3 trunk min
4	QN	<i>Quercus nuttallii</i>	Nuttall Oak	B & B OR CONT.: 3" CAL.	AS SHOWN	12' Ht. Min.
16	QV	<i>Quercus virginiana</i>	Live Oak	B & B OR CONT.: 3" CAL.	AS SHOWN	12' Ht. Min.
18	SP-16	<i>Sabal palmetto</i>	Sabal Palm	B & B OR CONT.: 16' HT.	AS SHOWN	Matching Hts., Clean Boot

SHRUBS

QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
17	LORP	<i>Loropetalum chinense</i> 'Ruby'	Evergreen Loropetalum 'Ruby'	CONT.: 24" x 24"	AS SHOWN	Full
6	MC	<i>Myrica cerifera</i>	Wax Myrtle	7 GAL., 24" HT. MIN.	AS SHOWN	Full
23	PITT	<i>Pittosporum tobira</i> 'Variegata'	Variegated Pittosporum	3 GAL.; 24" X 24"	AS SHOWN	Full

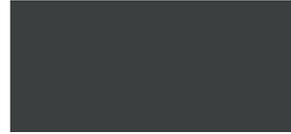




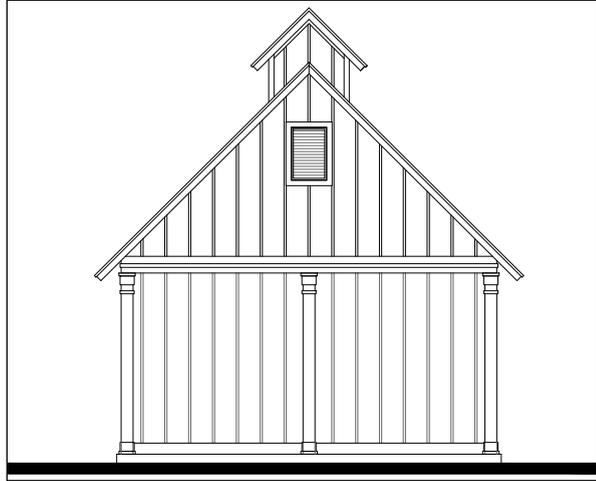
Sherwin Williams DCR100 Charleston White for the building



Sherwin Williams DCR099 Historic Charleston Green for the doors



LIMEHOUSE AMENITY BUILDING
HARDIE CLAD
SUMMERVILLE, SOUTH CAROLINA



-SHEET INDEX-	
A.0	COVER SHEET
A.1	FOUNDATION PLAN
A.2	MAIN FLOOR PLAN
A.3	ROOF PLAN
A.4	ELECTRICAL
A.5	FRONT & LEFT ELEVATIONS
A.6	RIGHT & REAR ELEVATIONS
A.7	RESTROOM AND ADA DETAILS SHEET
A.8	STRUCTURE DETAILS SHEET
A.9	GENERAL NOTES & CODE DATA

ISSUE DATE: 03-03-2019

REVISION

Limehouse Amenity Center
Lennar Homes
1941 Savage Rd, Suite 100-6
Charleston, SC 29407

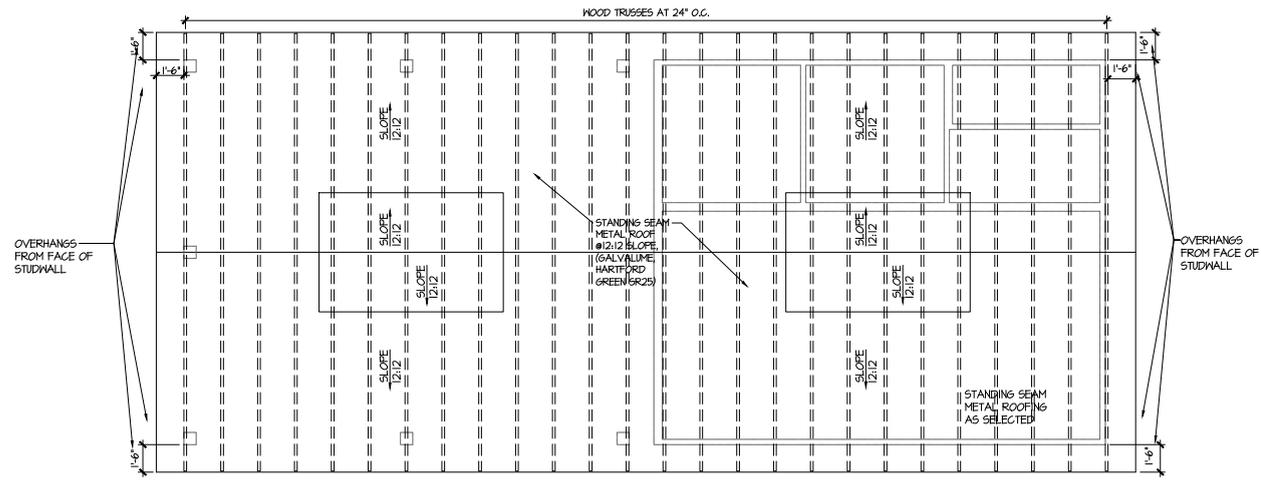


9100 E. Du Pont Drive, Suite 100
Tomball, Texas 77375
480.603.2100

JOS. B. BISHOP ARCHITECTS
1000 W. 10th Street, Suite 100
Charleston, SC 29407

LIMEHOUSE
AMENITY

A.0



Roof Plan
SCALE: 1/8" = 1'-0"

REVISION	DATE

Limehouse Amenity Center
Lennar Homes
1941 Savage Rd, Suite 100-6
Charleston, SC 29407

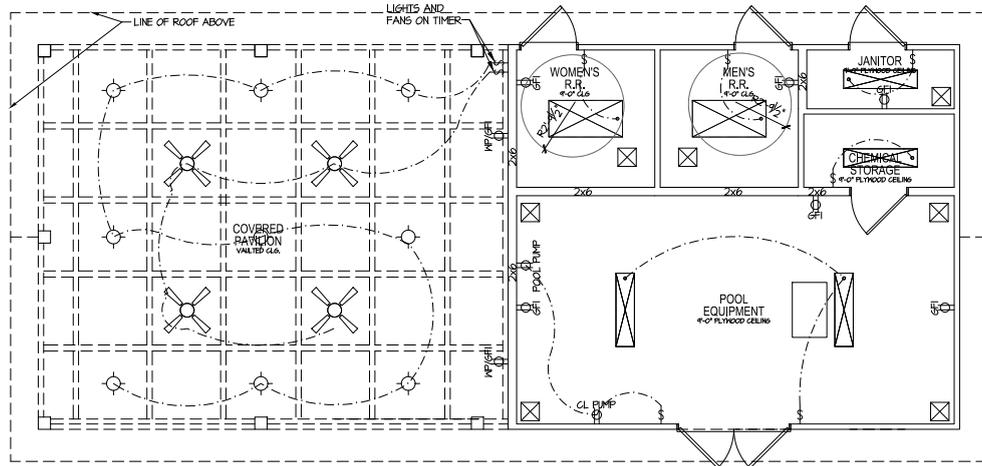


9100 E. Du Pont Drive, Suite 100
Scottsdale, Arizona 85258
480.603.2100

JOB NO. AM170416 PROJECT DIR. DEB
DATE: 05/01/2018 CDR. CHENGJIAO WANG
ROOF PLAN

LIMEHOUSE
AMENITY

A.3



Electrical Plan

SCALE: 1/8" = 1'-0"

LIGHTING & FAN LEGEND	
	STYLE AND SIZE OF CEILING FAN TO BE DETERMINED. FANS TO BE HANG FROM UNDERSIDE OF RAFTERS OR CEILING BEARING WITH DOWN ROD BY SUFFICIENT LENGTH TO CLEAR BEARING AND TRUSS MEMBERS. BRUSHED STEEL COLOR.
INTERIOR LIGHTS ON MOTION SENSORS	
	2'-0" x 4'-0" FLUORESCENT CEILING MOUNT LIGHT
	D240 INDUSTRIAL FLUORESCENT SHOP LIGHTS ATTACHED TO UNDERSIDE OF TRUSSES IN POOL EQUIPMENT ROOM
	D240 INDUSTRIAL FLUORESCENT SHOP LIGHTS ATTACHED TO CEILING IN UTILITY AND CHEM STORAGE

ISSUE DATE: 03-09-2019

REVISIONS

Limehouse Amenity Center

Lennar Homes
1941 Savage Rd, Suite 100-6
Charleston, SC 29407



9100 E. Dal Camino Drive, Suite 100
Scottsdale, Arizona 85268
480.683.2100

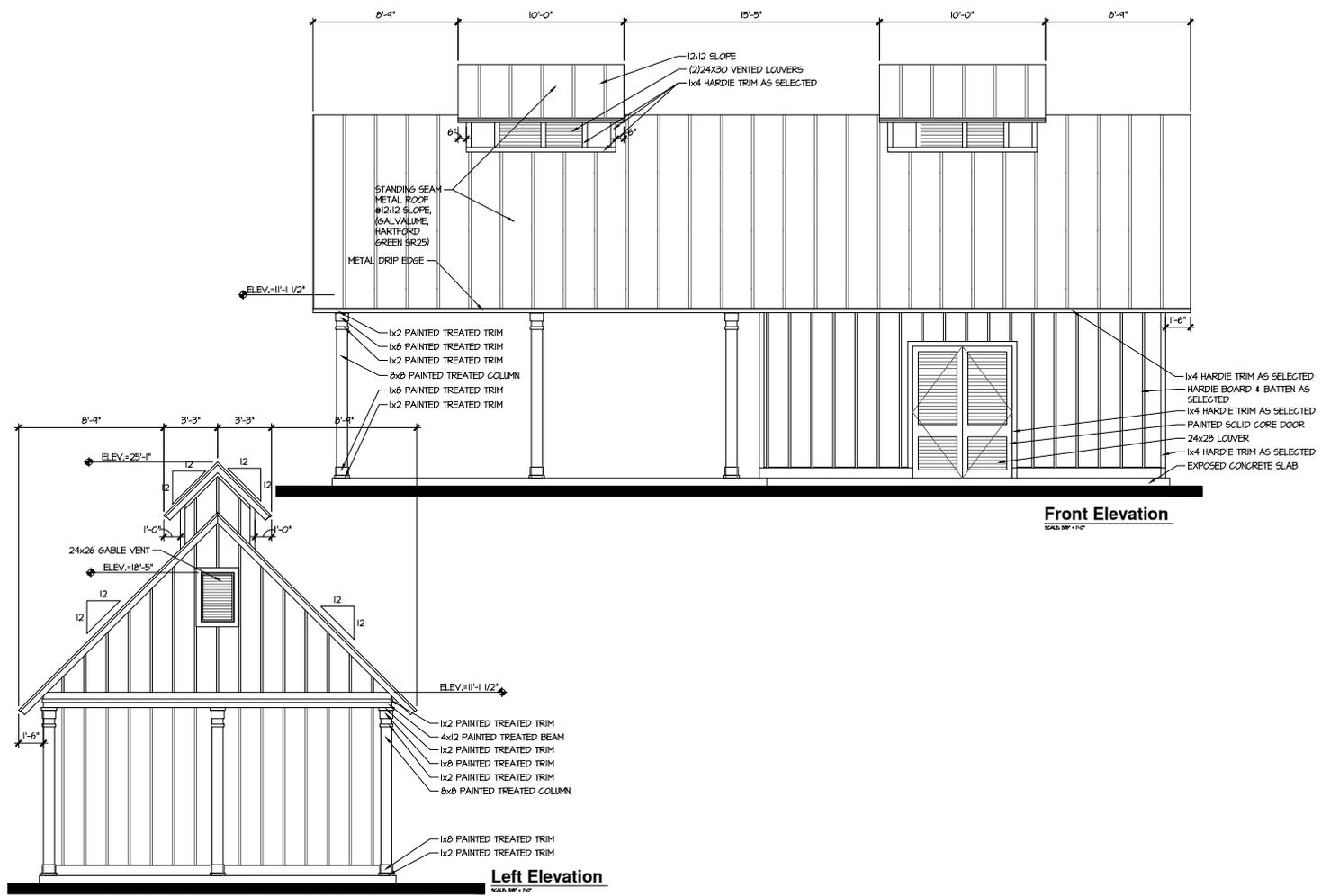
JOB NO. AM101416 PROJECT 0219
DRAWN: KSB CHECKED: MCB
DATE: 03-09-2019

ELECTRICAL PLAN

Lighting and Fan Legend

LIMEHOUSE
AMENITY

A.4



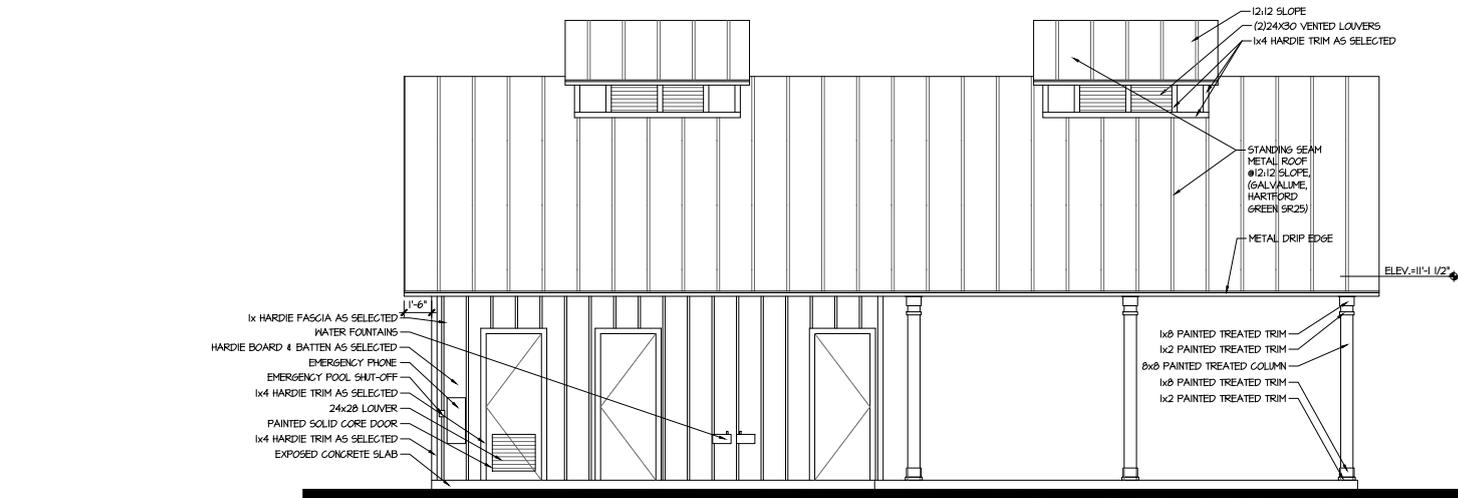
ISSUE DATE: 01-25-2019
REVISIONS:

Limehouse Amenity Center
Lennar Homes
1941 Savage Rd, Suite 100-6
Charleston, SC 29407

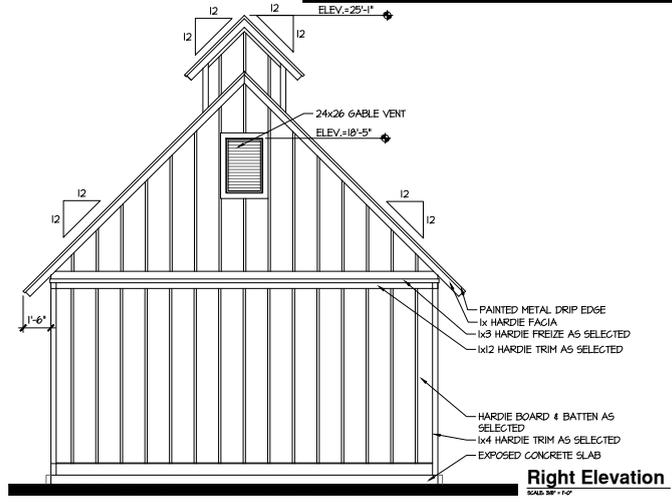
BSB DESIGN
9103 E. Du Pont Drive, Suite 100
North Charleston, SC 29505
480.603.2100

DATE: 01-25-2019
PROJECT: LIMEHOUSE AMENITY CENTER
DRAWING: EXTERIOR ELEVATIONS
FRONT AND LEFT ELEVATIONS

LIMEHOUSE AMENITY
A.5



Rear Elevation
SCALE: 3/8" = 1'-0"



Right Elevation
SCALE: 3/8" = 1'-0"

REVISION	DATE
1	02/02/2019

Limehouse Amenity Center
 Lennar Homes
 1941 Savage Rd, Suite 100-6
 Charleston, SC 29407



3100 E. Dal Centro Drive, Suite 100
 Scottsdale, Arizona 85261
 480.603.2100

JOB NO. AM10016 PROJECT 2018
 DRAWN: KSB CHECKED: JMB
 EXTERIOR ELEVATIONS
 REAR & RIGHT ELEVATIONS

**LIMEHOUSE
 AMENITY**

A.6

GENERAL NOTES

- 1. THE GENERAL STRUCTURAL NOTES ARE INTENDED TO ALIGNMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICT WITH THE DRAWINGS SPECIFICATIONS, AND GENERAL STRUCTURAL NOTES, THE STRICTEST PROVISION SHALL GOVERN.
2. CONSTRUCTION METHODS, MEANS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR WORKING AND BRACING OF ALL ELEMENTS UNTIL THE STRUCTURE IS COMPLETE.
3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH AND COORDINATED WITH CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION AND OTHER CONTRACT DOCUMENTS.
4. THE CONTRACTOR SHALL COORDINATE THE LOCATIONS AND SIZES OF ALL OPENINGS AND PENETRATIONS IN THE STRUCTURAL MEMBERS WITH THE APPLICABLE DISCIPLINES.
5. CONTRACTOR SHALL REVIEW AND CHECK SHOP DRAWINGS BEFORE SUBMITTAL TO ENGINEER. CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS AND DIMENSIONS SPECIFIED IN THE CONTRACT DOCUMENTS.

DESIGN INFORMATION

- 1. STRUCTURAL DESIGN CONFORMS TO THE REQUIREMENTS OF THE SOUTH CAROLINA STATE BUILDING CODE (SC 2006) WITH MODIFICATIONS.
2. DESIGN LOADS AND PARAMETERS ARE AS FOLLOWS:
A. DEAD LOADS ACTUAL HEIGHT OF MATERIALS AND EQUIPMENT
B. LIVE LOADS:
- OFFICE FLOOR: 100 PSF
- STAIR: 20 PSF
C. WIND LOADS:
- BASIC WIND SPEED IS 65 MPH
- WIND LOAD IMPORTANCE FACTOR (I): 1.0
- WIND EXPOSURE CATEGORY: C
- WIND PRESSURE COEFFICIENT (Cp): 0.8
D. SEISMIC DESIGN DATA:
- OCCUPANCY CATEGORY: II
- IMPORTANCE FACTOR: 1.0
- SPECTRAL RESPONSE COEFFICIENT Ss: L2/8
- SPECTRAL RESPONSE COEFFICIENT S1: 0.541g
- SITE CLASS: B
- DESIGN CATEGORY: II
- ANALYSIS PROCEDURE: ELFA
- BASIC STRUCTURAL SYSTEM: REINFORCED CONCRETE FRAME WITH STAIRS
- SEISMIC RESISTING SYSTEM: LIGHT FRAME WOOD WALLS WITH STAIRS, WOOD SHEAR PANELS

EXCAVATION FOR STRUCTURAL TIERS

- 1. EXCAVATIONS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT COMPILED BY VOLKHAAR CONSULTING SERVICES, LLC (VCS) DATED NOVEMBER 9, 2022, PROJECT NUMBER 22-064.
2. THE CONTRACTOR SHALL PROVIDE ALL WORK NECESSARY TO PROTECT EXISTING STRUCTURES AND UTILITIES, ANY DAMAGE TO EXISTING STRUCTURES OR UTILITIES, BEYOND THE REQUIRED DEPTH/LENGTH SHALL BE REPAIRED BY THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING & SUPPORTS NECESSARY FOR EXCAVATION AND CONSTRUCTION.
4. ALL EXCAVATIONS SHALL COMPLY WITH APPLICABLE OSHA REGULATIONS.
5. CONCRETE FOR FOOTINGS SHALL BE PLACED WITHIN 2 DAYS OF EXCAVATION AND SHALL NOT BE EXPOSED TO INFLUENT WEATHER. SOILS LOOSENED BY WATER INFLUENT OR EXPOSURE SHALL BE REMOVED BEFORE PLACING CONCRETE.
6. THE GEOTECHNICAL ENGINEER AND/OR SPECIAL INSPECTOR SHALL OBSERVE CLEANED FOOTINGS PRIOR TO CONCRETE PLACEMENT TO CONFIRM THE BRACING IS CONSISTENT WITH THE RECOMMENDATIONS PROVIDED IN THE VCS GEOTECHNICAL REPORT.

FOUNDATIONS

- 1. FOUNDATION DESIGN IS BASED ON A SUBSURFACE INVESTIGATION PERFORMED BY VOLKHAAR CONSULTING SERVICES, LLC (VCS) AND THE SUBSEQUENT RECOMMENDATIONS PRESENTED IN THE VCS GEOTECHNICAL REPORT DATED NOVEMBER 9, 2022, PROJECT NUMBER 22-064.
2. CONTRACTOR SHALL READ GEOTECHNICAL REPORT AND ANY ADDENDUMS PRIOR TO COMMENCEMENT OF WORK AND SHALL FOLLOW RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER FOR PREPARATION OF THE BERMADE AND EXCAVATIONS.
3. WHERE APPLICABLE, ALL EXCAVATIONS, COMPACTED FILL, AND BERMADES SHALL BE OBSERVED AND TESTED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF SOUTH CAROLINA TO VERIFY SPECIFIC GEOTECHNICAL PERFORMANCE REQUIREMENTS. SUCH TESTING SHALL BE COMPLETED BY THE SPECIAL INSPECTOR.
4. SOIL BEARING CAPACITY OF 2,000 PSF SHALL BE VERIFIED PRIOR TO INSTALLATION OF ANY FOUNDATIONS OR SLABS ON GRADE.
5. WHERE APPLICABLE, COMPACT SOIL MATERIALS TO NOT LESS THAN 95% MAXIMUM DRY DENSITY ACCORDING TO ASTM D 1557 (PROVED PRACTICE).
6. DO NOT PLACE BACKFILL OR FILL SOIL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST OR ICE.

REINFORCED CONCRETE

- 1. UNLESS NOTED OTHERWISE, ALL CONCRETE WORK, DETAILING, FABRICATION AND PLACING, INCLUDING MIN COVER REQUIREMENTS OF REINFORCING BARS EXCEPT AS NOTED HEREIN AND CONCRETE SHALL BE GOVERNED BY THE LATEST REVISIONS OF:
A. ACI 308, ACI 309, AND ACI 310
B. OVER REINFORCED PRACTICE OF PLACING REINFORCING BARS
C. ACI 308 AND ACI 309 FOR COLD AND HOT WEATHER CONCRETING, RESPECTIVELY
2. ALL CONCRETE FOR THE AMENITY CENTER FOUNDATIONS AND SLAB ON GRADE SHALL BE NORMAL WEIGHT AND WITH A MAXIMUM UNIT WEIGHT OF 150 PCF, AND SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
3. CONCRETE MIX DESIGN, IN ACCORDANCE WITH ACI 308 SECTION 5.3, SHALL BE SUBMITTED TO THE ENGINEER AND TESTING AGENCY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE REQUIRED CONCRETE DESIGN STRENGTH AND OTHER SPECIFIED PARAMETERS.
4. USE OF CALCIUM CHLORIDE, CALORIC IONS, OR OTHER SALTS IN CONCRETE IS NOT PERMITTED.
5. THE AIR CONTENT IN ALL CONCRETE EXPOSED TO WEATHER SHALL BE BETWEEN 3% AND 4%.
6. THE TESTING AGENCY SHALL SAMPLE AND TEST EACH 50 CY OR FRACTION THEREOF OF EACH CLASS OF CONCRETE PLACED EACH DAY. SAMPLE CONCRETE IN ACCORDANCE WITH ASTM C672. PERFORM THE FOLLOWING TESTS IN ACCORDANCE WITH THE INDICATED STANDARD:
A. SLUMP, ASTM C403
B. AIR CONTENT, ASTM C671
C. COMPRESSIVE STRENGTH, WITH CON WITH ONE CYLINDER AT 1 DAYS, 2 CYLINDERS AT 28 DAYS, AND ONE SPECIMEN HELD IN RESERVE.
7. DETAIL CONCRETE REINFORCEMENT AND ACCESSORIES IN ACCORDANCE WITH ACI 308 "DETAILING MANUAL". SUBMIT SHOP DRAWINGS FOR ACCEPTANCE SHOWING ALL FABRICATION DIRECTIONS AND LOCATIONS FOR PLACING REINFORCING STEEL AND ACCESSORIES. DO NOT BEGIN FABRICATION UNTIL SHOP DRAWINGS ARE COMPLETED AND ACCEPTED.
8. REINFORCING STEEL SHALL CONFORM TO ASTM A 618, AND SHALL BE GRADE 60 UNLESS OTHERWISE NOTED. BAR SIZES IDENTIFIED IN THE NOTES, SPECIFICATIONS AND DRAWINGS ARE ASTM STANDARD SIZES.
9. LAP SPLICES SHALL BE AS SHOWN IN THE TABLE PROVIDED IN THESE NOTES AND SHALL CONFORM TO ACI 308. SHOULD CONFLICTS EXIST, THE STRICTEST PROVISION SHALL APPLY.
10. REINFORCEMENT SHALL BE CONTINUOUS ACROSS CONSTRUCTION JOINTS.
11. WELDING OF REINFORCING STEEL IS NOT PERMITTED.
12. REINFORCING STEEL SHALL HAVE THE FOLLOWING CONCRETE COVER UNLESS NOTED OTHERWISE:
A. CONCRETE CAST AGAINST EARTH (BOTH FORMED) 3"
B. CONCRETE EXPOSED TO EARTH OR WEATHER 1 1/2" SMALLER
C. CONCRETE EXPOSED TO WEATHER 1 1/2"
D. CONCRETE NOT EXPOSED TO EARTH OR WEATHER SLABS & WALLS 1 1/2"
E. CONCRETE NOT EXPOSED TO EARTH OR WEATHER BEAMS & COLUMNS 1 1/2"
13. CONCRETE SHALL BE DEWATERED AT THE SITE WITHIN 90 MINUTES AFTER WATER HAS BEEN ADDED TO THE CONCRETE AND ADEQUATE ADDITION OF WATER TO THE MIX AT THE PROJECT SITE WILL NOT BE ALLOWED. ALL WATER MUST BE ADDED AT THE BATCH PLANT.
14. CONCRETE STAIRS SHALL RECEIVE A LIGHT BROOM FINISH. FINISHED FLOOR SLAB SHALL RECEIVE A SMOOTH FINISH.
15. EXCEPT WHERE NOTED OTHERWISE, FLOOR FINISHES (FF) SHALL BE A MINIMUM OF 20' FLOOR LEVELNESS (FL) SHALL BE A MINIMUM OF 1/8" SURFACE WAVERNESS SHALL BE A MAXIMUM OF 5 mm.
16. CONCRETE SLABS SHALL BE MOISTURE CURED WITH A LIQUID MEMBRANE-FORMING CURING COMPOUND ON THE FINISHED SURFACE FOR A MINIMUM OF 7 DAYS. CARE SHALL BE TAKEN TO MOISTURE CURE JOINTS THROUGHOUT. WHEN MOIST CURING IS COMPLETED, DRIFTING SHALL BEEN GRADUALLY AND OCCUR OVER A MINIMUM OF THREE DAYS. CALCULATION SHALL NOT BE PERMITTED.
17. FOLLOWING COMPLETION ONLY FOOT TRAFFIC SHALL BE PERMITTED. PROTECT THE SURFACE BY PLACING PLWOOD SHEETS ON THE SLAB WHERE HEAVY FOOT TRAFFIC IS EXPECTED.
18. REINFORCEMENT SPLICES/LAP LENGTHS, HOOK DEVELOPMENT AND HOOK LENGTH TABLE SHOWN BELOW IS BASED UPON A MINIMUM CONCRETE COMPRESSIVE STRENGTH OF 4,000 PSI AND 4,000 PSI REINFORCEMENT (AT 90 DEGREE CORNERS).
19. THE MINIMUM SPLICE/LAP LENGTH PROVIDED IN THE TABLE IS BASED UPON A 1/2" CENTER TO CENTER BAR SPACING AND A 9" BAR COVER. IF THE BAR LAYOUT DOES NOT CONFORM TO THESE PARAMETERS, THE REQUIREMENTS OF ACI 308 SHALL BE CALCULATED BY REFORMER EXAMINER FOR THE SPECIFIC CONDITION THE STRUCTURE OF THE TWO VALUES IN TABLE OR THOSE CALCULATED SHALL CONTROL.
20. ALL LAP SPLICES SHALL BE CLASS B. IF SPLICES ARE INDICATED BETWEEN BARS OF DIFFERENT SIZES, THE SPLICE LENGTH SHALL BE BASED UPON THE SMALLER BAR SIZE. FOR TOP BARS WITH MORE THAN 1/2" OF CONCRETE BELOW INCREASE LENGTHS SHOWN BY 1/2".

TRUSS CONSTRUCTION

- 1. SELECTION OF MATERIALS SHALL COMPLY WITH MINIMUM REQUIREMENTS STATED IN THE EC2002 WITH APPLICABLE SC MODIFICATIONS AND WITH REQUIREMENTS IN CONSTRUCTION DRAWINGS. CONTRACTOR SHALL ASK QUESTIONS ABOUT ANY CONFLICTS TO ENGINEER.
2. WOOD MEMBERS SHALL BE TREATED IN ACCORDANCE WITH THE FOLLOWING:
A. 2X & 4X PAGA MEMBERS, NCA - PRESERVATIVE STAIN
B. 2X BAY SET FOR GRID FOOT, NCA - PRESERVATIVE STAIN
C. 2X FOR STONE COLUMN BOX GIRT, NCA
D. 2X TRUSS IN WALL, NCA
E. 2X SILL PLATE, NCA
F. 2X BRIDGE TRUSS MEMBERS, NONE
G. LOAD POINTS, BOWTIE & PRESERVATIVE STAIN
H. 1X TRUSS IN EXTERIOR WALLS, NCA
I. 1X WOOD IN INTERIOR WALLS, NONE
4. ALL TRUSS FASTENERS SHALL BE NOT DCP GALVANIZED IN ACCORDANCE WITH ASTM A508. ALL CONNECTORS SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A508.
5. ALL PLATE FASTENERS SHALL CONFORM WITH ASTM A563.
6. ALL BOLTS SHALL CONFORM WITH ASTM A507. ALL NUTS SHALL CONFORM WITH ASTM A563. ALL FASTENERS SHALL CONFORM WITH ASTM F444.
7. DRILL ALL HOLES STRAIGHT AND PERPENDICULAR TO THE BEARING SURFACE.
8. UNLESS NOTED OTHERWISE, USE ONLY FULL LENGTH TIMBERS.
9. WHERE APPLICABLE, CENTERED HOLES FOR BOLTS FOR CONTRA SINKING BOLT HEADS AND WASHERS.
10. WHERE PRACTICAL, CUT TRUSSES TO REQUIRED LENGTH WITH STRAIGHT CUTS AND NO SPLINTERED EDGES, AND DRILL HOLES PRIOR TO PRESERVATIVE TREATMENT TO PREVENT TREATING GAPS AND HOLES IN THE FIELD.
11. PRIOR TO SECTION OF TRUSSES, COAT ALL GUT, BORED, DAPPED AND DAMAGED TRUSS SURFACES WITH APPLICABLE PRESERVATIVE.
12. RESET TRUSS WORK PLUMB AND LEVEL WITH TIGHT JOINTS BETWEEN ALL MEMBERS.
13. TIGHTEN BOLTS SUFFICIENTLY TO BRING ALL BEARING SURFACES INTO CONTACT.
14. COAT END GRANS OF ALL EXPOSED LUMBER AND TRUSSES WITH PRESERVATIVE.
15. EXERCISE CARE WHEN HANDLING TRUSS TO AVOID SURFACE AND STRUCTURAL DAMAGE. DO NOT USE GANT HOOKS, DOGS, OR PIPE POLES FOR HANDLING TRUSS.
16. STORE TRUSS MEMBER COVER, ABOVE GROUND AND KEEP FREE FROM DIRT, GRADE OR OTHER FOREIGN MATTER. STACK TRUSS IN A MANNER THAT WILL PREVENT LUMBER TRUSSES FROM SAGGING OR BECOMING CROOKED.
WOOD TRUSSES
1. EXCEPT WHERE NOTED OTHERWISE, THE FOLLOWING TRUSS NOTES ARE APPLICABLE TO BOTH PRE-ENGINEERED AND HEAVY TRUSS TRUSSES.
2. ALL WOOD TRUSS DESIGNS AND SUBMITTALS SHALL BE IN ACCORDANCE WITH EC2002 WITH APPLICABLE SC MODIFICATIONS. DESIGN SHALL BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN SOUTH CAROLINA.
3. FOR PRE-ENGINEERED TRUSSES, UNLESS NOTED OTHERWISE, ALL DESIGN DETAILING, FABRICATION AND SECTION OF MEMBERS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF:
A. TRUSS PLATE INSTITUTE - NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSSES.
B. TRUSS PLATE INSTITUTE - COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING, AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.
C. TRUSS PLATE INSTITUTE - RECOMMENDED DESIGN SPECIFICATIONS FOR TEMPORARY BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.
4. IN ADDITION TO SELF HEFT, WOOD TRUSSES AND CONNECTIONS SHALL BE DESIGNED FOR THE FOLLOWING LOADS:
A. LIVE LOAD: 20 PSF
B. DEAD LOAD: 20 PSF
C. WIND LOAD: PER CODE
E. OTHER MINIMUM LOADS SHOWN ON THE DRAWINGS
5. ALL PRE-ENGINEERED TRUSS LUMBER SHALL BE SOUTHERN PINE, NOT GRADE DRESSED, AND GRADED IN ACCORDANCE WITH SOUTHERN PINE INSPECTOR EMPLOYER MARKING RULES AND WITH A MOISTURE CONTENT OF 1% PERCENT AT TIME OF DELIVERY TO THE PROJECT SITE.
6. TREATMENT OF TRUSS MEMBERS SHALL BE AS STATED IN THE NOTES FOR TRUSS CONSTRUCTION.
7. ALL WOOD TRUSS FASTENERS SHALL BE NOT DCP GALVANIZED IN ACCORDANCE WITH ASTM A508. ALL CONNECTORS SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A508.
1. WOOD TRUSS SHOP DRAWINGS, WOOD TRUSS SECTION PLAN, AND DESIGN CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THE WOOD TRUSSES. WOOD TRUSS SHOP DRAWINGS AND CALCULATIONS SHALL BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF SOUTH CAROLINA.
2. WOOD TRUSS DESIGN SHALL INCLUDE ALL TRUSS MEMBERS, BRACING, BRACING AND RAFTERS, AS NEEDED TO SUPPORT THE DESIGN LOADS. TRUSS TRUSS DESIGN SHALL ALSO INCLUDE A WRITTEN VERIFICATION OF THE POST DESIGN & ANCHORAGE PROVIDED ON THE DRAWINGS FOR ANCHORAGE IN SUPPORTING THE TRUSS TRUSS LOADS.
3. PROTECT AND RETAIN PERMANENT AND TEMPORARY BRACING OF WOOD TRUSS MEMBERS AS NEEDED TO SATISFY CODE REQUIREMENTS, RESIST LATERAL LOADS AND AS REQUIRED BY TRUSS PLATE INSTITUTE SPECIFICATIONS.
10. CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING OF WOOD TRUSSES AGAINST WIND LOADS, CONSTRUCTION LOADS, AND OTHER TEMPORARY FORCES UNTIL SUCH PROTECTION IS NO LONGER REQUIRED FOR THE SAFE SUPPORT OF THE ROOF STRUCTURE.

PAINTS & STAINING

- 1. ALL TRUSS MEMBERS SPECIFIED TO BE PAINTED SHALL RECEIVE ONE COAT OF PRIMER AND TWO COATS OF PAINT. THE COLOR OF PAINT SHALL BE SELECTED BY THE OWNER FROM SUPPLIERS FULL COLOR PALETTE.
2. ALL WOOD PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS FOR PRODUCTS AND PROCEDURES FOR FINISH.
3. ALL MEMBERS SPECIFIED TO BE STAINED SHALL RECEIVE TWO COATS OF OIL-BASED SEMI-TRANSPARENT STAIN. THE COLOR OF FINISH SHALL BE SELECTED BY THE OWNER & ARCHITECT FROM SUPPLIERS FULL COLOR PALETTE.
4. PAINT AND STAIN PRODUCTS TO BE SELECTED BY CONTRACTOR FOR PROJECT SPECIFIC APPLICATION AND SUBMITTED TO ENGINEER FOR APPROVAL.
5. SAMPLES OF PAINTED AND STAINED MEMBERS SHALL BE SUBMITTED TO OWNER FOR SELECTION OF COLORS.
SPECIAL INSPECTIONS
1. THE OWNER SHALL EMPLOY SPECIAL INSPECTORS TO PROVIDE INSPECTIONS DURING CONSTRUCTION AS NOTED HEREIN.
2. THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO DEMONSTRATES COMPETENCE TO THE SATISFACTION OF THE BUILDING OFFICIAL FOR THE INSPECTION OF THE ASSIGNED TYPE OF CONSTRUCTION OR CREATION.
3. SPECIAL INSPECTION PROCEDURES SHALL BE COMPLETED IN ACCORDANCE WITH ISC 2012 CHAPTER 17. AT A MINIMUM SPECIAL INSPECTIONS SHALL INCLUDE THE ITEMS LISTED BELOW. IF CONFLICTS EXIST BETWEEN THE CODE AND THE REQUIREMENTS STATED BELOW, THE STRICTEST PROVISION SHALL GOVERN. BUILDING CODE OFFICIAL SHALL BE PROVIDED THE OPTION TO ADD TO THE LIST OF REQUIRED SPECIAL INSPECTIONS.
CONCRETE
USE OF REQUIRED MIX - PERIODIC
SAMPLING FOR TESTING - CONTINUOUS
PLACEMENT - CONTINUOUS
CURING - PERIODIC
FORMWORK - PERIODIC
PLACEMENT OF ANCHORS IN CONCRETE - PERIODIC
REINFORCING STEEL & PLACEMENT - PERIODIC
SOIL
ALL AS NOTED IN TABLE 1003A
WOOD
INSTALLATION OF SHEAR WALLS, PANELS & DAMBRAGS - PERIODIC
INSTALLATION OF LATERAL & UPRIGHT ANCHORS & CONNECTORS - PERIODIC
GENERAL
COMPLIANCE WITH READY INSPECTION PROVISIONS OF CONSTRUCTION DOCUMENTS AND THE APPROVED SUBMITTALS - PERIODIC
VISUAL STRUCTURAL OBSERVATION OF STRUCTURAL SYSTEMS FOR CONFORMANCE TO THE APPROVED CONSTRUCTION DOCUMENTS AT COMPLETION OF STRUCTURAL SYSTEMS - PERIODIC
CODE ANALYSIS
CH-3 - OCCUPANCY CLASSIFICATION ASSEMBLY GROUP A-3
CH-5 - ALLOWABLE HEIGHT & BUILDING AREA: 1 STORY, 6,000 SF - BUILDING IS COMPLIANT
CH-6 - TYPE OF CONSTRUCTION: THE BUILDING IS A SINGLE STORY FRAMED WITH WOOD STUD WALLS, TRUSS ROOF AND WOOD TRUSSES, SUPPORTED BY A CONCRETE SLAB ON GRADE AND SPREAD FOOTINGS. TYPE VLS WITH APPROX 100 SF ASSEMBLY AREA.
CH-8 - AUTOMATIC SPRINKLER SYSTEM: NOT REQUIRED
CH-10 - OCCUPANT LOAD: ASSEMBLY SPACE AT 5 NET & 250 OCCUPANTS STORAGE SPACE AT 300 GROSS & 1 OCCUPANT TOTAL & 25 OCCUPANTS
OPEN BUILDING WITH STAIR ACCESS ON ONE SIDE AND SLOPING SIDEWALK ON OTHER SIDE. EXIT ANALYSIS NOT REQUIRED.
CH-12 - VENTILATION: COMPLIANT TEMPERATURE CONTROL: COMPLIANT LIGHTING: COMPLIANT MIN CEILING HEIGHT: COMPLIANT
CH-24 - MINIMUM PLUMBING FIXTURES: COMPLIANT FOR BOTH MALE & FEMALE WALLS MIN REQUIREMENTS: 1 WATER CLOSET, 1 LAVATORY, FEMALE MIN REQUIREMENTS: 2 WATER CLOSETS, 1 LAVATORY DRINKING FOUNTAIN MIN REQUIREMENTS: 1.

GENERAL NOTES

- 1. THE GENERAL STRUCTURAL NOTES ARE INTENDED TO ALIGNMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICT WITH THE DRAWINGS SPECIFICATIONS, AND GENERAL STRUCTURAL NOTES, THE STRICTEST PROVISION SHALL GOVERN.
2. CONSTRUCTION METHODS, MEANS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR WORKING AND BRACING OF ALL ELEMENTS UNTIL THE STRUCTURE IS COMPLETE.
3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH AND COORDINATED WITH CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION AND OTHER CONTRACT DOCUMENTS.
4. THE CONTRACTOR SHALL COORDINATE THE LOCATIONS AND SIZES OF ALL OPENINGS AND PENETRATIONS IN THE STRUCTURAL MEMBERS WITH THE APPLICABLE DISCIPLINES.
5. CONTRACTOR SHALL REVIEW AND CHECK SHOP DRAWINGS BEFORE SUBMITTAL TO ENGINEER. CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS AND DIMENSIONS SPECIFIED IN THE CONTRACT DOCUMENTS.

DESIGN INFORMATION

- 1. STRUCTURAL DESIGN CONFORMS TO THE REQUIREMENTS OF THE SOUTH CAROLINA STATE BUILDING CODE (SC 2006) WITH MODIFICATIONS.
2. DESIGN LOADS AND PARAMETERS ARE AS FOLLOWS:
A. DEAD LOADS ACTUAL HEIGHT OF MATERIALS AND EQUIPMENT
B. LIVE LOADS:
- OFFICE FLOOR: 100 PSF
- STAIR: 20 PSF
C. WIND LOADS:
- BASIC WIND SPEED IS 65 MPH
- WIND LOAD IMPORTANCE FACTOR (I): 1.0
- WIND EXPOSURE CATEGORY: C
- WIND PRESSURE COEFFICIENT (Cp): 0.8
D. SEISMIC DESIGN DATA:
- OCCUPANCY CATEGORY: II
- IMPORTANCE FACTOR: 1.0
- SPECTRAL RESPONSE COEFFICIENT Ss: L2/8
- SPECTRAL RESPONSE COEFFICIENT S1: 0.541g
- SITE CLASS: B
- DESIGN CATEGORY: II
- ANALYSIS PROCEDURE: ELFA
- BASIC STRUCTURAL SYSTEM: REINFORCED CONCRETE FRAME WITH STAIRS
- SEISMIC RESISTING SYSTEM: LIGHT FRAME WOOD WALLS WITH STAIRS, WOOD SHEAR PANELS

EXCAVATION FOR STRUCTURAL TIERS

- 1. EXCAVATIONS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT COMPILED BY VOLKHAAR CONSULTING SERVICES, LLC (VCS) DATED NOVEMBER 9, 2022, PROJECT NUMBER 22-064.
2. THE CONTRACTOR SHALL PROVIDE ALL WORK NECESSARY TO PROTECT EXISTING STRUCTURES AND UTILITIES, ANY DAMAGE TO EXISTING STRUCTURES OR UTILITIES, BEYOND THE REQUIRED DEPTH/LENGTH SHALL BE REPAIRED BY THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING & SUPPORTS NECESSARY FOR EXCAVATION AND CONSTRUCTION.
4. ALL EXCAVATIONS SHALL COMPLY WITH APPLICABLE OSHA REGULATIONS.
5. CONCRETE FOR FOOTINGS SHALL BE PLACED WITHIN 2 DAYS OF EXCAVATION AND SHALL NOT BE EXPOSED TO INFLUENT WEATHER. SOILS LOOSENED BY WATER INFLUENT OR EXPOSURE SHALL BE REMOVED BEFORE PLACING CONCRETE.
6. THE GEOTECHNICAL ENGINEER AND/OR SPECIAL INSPECTOR SHALL OBSERVE CLEANED FOOTINGS PRIOR TO CONCRETE PLACEMENT TO CONFIRM THE BRACING IS CONSISTENT WITH THE RECOMMENDATIONS PROVIDED IN THE VCS GEOTECHNICAL REPORT.

FOUNDATIONS

- 1. FOUNDATION DESIGN IS BASED ON A SUBSURFACE INVESTIGATION PERFORMED BY VOLKHAAR CONSULTING SERVICES, LLC (VCS) AND THE SUBSEQUENT RECOMMENDATIONS PRESENTED IN THE VCS GEOTECHNICAL REPORT DATED NOVEMBER 9, 2022, PROJECT NUMBER 22-064.
2. CONTRACTOR SHALL READ GEOTECHNICAL REPORT AND ANY ADDENDUMS PRIOR TO COMMENCEMENT OF WORK AND SHALL FOLLOW RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER FOR PREPARATION OF THE BERMADE AND EXCAVATIONS.
3. WHERE APPLICABLE, ALL EXCAVATIONS, COMPACTED FILL, AND BERMADES SHALL BE OBSERVED AND TESTED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF SOUTH CAROLINA TO VERIFY SPECIFIC GEOTECHNICAL PERFORMANCE REQUIREMENTS. SUCH TESTING SHALL BE COMPLETED BY THE SPECIAL INSPECTOR.
4. SOIL BEARING CAPACITY OF 2,000 PSF SHALL BE VERIFIED PRIOR TO INSTALLATION OF ANY FOUNDATIONS OR SLABS ON GRADE.
5. WHERE APPLICABLE, COMPACT SOIL MATERIALS TO NOT LESS THAN 95% MAXIMUM DRY DENSITY ACCORDING TO ASTM D 1557 (PROVED PRACTICE).
6. DO NOT PLACE BACKFILL OR FILL SOIL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST OR ICE.

Table with 5 columns: BAR #, BAR SIZE, SPLICE/LAP LENGTH, HOOK DEVELOPMENT, HOOK LENGTH. Rows include 3#5, 4#5, 6#5, 8#5, 10#5 bars.

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES:
2018 INTERNATIONAL BUILDING CODE - W/ SC MOD'S
2018 INTERNATIONAL RESIDENTIAL CODE - W/ SC MOD'S
2018 INTERNATIONAL FIRE CODE - W/ SC MOD'S
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE - W/ SC MOD'S
2008 SOUTH CAROLINA ENERGY CONSERVATION CODE
2014 NATIONAL ELECTRICAL CODE - NFPA 70
- ALL APPLICABLE STATE AND LOCAL CODES

Limehouse Amenity Center
Limehouse Amenity Center
Lennar Homes
1941 Savage Rd, Suite 100-6
Charleston, SC 29407

BSB DESIGN
9103 E. Dal Centro Drive, Suite 100
North Charleston, SC 29405
480.603.2100
LIMEHOUSE AMENITY
A.9



REVISION DATE: 03-04-2023





**STAFF REPORT
CDRB Meeting
September 17, 2020 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: September 9, 2020

GENERAL INFORMATION

Applicant: Shook Associates – David Shook
Property Owner: Sticky Summerville LLC.
Requested Action: The applicant is requesting Conceptual Review of proposed façade improvements and minor site changes to the former Sticky Fingers restaurant
Requested Approval: Conceptual Review
Existing Zoning: G-B General Business
Adjacent Zoning: **North:** G-B General Business
South: G-B General Business
East: Out Berkeley County
West: G-B General Business
Location: 1200 N. Main Street
Existing Land Use: Vacant Restaurant building
Prior Approvals: First Meeting
Ordinance Reference:

Sec. 13.3.5. Design Review Board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

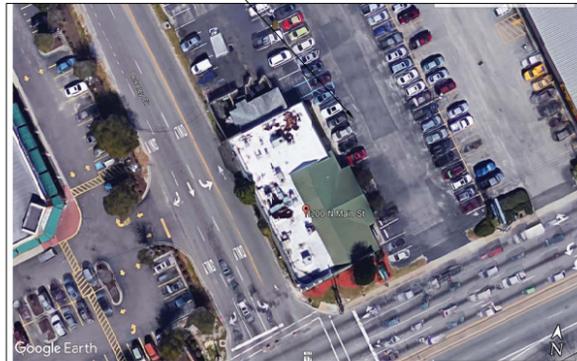
Based upon staff review the following comments must be addressed to meet requirements. Minor site changes are required to accommodate the division of the building into a multi-tenant space. Need additional ADA parking spaces for the front building and bike parking. Based on improvements, landscaping will need to be brought closer into alignment with the current ordinance requirements. Staff will work with the applicant to determine the best course of action for additional landscaping. Consider relocating the two parking spaces closest to 17-A next to the building due to safety concerns with the parking that close to the entry/exit. Staff does not feel that the corner location is being emphasized enough in this renovation (Section 4.2.2 D;3). The current building is a mixture of lap siding and synthetic stucco, due to the proposed changes to the primary façade DRB review is required. The dumpster enclosure will need to meet full screening requirements and be constructed of materials to match the building.

1200 N. MAIN STREET RENOVATIONS SUMMERVILLE, SC

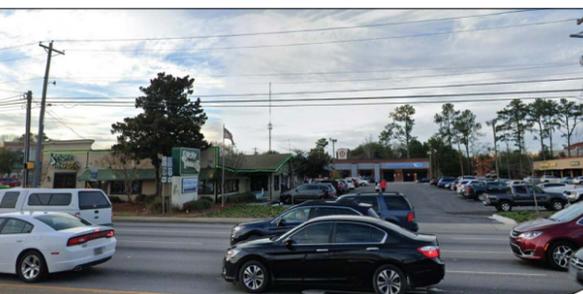
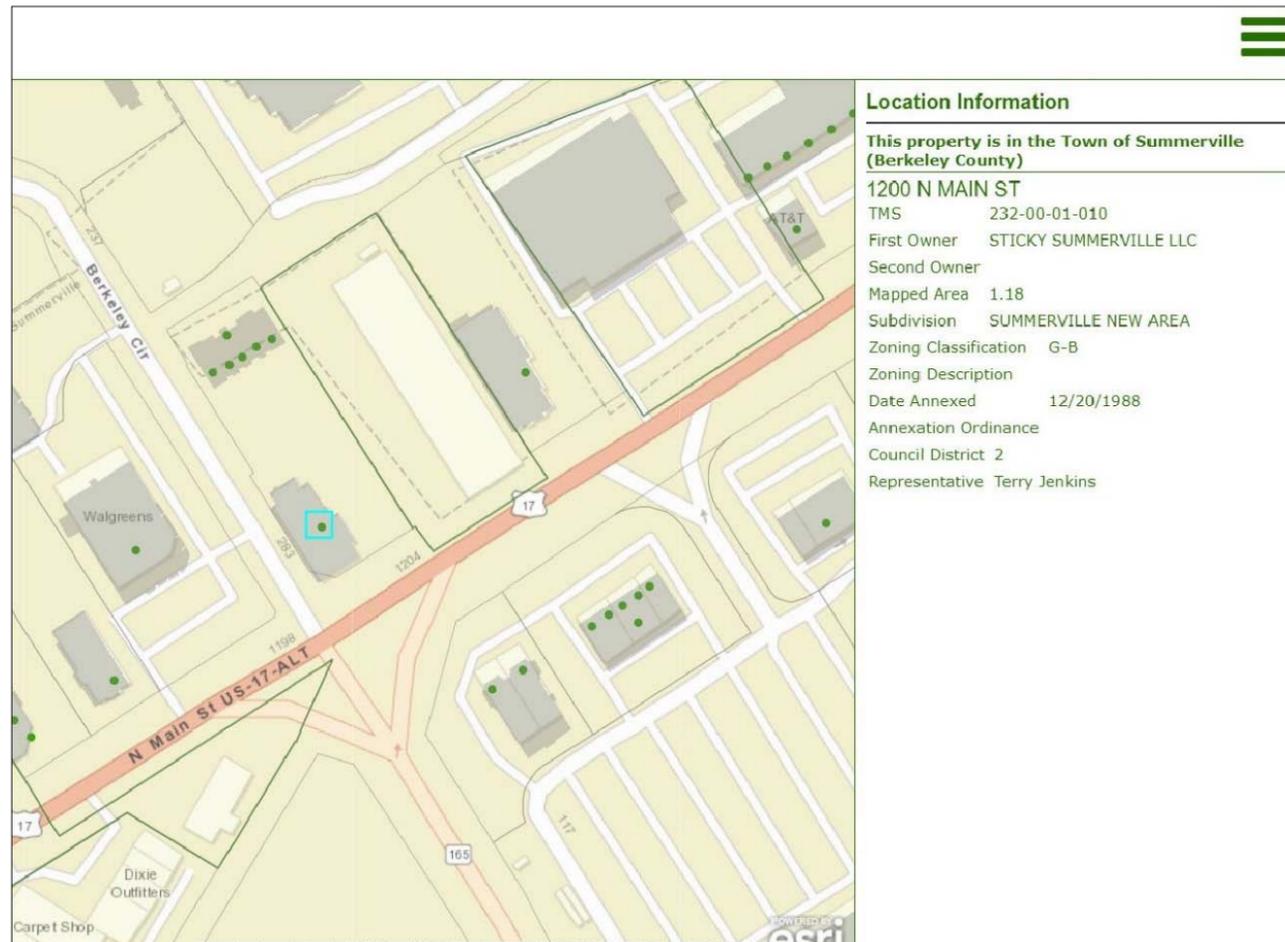
SHOOK
ASSOCIATES,
ARCHITECTS

OVERHEAD PHOTO

SITE



ZONING MAP



SCOPE OF WORK

1. SELECTIVE INTERIOR AND EXTERIOR DEMOLITION
2. RENOVATION OF THE BUILDING FACADE FACING THE PARKING LOT.
3. CONSTRUCTION OF A NEW DUMPSTER PAD AND ENCLOSURE.

PROJECT CONTACTS

OWNER REPRESENTATIVE : CHAD WALLDORF
 ARCHITECT: SHOOK ASSOCIATES
 P.O. BOX 20489
 CHARLESTON, SC 29413
 PHONE: 843-216-1727
 E-MAIL: SHOOKASSOC@COMCAST.NET
 CONTACT PERSON: DAVID SHOOK

ZONING INFORMATION

ZONING JURISDICTION: THE TOWN OF SUMMERVILLE
 PARCEL ZONING: G-B
 BUILDING SETBACKS: -
 TAX MAP SERIES NUMBER(S): 232-00-01-010

PARKING

BUILDING AREAS
 RETAIL USE BACK BUILDING = 5,5000 SF
 RETAIL USE FRONT BUILDING = 4,106 SF
 TOTAL RETAIL = 9,606

RESTAURANT USE FRONT BUILDING = 2,314 SF
 CURRENT ON SITE PARKING = 61 REGULAR SPACES & 4 ADA

DRAWING INDEX

ARCHITECTURE
 INTERIOR ARCHITECTURE
 LAND PLANNING

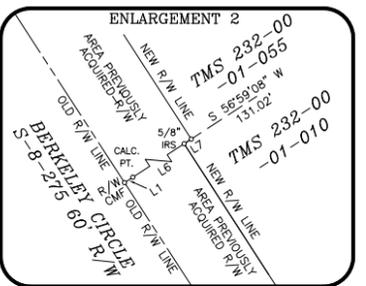
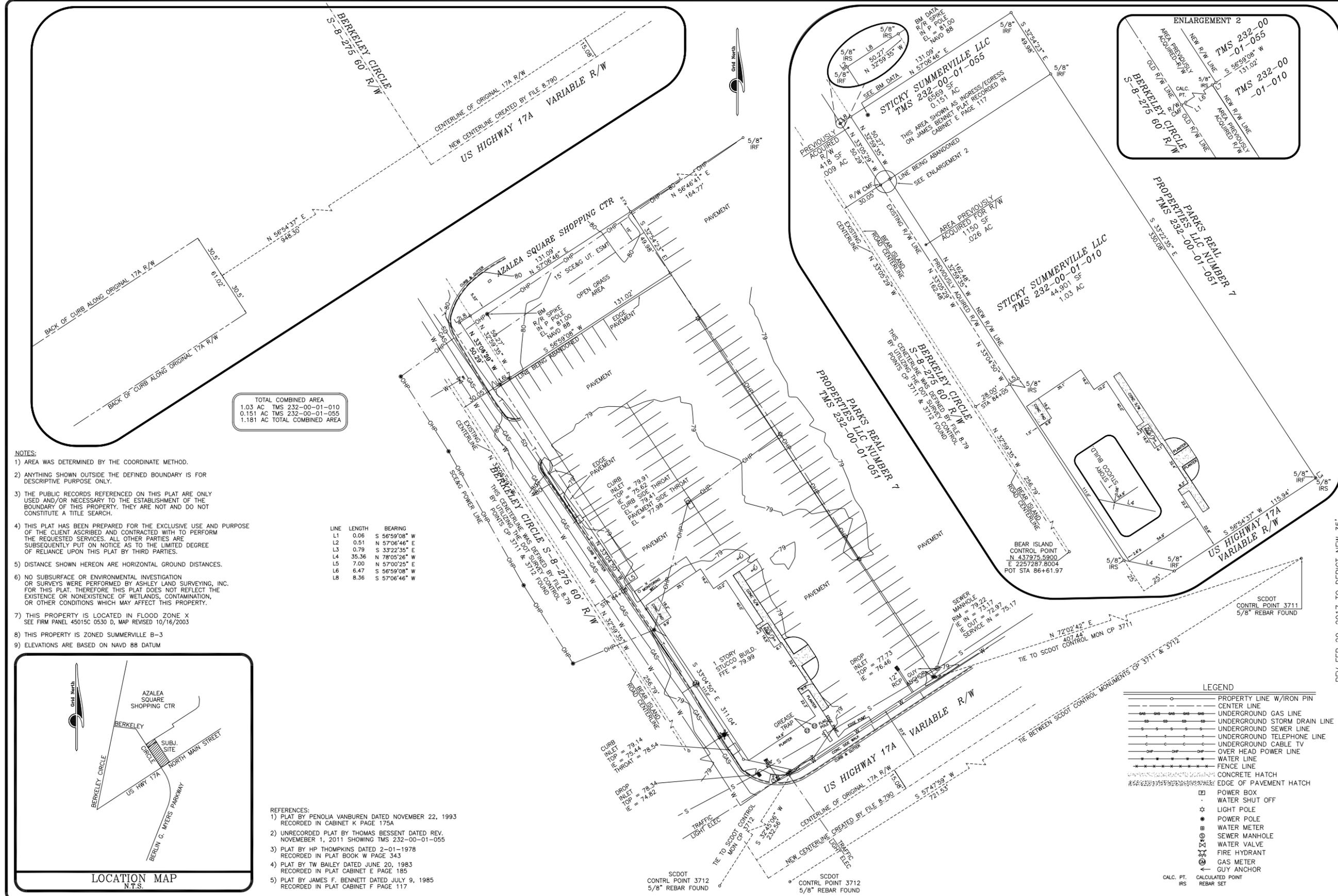
P.O. BOX 20489
 CHARLESTON, S.C. 29413
 843/216-1727, FAX 843/216-2019

1200 N. MAIN STREET
 RENOVATION
 SUMMERVILLE, SC

DRB
 SUBMITTAL

REVISION	NO.

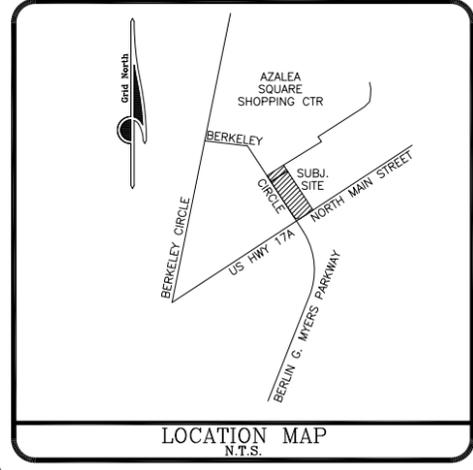
JOB NO.: 40952
 DATE: 08-28-2020
 REF: 40952



TOTAL COMBINED AREA
 1.03 AC TMS 232-00-01-010
 0.151 AC TMS 232-00-01-055
 1.181 AC TOTAL COMBINED AREA

- NOTES:
- 1) AREA WAS DETERMINED BY THE COORDINATE METHOD.
 - 2) ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSE ONLY.
 - 3) THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
 - 4) THIS PLAT HAS BEEN PREPARED FOR THE EXCLUSIVE USE AND PURPOSE OF THE CLIENT ASCRIBED AND CONTRACTED WITH TO PERFORM THE REQUESTED SERVICES. ALL OTHER PARTIES ARE SUBSEQUENTLY PUT ON NOTICE AS TO THE LIMITED DEGREE OF RELIANCE UPON THIS PLAT BY THIRD PARTIES.
 - 5) DISTANCE SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
 - 6) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED BY ASHLEY LAND SURVEYING, INC. FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
 - 7) THIS PROPERTY IS LOCATED IN FLOOD ZONE X SEE FIRM PANEL 45015C 0530 D, MAP REVISED 10/16/2003
 - 8) THIS PROPERTY IS ZONED SUMMERVILLE B-3
 - 9) ELEVATIONS ARE BASED ON NAVD 88 DATUM

LINE	LENGTH	BEARING
L1	0.06	S 56°59'08" W
L2	0.51	N 57°06'46" E
L3	0.79	S 33°22'35" E
L4	35.36	N 78°05'26" W
L5	7.00	N 57°00'25" E
L6	6.47	S 56°59'08" W
L8	8.36	S 57°06'46" W

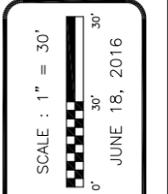
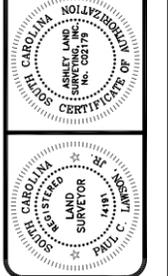


- REFERENCES:
- 1) PLAT BY PENOLIA VANBUREN DATED NOVEMBER 22, 1993 RECORDED IN CABINET K PAGE 175A
 - 2) UNRECORDED PLAT BY THOMAS BESSANT DATED REV. NOVEMBER 1, 2011 SHOWING TMS 232-00-01-055
 - 3) PLAT BY HP THOMPSON DATED 2-01-1978 RECORDED IN PLAT BOOK W PAGE 343
 - 4) PLAT BY TW BAILEY DATED JUNE 20, 1983 RECORDED IN PLAT CABINET E PAGE 185
 - 5) PLAT BY JAMES F. BENNETT DATED JULY 9, 1985 RECORDED IN PLAT CABINET F PAGE 117

- LEGEND
- PROPERTY LINE W/IRON PIN
 - CENTER LINE
 - UNDERGROUND GAS LINE
 - UNDERGROUND STORM DRAIN LINE
 - UNDERGROUND SEWER LINE
 - UNDERGROUND TELEPHONE LINE
 - UNDERGROUND CABLE TV
 - OVER HEAD POWER LINE
 - WATER LINE
 - FENCE LINE
 - CONCRETE HATCH
 - EDGE OF PAVEMENT HATCH
 - POWER BOX
 - WATER SHUT OFF
 - LIGHT POLE
 - POWER POLE
 - WATER METER
 - SEWER MANHOLE
 - WATER VALVE
 - FIRE HYDRANT
 - GAS METER
 - GUY ANCHOR
 - CALC. PT. IRS
 - REBAR SET

ASHLEY
 LAND SURVEYING, INC.
 306 SANGAREE PARKWAY SUMMERVILLE, SC 29483
 TELEPHONE: (843) 871-4416 FAX: 871-9538
 EMAIL: PLAWSON@ASHLEY.COM WEB: WWW.ASHLEY.COM

PROPERTY LINE ABANDONMENT SURVEY BETWEEN TMS 232-00-01-010 & 232-00-01-055 OWNED BY 055 STICKY SUMMERVILLE LLC
 LOCATED IN THE TOWN OF SUMMERVILLE BERKELEY COUNTY, SOUTH CAROLINA

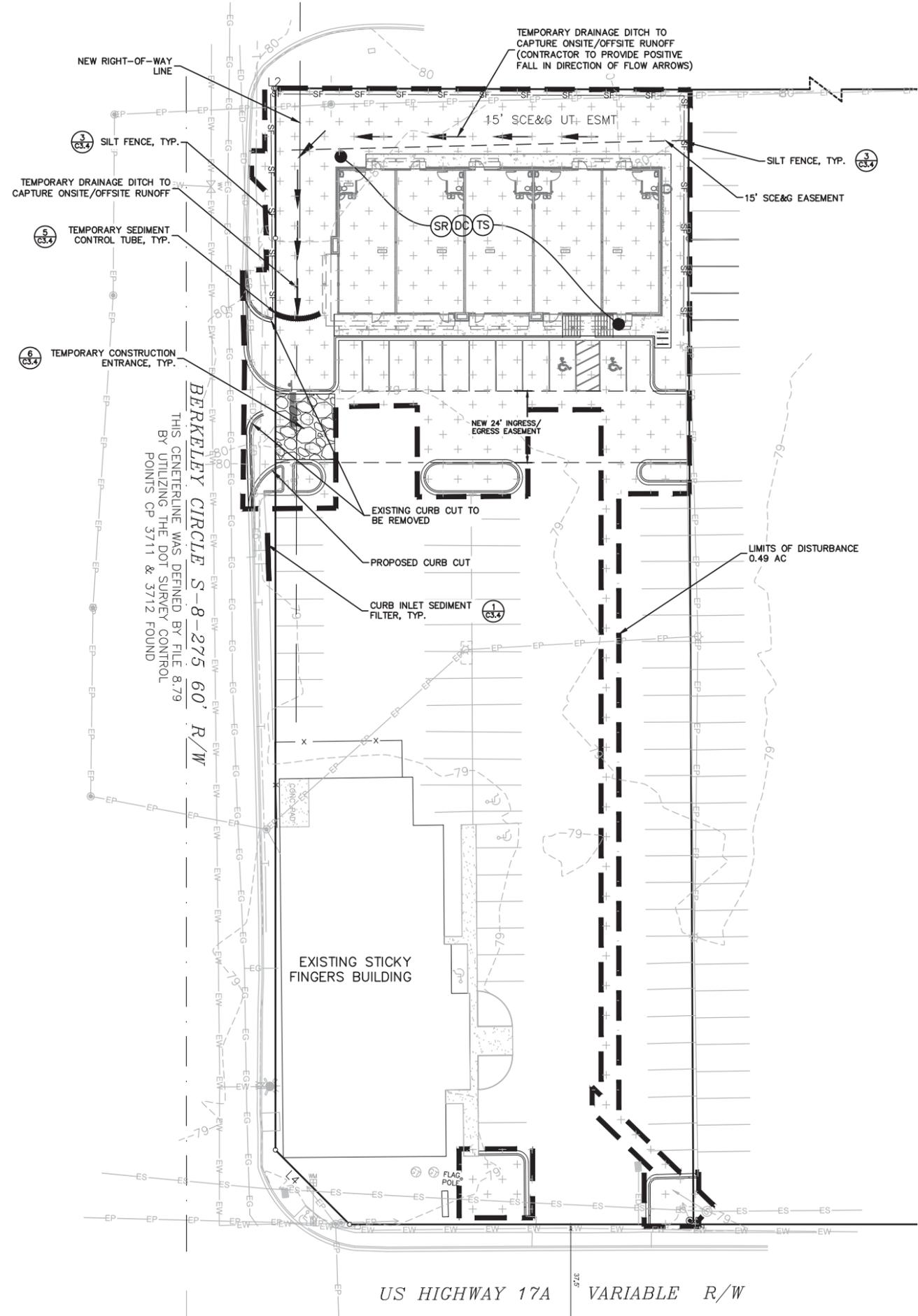


PAUL C. LAWSON, JR., S.C. REG. NO. 14191
 I HEREBY STATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL SURVEYING PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

REV. FEB 20, 2017 TO DEPICT NEW 35' R/W LINE FROM BAKER DRAWINGS

JOB NUMBER 2016-0380-001 BCJR

THIS DRAWING SHALL NOT BE REPRODUCED IN ANY MANNER OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION.
 501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29464 | 508 RHETT STREET, SUITE 101 | GREENVILLE, SC 29601
 COPYRIGHT © SEAMON, WHITESIDE & ASSOCIATES, INC.

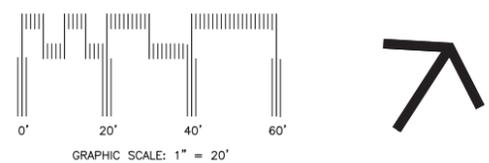


EXISTING UTILITY NOTE:

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

SWPPP LEGEND

SWPP PLAN LEGEND	
Turf Reinforcement Mat (See Turf And Grasses Species)	(TR)
Sodding (See Turf and Grasses Specs)	(S)
Surface Roughening (Surface Tracking/Stair Stepping-See Detail)	(SR)
Temporary Seeding (See Schedule in EC Notes)	(TS)
Permanent Seeding (See Turf and Grasses Species)	(PS)
Mulching (See Turf and Grasses Species)	(M)
Typical Lot Erosion Control Plan (See Detail)	(LE)
Flexible Growth Medium (See Turf and Grasses Species)	(FG)
Erosion Control Blanket (See Turf and Grasses Species)	(EC)
Dust Control	(DC)
Bonded Fiber Matrix (See Turf and Grasses Species)	(BF)
Concrete Washout Basin (See Detail)	(CW)
Block & Stone Inlet Protection (See Detail)	(BS)
Temp. Sediment Control Tube (See Tube)	(ST)
Temp. Rock Ditch Checks (See Detail)	(RD)
Turf Reinforcement Mat Outlet Protection (See Detail and Turf and Grasses Specs)	(TRM-OP)
Filter Fabric Inlet Protection (See Detail)	(FF-IP)
Temp. Curb Inlet Weep Filter (See Detail)	(TCIF)
Curb Inlet Sediment Filter (See Detail)	(CISF)
Both Curb Inlet Filters (See Above)	(BCIF)
Construction Entrance (See Detail)	(CE)
Silt Fence	(SF)
Reinforced Silt Fence	(RSF)
Silt Fence & Tree Protection (See Detail)	(SF-TP)
Reinforced Silt Fence & Tree Protection (See Detail)	(RSF-TP)
Clearing & Grubbing	(CG)



SEAMON WHITESIDE
 MOUNT PLEASANT, SC 843.884.1667
 GREENVILLE, SC 864.298.0534
 WWW.SEAMONWHITESIDE.COM

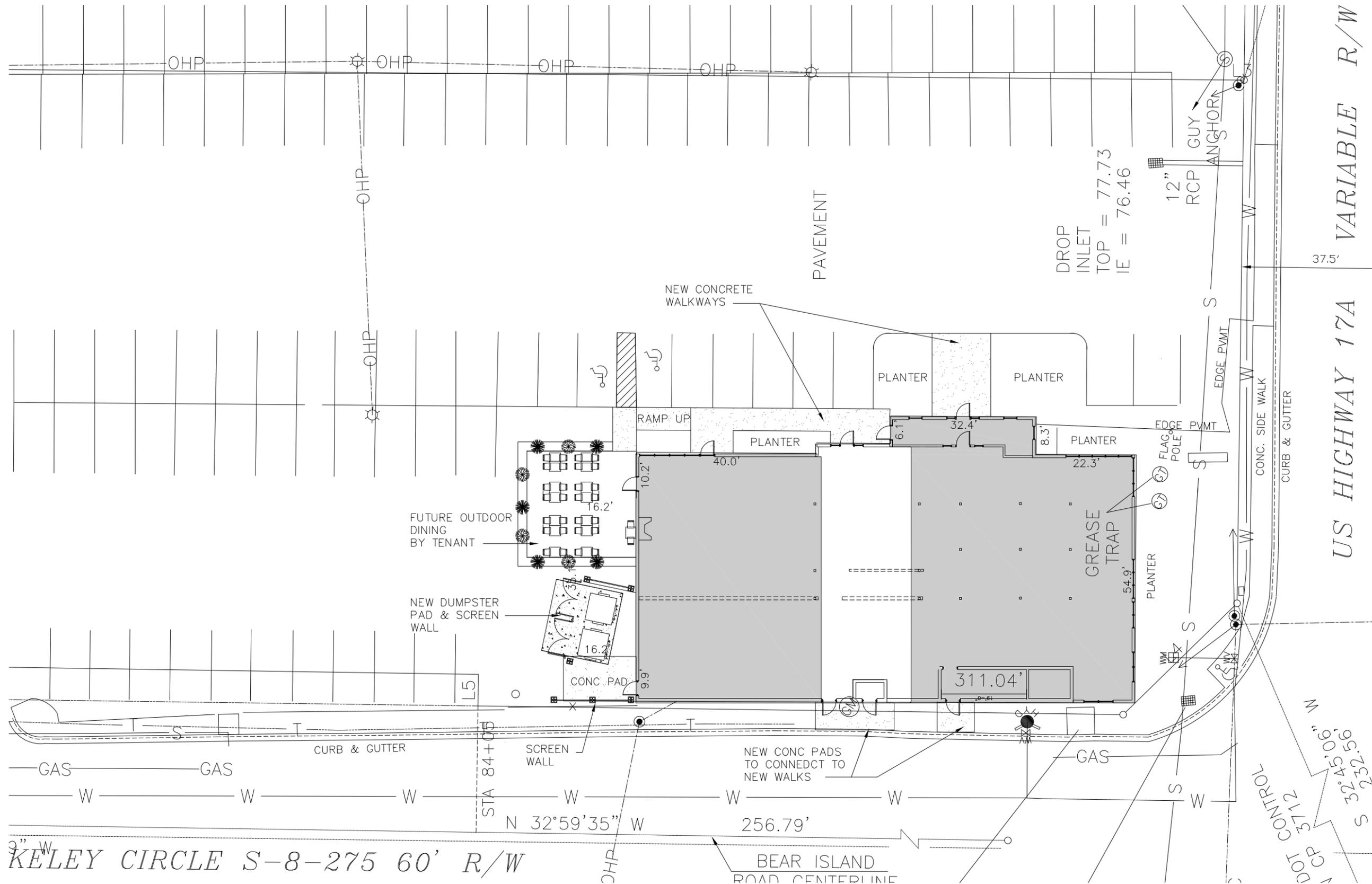
SOUTH CAROLINA PROFESSIONAL ENGINEER
 SEAMON, WHITESIDE & ASSOCIATES, INC.
 No. 000472
 SOUTH CAROLINA PROFESSIONAL LAND SURVEYOR
 William R. O'Neal
 No. 28241
 4/25/17
 WILLIAM R. O'NEAL

STICKY FINGERS RETAIL ADDITION
 1200 NORTH MAIN STREET
 SUMMERVILLE, SOUTH CAROLINA

SW+ PROJECT: 7092
 DATE: 05/04/16
 DRAWN BY: PWP
 CHECKED BY: WRO

REVISION HISTORY	
1.	1/17/17
2.	3/30/17
3.	4/28/17

SWPP PLAN



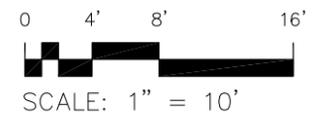
3" W KELEY CIRCLE S-8-275 60' R/W

BEAR ISLAND ROAD CENTERLINE

VARIABLE R/W

US HIGHWAY 17A

NEW CONSTRUCTION PLAN



SHOOK
ASSOCIATES,
ARCHITECTS

ARCHITECTURE
INTERIOR ARCHITECTURE
LAND PLANNING

P.O. BOX 20489
CHARLESTON, S.C. 29413
843/216-1727, FAX 843/216-2019

1200 N. MAIN STREET
RENOVATION
SUMMERVILLE, SC

DRB
SUBMITTAL

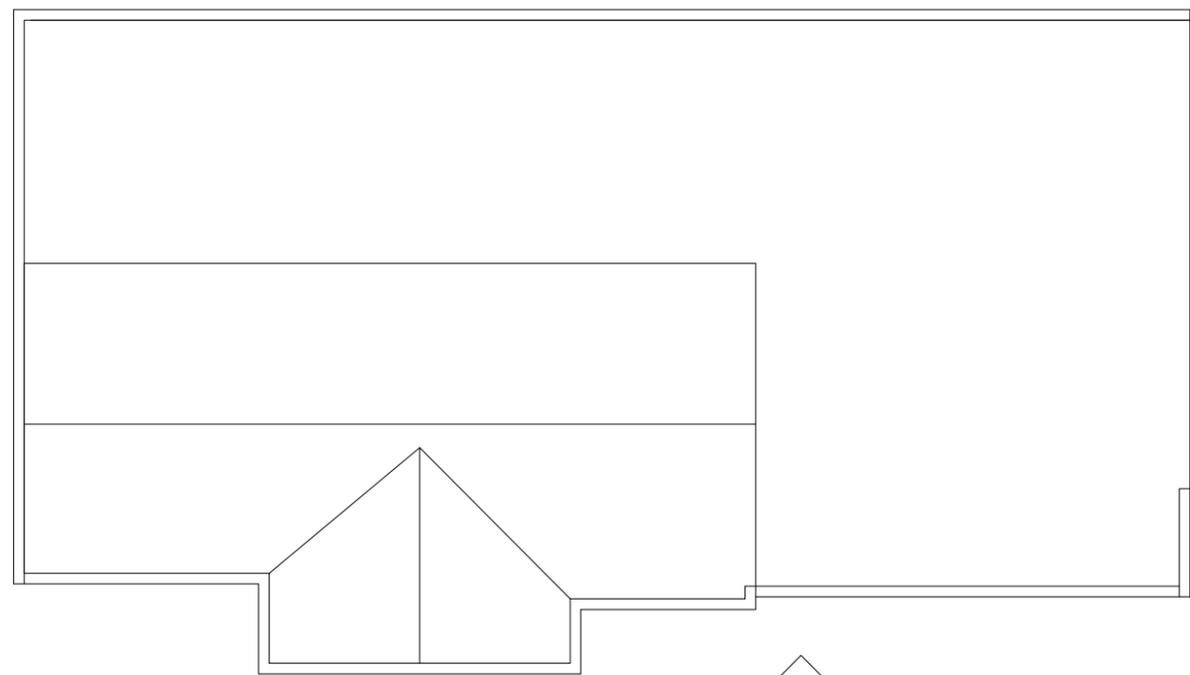
REVISION	NO.

DEMO PLAN

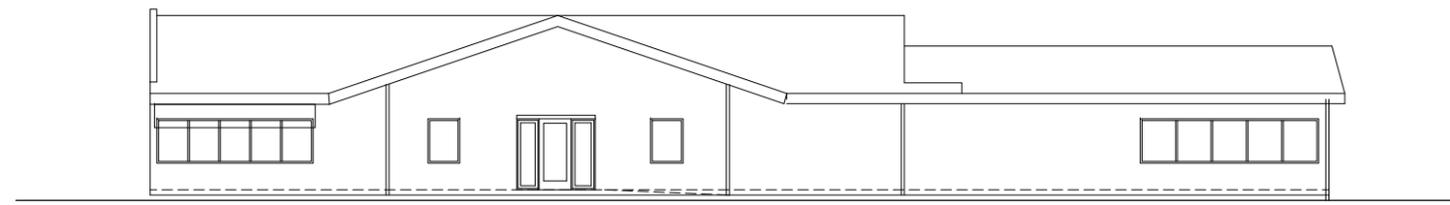
C2.2

JOB NO.: 40952
DATE: 08-28-2020
REF: 40952

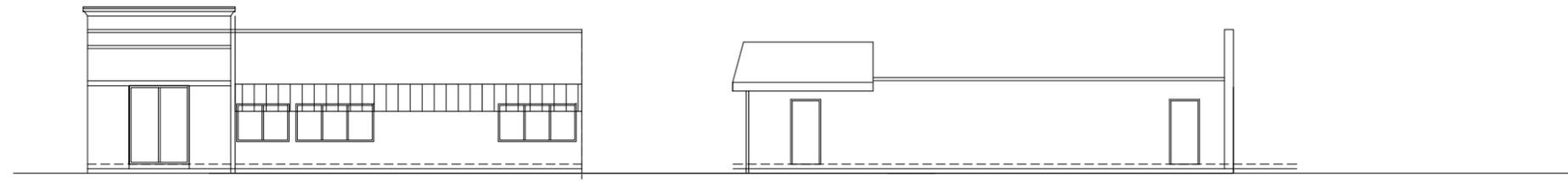
REVISION	NO.



EXISTING ROOF PLAN
0 4' 8' 16'
SCALE: 1/8" = 1'-0"



1 EXISTING PARKING LOT ELEVATION



2 EXISTING MAIN STREET ELEVATION

3 EXISTING REAR ELEVATION



4 EXISTING BERKELEY CIRCLE ELEVATION

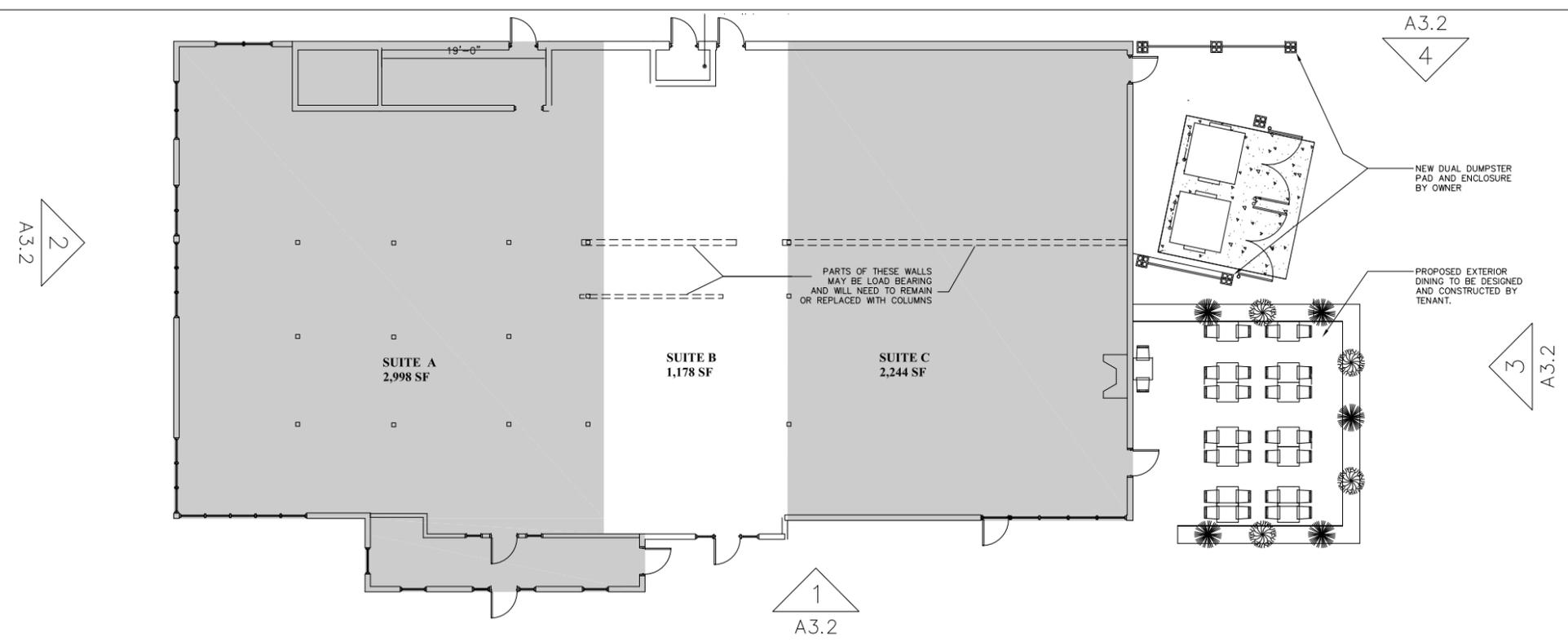
EXISTING ELEVATIONS
0 4' 8' 16'
SCALE: 1/8" = 1'-0"

A3.1
2

A3.1
4

A3.2
3

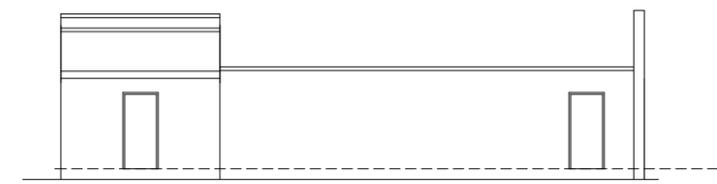
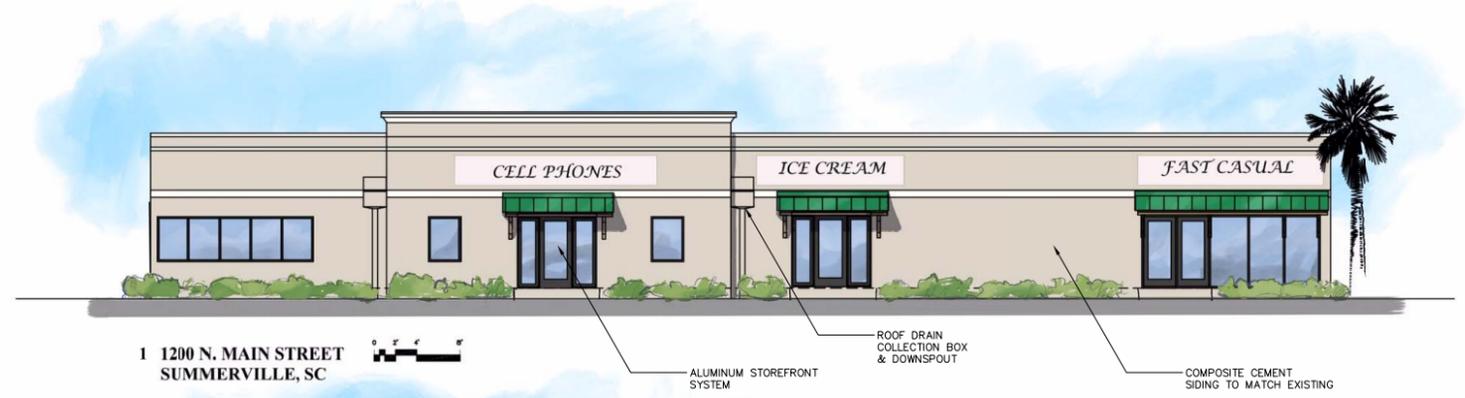
A3.1
1



PROPOSED FLOOR PLAN

0 4' 8' 16'

SCALE: 1/8" = 1'-0"



PROPOSED ELEVATIONS

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

STAFF REPORT
CDRB Meeting
September 17, 2020 at 4:00 p.m.

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: September 9, 2020

GENERAL INFORMATION

Applicant: Stantec – Josh Lilly
Property Owner: South Pointe Ventures
Requested Action: The applicant is requesting Conceptual Review of a proposed 228 unit Multi-Family development at South Pointe Boulevard
Requested Approval: Conceptual Review
Existing Zoning: Out – Dorchester County (Requested MF-R upon Annexation)
Adjacent Zoning: **North:** PUD Planned Development District
South: G-B General Business and N-R Neighborhood Residential
East: Out Charleston County
West: N-R Neighborhood Residential
Location: 78 and South Pointe Boulevard
Existing Land Use: Undeveloped
Prior Approvals: First Meeting
Ordinance Reference:

Sec. 13.3.5. Design Review Board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based upon staff review the following comments must be addressed to meet requirements. The proposed 228 units is a mix of 1, 2, and 3 bedroom units. Coordination with Dan Ryan on the turn-lane right-of-way that is needed along the front of the property is required. Please show the required 25' wetland buffer, and the required calculations for the parks and open space on the site plan. A full grand tree (16" DBH or greater) survey will be required along with a ¼ acre representative sample of all trees 8" DBH or greater. Tree Protection Board approval will be needed. Parking does not exceed 200% of the minimum requirement. A Landscape Plan and Photo Metric plan are required. The materials for the building include a mix of fiber cement siding, both lap and board and baton. The main roofing material is asphalt shingles, with various roof elements over entrances utilizing standing seam metal. This mixture of materials meets the UDO requirements for façade materials. Color scheme and material boards will be required. Design and details of the proposed amenity center will be required.

REFERENCES:

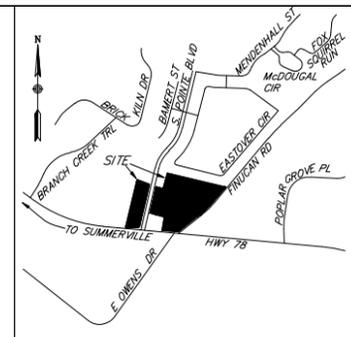
1. REFERENCE PLAT SHOWING TRACT OF LAND, LOCATED IN SOUTH POINTE, DORCHESTER COUNTY, SOUTH CAROLINA, DATED JUNE 21, 1993, BY JOHN DAVID BASS, S.C. Reg. No. 15388, AND RECORDED IN PLAT BOOK 1, PAGE 227, DORCHESTER COUNTY ROD OFFICE.
2. REFERENCE PLAT SHOWING 3 TRACTS OF LAND, LOCATED AT THE ENTRANCE TO SOUTH POINTE SUBDIVISION, DORCHESTER COUNTY, SOUTH CAROLINA, DATED APRIL 20, 1993, BY JOHN DAVID BASS, S.C. Reg. No. 15388, AND RECORDED IN PLAT BOOK 1, PAGE 228, DORCHESTER COUNTY ROD OFFICE.
3. REFERENCE PLAT SHOWING A TRACT OF LAND, LOCATED AT SOUTH POINTE SUBDIVISION, DORCHESTER COUNTY, SOUTH CAROLINA, DATED APRIL 20, 1993, BY JOHN DAVID BASS, S.C. Reg. No. 15388, AND RECORDED IN PLAT BOOK 1, PAGE 227, DORCHESTER COUNTY ROD OFFICE.
4. REFERENCE PLAT SHOWING PHASE II OF DOVEWOOD SUBDIVISION, SOUTH POINTE DEVELOPMENT, LOCATED IN THE TOWN OF SUMMERVILLE, DORCHESTER COUNTY, SOUTH CAROLINA, DATED JUNE 14, 1985, BY HAROLD J. WILSON, S.C. Reg. No. 4590, AND RECORDED IN PLAT BOOK E, PAGE 211, DORCHESTER COUNTY ROD OFFICE.
5. REFERENCE PLAT SHOWING PHASE I OF DOVEWOOD SUBDIVISION, SOUTH POINTE DEVELOPMENT, LOCATED IN THE TOWN OF SUMMERVILLE, DORCHESTER COUNTY, SOUTH CAROLINA, REVISED APRIL 18, 1985, BY HAROLD J. WILSON, S.C. Reg. No. 4590, AND RECORDED IN PLAT BOOK E, PAGE 164, DORCHESTER COUNTY ROD OFFICE.
6. REFERENCE PLAT SHOWING THE SUBDIVISION OF A TRACT, LOCATED NEAR SUMMERVILLE, IN THE NORTH AREA OF CHARLESTON COUNTY, SOUTH CAROLINA, DATED DECEMBER 1, 2000, BY RICHARD D. LACY, S.C. Reg. No. 18120, AND RECORDED IN PLAT BOOK EE, PAGE 560, CHARLESTON COUNTY ROD OFFICE.
7. DORCHESTER COUNTY TMS 138-00-00-015.

NOTES:

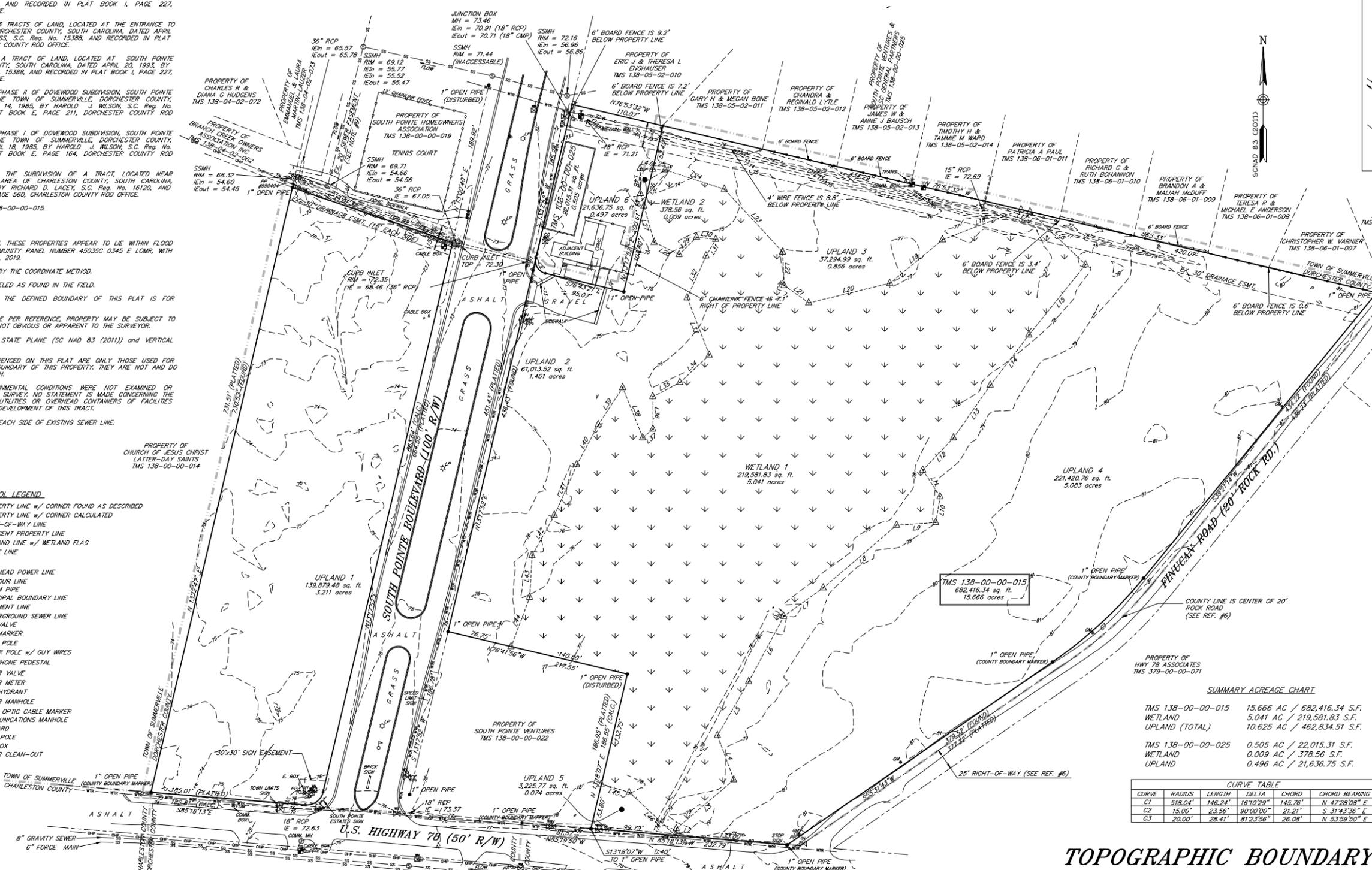
1. BY GRAPHIC PLOTTING ONLY, THESE PROPERTIES APPEAR TO LIE WITHIN FLOOD ZONE 'X', AS PER F.I.R.M. COMMUNITY PANEL 4503SC 0345 E LOMR, WITH AN EFFECTIVE DATE OF JULY 25, 2019.
2. THE AREA WAS DETERMINED BY THE COORDINATE METHOD.
3. ALL PROPERTY CORNERS LABELED AS FOUND IN THE FIELD.
4. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.
5. ANY EASEMENTS SHOWN ARE PER REFERENCE, PROPERTY MAY BE SUBJECT TO EASEMENTS AND RESTRICTIONS NOT OBVIOUS OR APPARENT TO THE SURVEYOR.
6. HORIZONTAL DATUM IS SC STATE PLANE (SC NAD 83 (2011)) and VERTICAL DATUM IS NAVD 1988.
7. THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
8. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND UTILITIES OR OVERHEAD CONTAINERS OF FACILITIES THAT MAY EFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
9. 20' SEWER EASEMENT IS 10' EACH SIDE OF EXISTING SEWER LINE.

LINE/TYPE AND SYMBOL LEGEND

- PROPERTY LINE w/ CORNER FOUND AS DESCRIBED
- PROPERTY LINE w/ CORNER CALCULATED
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- WETLAND LINE w/ WETLAND FLAG
- FENCE LINE
- CURB
- OVERHEAD POWER LINE
- CONTOUR LINE
- STORM PIPE
- MUNICIPAL BOUNDARY LINE
- EASEMENT LINE
- UNDERGROUND SEWER LINE
- GAS VALVE
- GAS MARKER
- LIGHT POLE
- POWER POLE w/ GUY WIRES
- TELEPHONE PEDESTAL
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- SEWER MANHOLE
- FIBER OPTIC CABLE MARKER
- COMMUNICATIONS MANHOLE
- BOLLARD
- FLAG POLE
- MAILBOX
- SEWER CLEAN-OUT



LOCATION MAP
N.T.S.



LINE	LENGTH	BEARING
L1	15.00	N131°52'E
L2	8.14	N28°50'41"E
L3	88.96	N49°45'25"E
L4	55.61	N20°18'17"W
L5	73.44	N30°13'26"E
L6	87.26	N28°17'15"E
L7	57.33	N54°25'13"E
L8	113.68	N49°40'17"E
L9	46.22	N88°12'15"E
L10	30.84	N09°37'56"E
L11	37.40	N33°09'57"W
L12	52.43	N43°48'08"E
L13	75.57	N35°10'43"E
L14	74.78	N37°32'05"E
L15	106.22	N39°02'15"E
L16	90.37	N46°29'08"W
L17	10.96	N76°53'32"W
L18	99.21	S69°01'04"W
L19	80.63	S50°36'19"W
L20	98.37	S76°29'37"W
L21	35.90	N54°59'25"W
L22	39.37	N45°26'41"E
L23	100.93	N42°33'54"W
L24	73.65	N72°03'57"W
L25	14.83	N87°03'53"W
L26	44.32	S13°17'52"W
L27	44.55	S15°44'41"E
L28	32.72	S63°58'26"E
L29	29.07	N45°26'41"E
L30	22.88	S83°42'19"W
L31	22.86	S30°37'20"W
L32	54.06	S24°23'54"W
L33	72.19	S21°14'11"E
L34	47.60	S46°55'57"W
L35	38.01	S62°41'46"W
L36	38.22	S20°16'01"E
L37	15.78	S50°13'00"W
L38	63.46	N21°54'39"W
L39	52.15	S33°23'00"W
L40	53.29	S28°23'25"W
L41	65.14	S23°57'58"W
L42	54.28	S29°04'36"W
L43	49.02	S33°19'13"W
L44	62.13	S20°36'27"W
L45	34.44	S73°26'42"E
L46	74.13	S46°49'58"E
L47	14.71	N87°03'53"W
L48	29.20	S00°42'23"E
L49	15.26	S19°44'41"E

SUMMARY ACREAGE CHART

TMS 138-00-00-015	15.666 AC / 682,416.34 S.F.
WETLAND	5.041 AC / 219,581.83 S.F.
UPLAND (TOTAL)	10.625 AC / 462,834.51 S.F.
TMS 138-00-00-025	0.505 AC / 22,015.31 S.F.
WETLAND	0.009 AC / 378.56 S.F.
UPLAND	0.496 AC / 21,636.75 S.F.

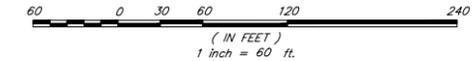
CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	CHORD BEARING
C1	518.04'	146.24'	161°29'	145.76'	N 47°28'08" E
C2	15.00'	23.56'	90°00'00"	21.21'	S 31°43'36" E
C3	20.00'	28.41'	81°23'56"	26.08'	N 53°19'50" E

Parker Land Surveying, LLC
5910 Griffin Street
Hampton, SC 29410
Phone: (843) 554-7177
Fax: (843) 554-7779

I HEREBY STATE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

ANDREW C. GILLETTE P.L.S. 5933-B



TOPOGRAPHIC BOUNDARY AND TREE SURVEY
SHOWING TMS 138-00-00-015 (15.666 ACRES) & TMS 138-00-00-025 (0.505 ACRES), PROPERTIES OF SOUTH POINTE VENTURES, A SOUTH CAROLINA GENERAL PARTNERSHIP, LOCATED NEAR THE TOWN OF SUMMERVILLE, DORCHESTER COUNTY, SOUTH CAROLINA.

DATE: MARCH 30, 2020 SCALE: 1" = 60'

STAFF REPORT
CDRB Meeting
September 17, 2020 at 4:00 p.m.

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: September 9, 2020

GENERAL INFORMATION

Applicant: Commercial Site Solutions – Mike Lukus
Property Owner: FLBI LLC
Requested Action: The applicant is requesting Preliminary Approval of a proposed 3,010 sf restaurant with drive-thru (Freddy's Frozen custard and Steakburgers)
Requested Approval: Preliminary Approval
Existing Zoning: UC-MX Urban Corridor Mixed Use
Adjacent Zoning: **North:** UC-MX Urban Corridor Mixed Use
South: UC-MX Urban Corridor Mixed Use
East: Out Dorchester County
West: UC-MX Urban Corridor Mixed Use
Location: Ladson Road – Ladson Oakbrook Shopping Center outparcel
Existing Land Use: Undeveloped
Prior Approvals: First Meeting

Ordinance Reference:

Sec. 13.3.5. Design Review Board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

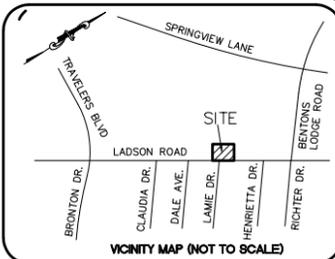
Based upon staff review the following comments must be addressed to meet requirements. A sidewalk connection to the existing sidewalk along Ladson Road. The required parking exceeds the maximum, they are providing the required pervious surface for the excess parking, but the pervious pavement has not been shown on the site plan. A dumpster detail is required, and should be constructed of materials to match the building. No trees are shown in the landscaped islands, this does not meet the requirements of Section 8.5.3. Cabbage Palmetto are not considered canopy trees, and cannot be utilized to meet the minimum planting requirements for canopy trees. A phot metric plan and signage plan have not been submitted.

LEGEND:

- IPF IRON PIN FOUND
- ◉ TBM TEMPORARY BENCHMARK
- R/W RIGHT-OF-WAY
- ⊕ PP POWER POLE
- ⊙ LIGHT POLE
- CBMH CATCH BASIN MAINHOLE
- ⊕ RCP REINFORCED CONCRETE PIPE
- ⊕ SSMH SANITARY SEWER MAINHOLE
- ⊕ GMH GREASE MAINHOLE
- ⊙ SIGN
- OE — OVERHEAD ELECTRIC LINE
- W — WATER LINE
- UT — UNDERGROUND TELEPHONE LINE
- WHITE LINE
- DASHED WHITE LINE
- 5' CONTOUR
- 1' CONTOUR
- ==== STORM DRAIN PIPE
- X - FENCE

TITLE EXCEPTIONS:

THIS PLAT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT NECESSARILY INDICATE ALL ENCUMBRANCES ON THE PROPERTY.



SURVEYOR'S NOTES:

- 1.) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
- 2.) SQUARE FOOTAGE AND DIMENSIONS OF STRUCTURE(S) ARE FOR INFORMATIONAL PURPOSES ONLY, NOT FOR SALE OR LEASE PURPOSES.
- 3.) ZONING PROVIDED BY THE APPROPRIATE GOVERNMENTAL AGENCY, TO BE USED FOR INFORMATIONAL PURPOSES ONLY.
- 4.) THE WORDS "CERTIFY", "CERTIFIES" OR "CERTIFICATION" AS USED HEREIN ARE UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR, BASED UPON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH, DO NOT CONSTITUTE A GUARANTEE NOR A WARRANTY, EXPRESSED OR IMPLIED.
- 5.) THE UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM PLANS PROVIDED BY THE UTILITY COMPANIES AND FIELD MARKED BY LOCATOR SERVICES AND VISUAL APPARATUS SUCH AS VALVES AND METERS. CONTRACTOR SHALL CALL LOCATOR SERVICE FOR VERIFICATION PRIOR TO ANY CONSTRUCTION OR EXCAVATION.

POSSIBLE PROJECTIONS:

NONE OBSERVED

LAND AREA:
42,117 SQ.FT.
0.967 ACRES

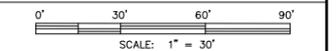
BASIS OF BEARINGS AND BENCHMARK:

BEARINGS AND ELEVATIONS BASED ON GPS "RTK" OBSERVATION OF USGS MONUMENT "DL RICHARDSON" & "18008"
NAD 83 - NAVD 88



FREELAND & ASSOCIATES, INC.
323 WEST STONE AVE.
GREENVILLE S.C. 29609
TEL: (864) 271-4924 FAX: (864) 233-0315
EMAIL: info@freeland-associates.com

DRAWN: CF PARTY CHIEF: CJ CHECKED: JCC
REF. PLAT BOOK: K-112
REF. DEED BOOK: 4269-253
TAX MAP: 161-00-00-069
DATE OF SURVEY: 8-14-2020
DATE DRAWN: 8-19-2020
DRAWING NO: 72569-2
DATE OF LAST REVISION:



ALTA/NSPS CERTIFICATE:

TO:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 6A, 6B, 7A, 7B1, 7C, 8, 9, 11, 13 & 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 4-6-2020.
DATE OF PLAT OR MAP: 4-7-2020.
THE PROPERTY SHOWN HEREON IS THE SAME AS SET FORTH IN (TITLE COMMITMENT # _____).
JAMES R. FREELAND, PLS
REGISTRATION/LICENSE NUMBER: 4781

FLOOD INFORMATION:

THIS PROPERTY IS LOCATED IN FLOOD ZONE "X"
PER NFIP FIRM COMMUNITY PANEL NO. 450068 0245 C EFFECTIVE DATE: APRIL 15, 1994.

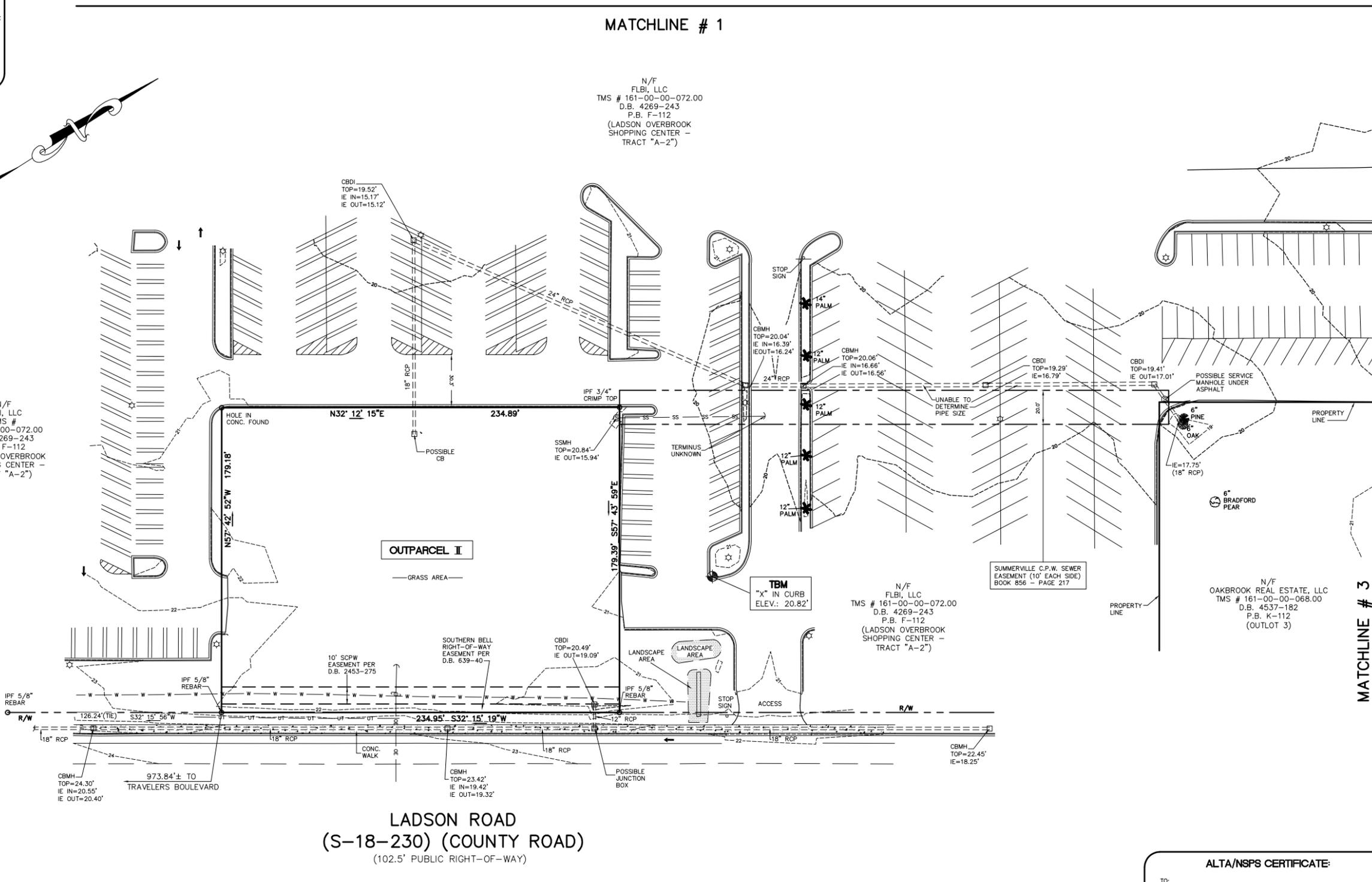
ZONING INFORMATION:

ZONED: UC-MX
SETBACK LINE:
FRONT:
SIDE:
BACK:
MAXIMUM BUILDING HEIGHT:

MATCHLINE # 1

N/F
FLBI, LLC
TMS # 161-00-00-072.00
D.B. 4269-243
P.B. F-112
(LADSON OVERBROOK SHOPPING CENTER - TRACT "A-2")

N/F
FLBI, LLC
TMS # 161-00-00-072.00
D.B. 4269-243
P.B. F-112
(LADSON OVERBROOK SHOPPING CENTER - TRACT "A-2")



LADSON ROAD (S-18-230) (COUNTY ROAD)
(102.5' PUBLIC RIGHT-OF-WAY)

MATCHLINE # 3



UTILITY NOTES

- ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE STATE OF SOUTH CAROLINA AND SUMMERVILLE PUBLIC UTILITIES.
- WATER LINES SHALL BE INSTALLED WITH A MINIMUM OF 36" OF COVER UNLESS OTHERWISE NOTED. ALL WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE SUMMERVILLE PUBLIC UTILITIES.
- VALVES SHALL BE RESILIENT SEAT GATE VALVES, DIRECT BURY WITH A VALVE BOX (AWWA C509).
- 6" WATER LINE ON-SITE SHALL BE C900 RATED PVC. ALL SERVICE LINES LESS THAN 3" IN DIAMETER SHALL BE HDPE.
- SEWER LINES (INCLUDING LATERALS) SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D-3034.
- SEWER CLEANOUTS SHALL BE IN ACCORDANCE WITH SUMMERVILLE CPW DETAILS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT UTILITY EXIT POINTS, EXIT PORCHES, ETC.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THE PLAN OR 12", WHICHEVER IS LESS, CONTACT THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND/OR FINAL CONNECTION OF SERVICES.
- A MINIMUM OF 10 FEET HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN WATER AND SEWER LINES. THE VERTICAL SEPARATION IS TO BE A MINIMUM OF 18".
- REFER TO THE PHOTOMETRIC AND ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL DESIGN AND LAYOUT.
- ALL SITEWORK SHALL MEET OR EXCEED SUMMERVILLE PUBLIC UTILITIES AND ALDI STORES INC. STANDARDS AND THE SITEWORK SPECIFICATIONS.
- CONTRACTOR TO PROVIDE ALL TRENCHING, BACKFILLING, & INSTALL ALL ELECTRICAL CONDUITS TO UTILITY COMPANY SPECIFICATIONS. LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY GENERAL CONTRACTOR & THE PROPER UTILITY COMPANY PROVIDING SERVICE.
- GENERAL CONTRACTOR SHALL PROVIDE 2' x 2' x 6" THICK CONCRETE APRON AT ALL CLEANOUTS OUTSIDE OF BUILDING.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- ELECTRICAL SERVICE TO PAD MOUNTED TRANSFORMER SHALL BE RUN UNDERGROUND, FROM ROAD RIGHT-OF-WAY TO BUILDING. ASSOCIATED MATERIALS AND COST BY GENERAL CONTRACTOR.
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINE SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- RESTRAINED JOINTS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.

UTILITY KEY

- 6" PVC SANITARY SEWER CONNECTION TO STUB OUT. INVERT SHOWN ON PLAN.
- 6" PVC SANITARY SEWER GREASE LINE EXIT POINT FROM BUILDING. INVERT SHOWN ON PLAN. REFER TO ARCHITECTURAL PLANS.
- GREASE TRAP (BY OTHERS).
- SANITARY SEWER CLEANOUT. INVERT SHOWN ON PLANS.
- CONNECT TO EXISTING WATER MAIN STUB.
- 1 1/2" DOMESTIC WATER ENTRY POINT TO BUILDING. REFER TO ARCHITECTURAL PLANS.
- 1" DOMESTIC METER (MATERIAL AND LABOR PROVIDED BY SUMMERVILLE CPW).
- DOMESTIC WATER BACKFLOW DEVICE PER SUMMERVILLE CPW.
- IRRIGATION WATER METER.
- IRRIGATION BACKFLOW DEVICE.
- ELECTRIC SERVICE ENTRY POINT TO BUILDING. REFER TO ARCHITECTURAL PLANS.
- GAS SERVICE ENTRY POINT TO BUILDING. REFER TO ARCHITECTURAL PLANS.
- 6" PVC SANITARY SEWER DOMESTIC LINE EXIT POINT FROM BUILDING (RE: ARCHITECTURAL PLANS)

UTILITY CONTACTS

WATER AND SANITARY SEWER:
 SUMMERVILLE CPW
 215 N. CEDAR STREET
 SUMMERVILLE, SC 29483
 CONTACT: BK BONGE
 PHONE: 843-872-0810
 EMAIL: BBONGE@SUMMERVILLECPW.COM

GAS AND ELECTRIC:
 DOMINION ENERGY
 129 SPANIEL LANE
 SUMMERVILLE, SC 29483
 CONTACT: DILLON MORRIS
 PHONE: 843-851-4918
 EMAIL: JEREMY.MORRIS@DOMINIONENERGY.COM

TELEPHONE:
 AT&T
 PHONE: 844-904-6875

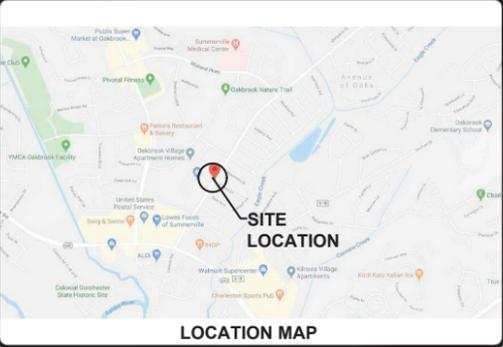
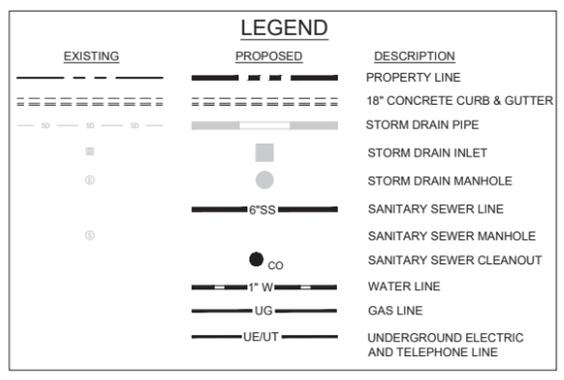
SERVICE LINE ENTRY AND EXIT POINTS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL REFER PLANS BY ARCHITECT AND MECHANICAL ENGINEER FOR EXACT LOCATIONS AND DEPTHS.

NOTE: DOUBLE CHECK BACKFLOW PREVENTION DEVICES FOR ALL METERS AND/OR FIRE LINES MUST BE TESTED AND APPROVED BEFORE ISSUANCE OF FINAL CERTIFICATE OCCUPANCY.

NOTE: ALL POTABLE WATER AND SANITARY SEWER WORK MUST BE DONE BY STATE LICENSED UTILITY CONTRACTOR.

NOTE: REFER TO ARCH PLANS FOR DESIGN OF GREASE TRAP AND LINE RUNNING TO BUILDING.

NOTE: THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITY'S STANDARDS AND SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES TO BE PRESERVED.



ISSUED	REVISIONS	COMMENT



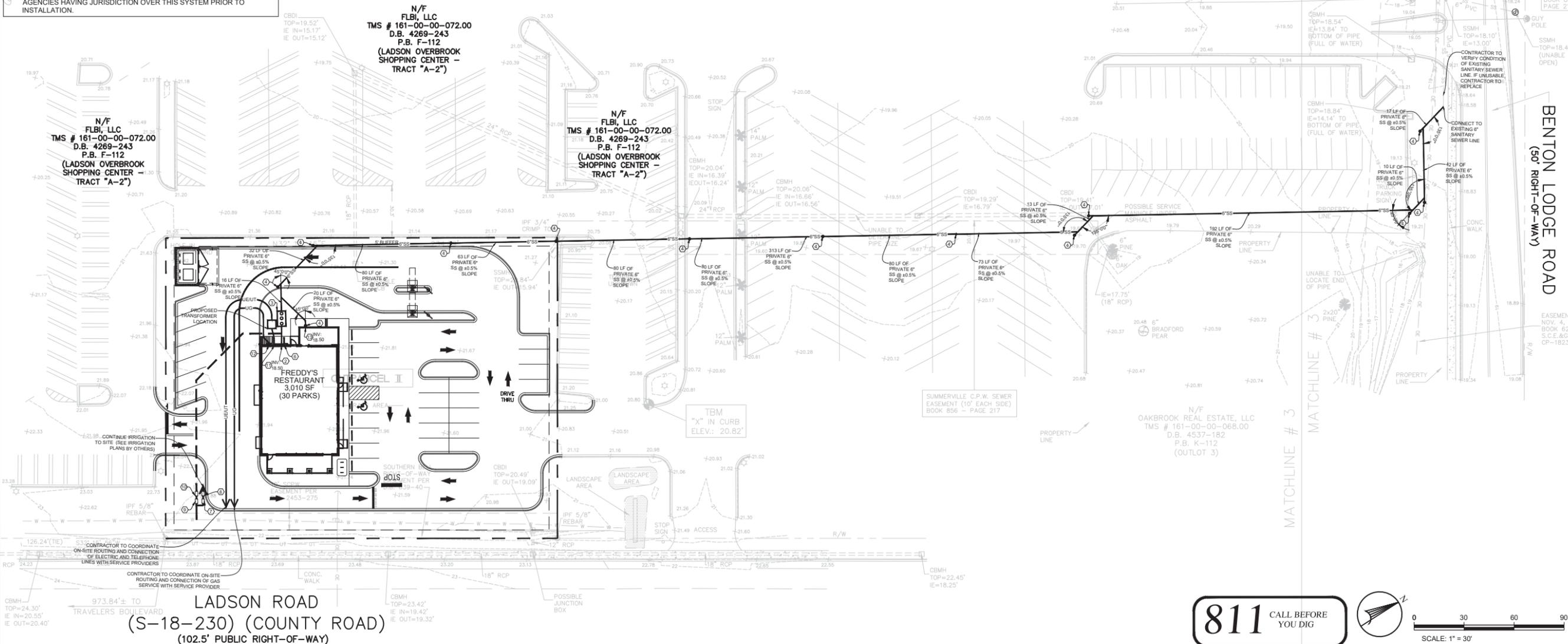
CSS
 402 East First Avenue
 Easley, South Carolina 29640
 (864) 855-5200
 www.css-cng.com

PREPARED FOR:
KW - COMMERCIAL PROPERTIES
 496 BRAMSON CT, SUITE 200
 GREENVILLE, SC
 PH: 864-329-3232
 CONTACT: JOHN DEVERA

UTILITY PLAN

LADSON RD. @ LAMIE DR.
 SUMMERVILLE, SC

Date: 6/5/20
 Drawn: JAP
 Checked: ---
C-6.0
 Sheet



811 CALL BEFORE YOU DIG

PARKING DATA

TENANT	TOTAL AREA SF	MINIMUM REQUIRED PARKING (PER CODE)	RATIO (PER CODE, BASED ON 3,010 SF)	MAXIMUM ALLOWED PARKING (PER CODE)	RATIO (PER CODE, BASED ON 3,010 SF)	PARKING PROVIDED	RATIO PROVIDED	PERVIOUS PAVEMENT PARKING PROVIDED	HANDICAP PARKING REQUIRED	HANDICAP PARKING PROVIDED
FREDDY'S	3,010 SF	10	3 / 1000 SF	20	6.64 / 1000 SF	30	9.97 / 1000 SF	10	2	2

NOTE: ALL DRIVE THRU ITEMS (MENU BOARDS, HEADACHE BAR, ETC.) ARE SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECT PLANS FOR EXACT LOCATION AND DETAILS.

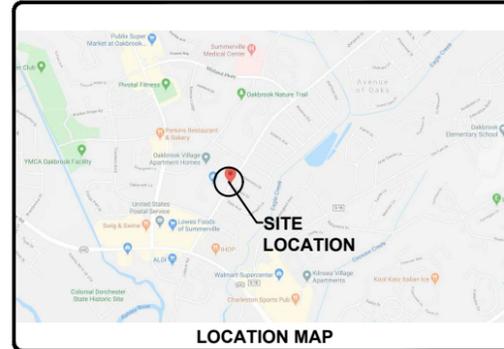
NOTE: ANY SIGNS SHALL BE PERMITTED SEPARATELY THROUGH THE TOWN OF SUMMERVILLE PLANNING AND DEVELOPMENT DEPARTMENT; I.E. ENTRANCE & DIRECTIONAL SIGNS, MONUMENTS AND ALL COMMERCIAL SIGNS.

LOADING SPACE: ALL DELIVERIES ARE PERFORMED OFF-HOURS SO DEDICATED LOADING SPACE NOT REQUIRED.

NOTE: SEE SITE LIGHTING PLAN (BY OTHERS) FOR ALL LIGHT POLE LOCATIONS.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	18" CONCRETE CURB & GUTTER
---	---	STANDARD DUTY ASPHALT PAVEMENT
---	---	HEAVY DUTY ASPHALT PAVEMENT
---	---	CONCRETE PAVEMENT
---	---	CONCRETE SIDEWALK
---	---	ROW DEDICATION AREA
---	---	SETBACK LINE
---	---	STORM DRAIN INLET
---	---	SANITARY SEWER CLEANOUT



REVISIONS

ISSUED	COMMENT



CSS

402 East First Avenue
Easley, South Carolina 29640
(864) 855-5200
www.css-eng.com

PREPARED FOR:

KW - COMMERCIAL PROPERTIES

496 BRAMSON CT, SUITE 200
GREENVILLE, SC
PH: 864-329-3232
CONTACT: JOHN DEVERA

SITE PLAN

LADSON RD. @ LAMIE DR.
SUMMERVILLE, SC

Date: 6/5/20
Drawn: JAP
Checked: ---

C-4.0
Sheet

N/F
FLBI, LLC
TMS # 161-00-00-072.00
D.B. 4269-243
P.B. F-112
(LADSON OVERBROOK SHOPPING CENTER - TRACT "A-2")

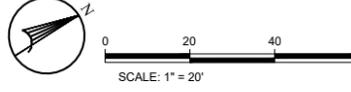
N/F
FLBI, LLC
TMS # 161-00-00-072.00
D.B. 4269-243
P.B. F-112
(LADSON OVERBROOK SHOPPING CENTER - TRACT "A-2")

N/F
FLBI, LLC
TMS # 161-00-00-072.00
D.B. 4269-243
P.B. F-112
(LADSON OVERBROOK SHOPPING CENTER - TRACT "A-2")

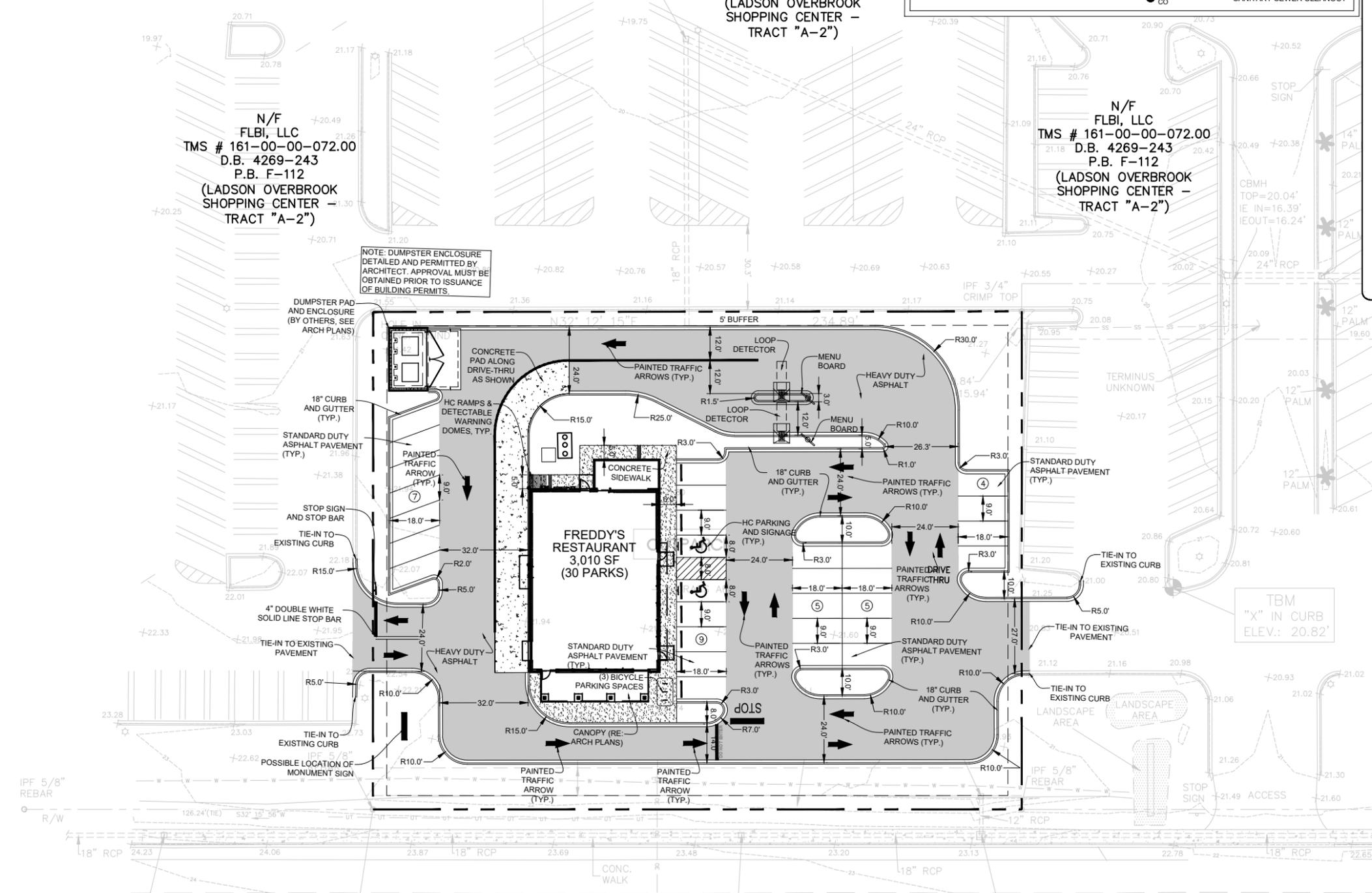
NOTE: DUMPSTER ENCLOSURE DETAILED AND PERMITTED BY ARCHITECT. APPROVAL MUST BE OBTAINED PRIOR TO ISSUANCE OF BUILDING PERMITS.

- GENERAL SITE NOTES**
- THIS SITE PLAN CONTAINS EXISTING CURB, SIDEWALKS, PAVING, PARKING, STRIPING, ETC. CONTRACTOR SHALL FIELD VERIFY QUANTITIES AS APPLICABLE OF THE SITE WORK PRIOR TO CONSTRUCTION.
 - ALL EXISTING WORK TO REMAIN UNLESS OTHERWISE NOTED.
 - ALLOW MINIMUM 72 HOURS (3 WORKING DAYS) BEFORE DIGGING. CONTRACTOR TO CONTACT LOCAL UTILITIES PROTECTION SERVICE PRIOR TO DIGGING.
 - PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE TYPE, COLOR, SIZE, AND LOCATIONS SHOWN ON THE PLANS. PAINT SHALL BE SUPPLIED IN ACCORDANCE WITH AASHTO: M248 LATEST EDITION. COLOR SHALL BE AS FOLLOWS: (YELLOW - LOADING ZONES, PARKING ISLANDS, NO PARKING ZONES AND FIRE LANES), (WHITE - PARKING SPACES, STOP BARS, PEDESTRIAN CROSSINGS, LANE DEMARCATIONS, DIRECTIONAL ARROWS AND LETTERING), (BLUE - HANDICAP PARKING STALLS AND SYMBOLS).
 - CONTRACTOR TO VERIFY EXISTING GRADES AND CONFIRM 2% MAXIMUM SLOPE PRIOR TO RELOCATING AND RE-STRIPING THE HANDICAP ACCESSIBLE PARKING STALLS.
 - CONTRACTOR TO CONFIRM ALL PAVEMENT AREAS TO NOT EXCEED 3% SLOPE AND MEET ADA ACCESSIBILITY GUIDELINES.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - DEMOLITION OF EXISTING PAVEMENT IS A PART OF THIS CONSTRUCTION PACKAGE. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES TO BUILDING MARKED PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR TO PROTECT ALL EXISTING LANDSCAPE DURING CONSTRUCTION.
 - THE EXISTING STORMWATER SYSTEM WILL CONTINUE TO SERVE THE PROPERTY.
 - ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE TO FACE OF CURB, OUTSIDE FACE OF BUILDING (BLOCK), OR CENTERLINE OF PARKING BAY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL ENTRY/EXIT PORCHES AND PRECISE BUILDING DIMENSIONS.
 - UNLESS OTHERWISE NOTED, PAVEMENT SHALL BE STANDARD DUTY ASPHALT.
 - ALL HANDICAP SPACES ARE TO RECEIVE A HANDICAP SIGN AND SYMBOL PAINTED ON THE ASPHALT. STALL(S) ADJACENT TO THE FIVE (5) FOOT STRIPED AISLES ARE TO RECEIVE A "VAN ACCESSIBLE" SIGN IN ADDITION TO THE ABOVE. STRIPING TO BE BLUE.
 - ALL SIGNAGE SHALL MEET THE CRITERIA OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
 - THE GENERAL CONTRACTOR IS TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON THE PLANS.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING DAMAGE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
 - EXISTING SIGNAGE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS.
 - EXISTING LIGHT POLES TO REMAIN, UNLESS OTHERWISE NOTED ON PLANS. LIGHTING TO BE CONVERTED TO LED, RE-PAIN PER ALDI STANDARDS.
 - EXISTING TRANSFORMER TO REMAIN, UNLESS OTHERWISE NOTED ON ARCH PLANS.
 - EXISTING SITE SIGNAGE TO REMAIN IN PLACE. REFER TO ARCH PLANS FOR BUILDING SIGNAGE.
 - STRIPED AREAS TO BE PAINTED AT 45° ANGLE W/ 6" WIDE STRIPE AT 24" ON CENTER. 2 COATS MIN, WHITE.

811 CALL BEFORE YOU DIG



LADSON ROAD
(S-18-230) (COUNTY ROAD)
(102.5' PUBLIC RIGHT-OF-WAY)



STORMDRAIN SCHEDULE						
STRUCTURES	SIZE	LENGTH	TYPE	SLOPE	IE UP	IE DOWN
2 TO 1	18"	115'	RCP (CLASS IV)	0.50 %	16.83	16.25
3 TO 2	18"	93'	RCP (CLASS IV)	0.50 %	17.40	16.93
4 TO 1	18"	125'	RCP (CLASS IV)	0.50 %	16.88	16.25

STORMDRAIN STRUCTURE TABLE		
STRUCTURE	TYPE	RIM ELEV
1	COMBINATION INLET	19.75
2	GRATE INLET	21.0
3	COMBINATION INLET	21.35
4	COMBINATION INLET	21.0

SURFACE CALCULATIONS
 ALLOWED IMPERVIOUS AREA: 33,698 SF (80%)
 PROPOSED IMPERVIOUS AREA: 31,404 SF (74.6%)
 PROPOSED PERVIOUS AREA: 10,713 SF (25.4%)

NOTE:
 CONTRACTOR TO VERIFY ELEVATION OF CONNECTION POINT TO EXISTING DRIVE PRIOR TO CONSTRUCTION / INSTALLATION OF DRIVE, CURB & GUTTER, AND GRADING AND NOTIFY CONSULTING ENGINEER WITH DISCREPANCIES.

NOTE:
 CONTRACTOR TO VERIFY LOCATION OF ROOF DRAINS WITH ARCH PLANS. REVISE LOCATIONS ON PLANS AS NECESSARY AND CONTACT ENGINEER WITH ISSUES. ENSURE MIN 1.0% ON ALL ROOF DRAIN LEADERS.

NOTE: ALL ELEVATIONS ARE SHOWN TO BOTTOM OF CURB UNLESS OTHERWISE CALLED OUT.

CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.

NOTE:
 CONTRACTOR TO ENSURE MAX. 2.0% SLOPE ACROSS ALL HANDICAP PARKING AREAS.

LEGEND

	EXISTING		PROPOSED		DESCRIPTION
			825		CONTOUR LINE
			25.00		SPOT ELEVATION
					STORM DRAIN INLET
					STORM DRAIN MANHOLE
					STORM DRAIN PIPE
					RIDGELINE



- SITE GRADING NOTES**
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
 - PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
 - STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED. TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS, UNLESS OTHERWISE NOTED.
 - EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
 - EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
 - PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTIGUOUS GRADE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY FREELAND & ASSOC., INC., IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STAKED SOD TO ALL SLOPES 3:1 OR STEEPER. CONTRACTOR SHALL PROTECT ALL EXISTING GRASS IN ACCORDANCE WITH STATE SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
 - CATCH BASINS, MANHOLES, FRAMES, GRATES, SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DETAILS FOR CONSTRUCTION AND THE DORCHESTER COUNTY REQUIREMENTS.
 - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT NUMBER, SIZE AND LOCATION OF ANY ROOF DRAINS.
 - INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL CROSSINGS WELL IN ADVANCE OF TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THE PLAN OR TWELVE INCHES (12"), WHICHEVER IS LESS, CONTACT THE DESIGN ENGINEER AND THE OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF ALL WORK INDICATED ON THESE DRAWINGS. THE OWNER AND THE DESIGN ENGINEER ACCEPT NO RESPONSIBILITY FOR THE DESIGNS TO INSTALL SAID ITEMS.
 - PRECAST DRAINAGE STRUCTURES HAVE BEEN SPECIFIED ON THE PLANS. THE OWNER AND THE ENGINEER, HOWEVER, ASSUME NO RESPONSIBILITY FOR THESE STRUCTURES, AS FIELD CONDITIONS OFTEN DICTATE MINOR ELEVATION ADJUSTMENTS. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY AND EXPENSE FOR MODIFYING THE PRECAST STRUCTURES TO ACCOMMODATE FIELD REVISIONS.
 - ALL SLOPES 3:1 AND STEEPER ARE TO RECEIVE STAKED SOD.
 - ALL GRADING OPERATIONS, EXCAVATIONS, FILL, COMPACTION TESTING AND BACKFILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER SHALL BE DESIGNATED BY AND PAID FOR BY THE OWNER.
 - NO FILL SHALL BE PLACED PRIOR TO APPROVAL OF THE SUBGRADE BY THE GEOTECHNICAL ENGINEER.
 - COMPACTION SHALL BE DONE IN ACCORDANCE WITH ALD'S REQUIREMENTS AND THE ON-SITE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS INCURRED FOR INSPECTION AND TESTING OF SOILS DUE TO FAILURE TO COMPLY WITH THE MINIMUM REQUIREMENTS OF THE SOILS REPORT.
 - ALL GRADING OPERATIONS SHALL BE STAKED BY A LICENSED LAND SURVEYOR PROVIDED BY THE CONTRACTOR AND APPROVED BY THE OWNER.
 - UPON COMPLETION OF THE GRADING, THE GEOTECHNICAL ENGINEER SHALL PROVIDE OWNER WITH A LETTER INDICATING THAT THE SITE AND BUILDING PAD WERE PREPARED IN DIRECT CONFORMANCE WITH THE RECOMMENDATIONS AND CONCLUSIONS IN THE SOILS REPORT.
 - CROSS-SLOPE THROUGH STRIPED AREA LEADING TO PUBLIC SIDEWALK SHALL NOT EXCEED 2.0%.
 - NO EXPOSED FOOTINGS SHALL BE ALLOWED.

REVISIONS	
ISSUED	COMMENT



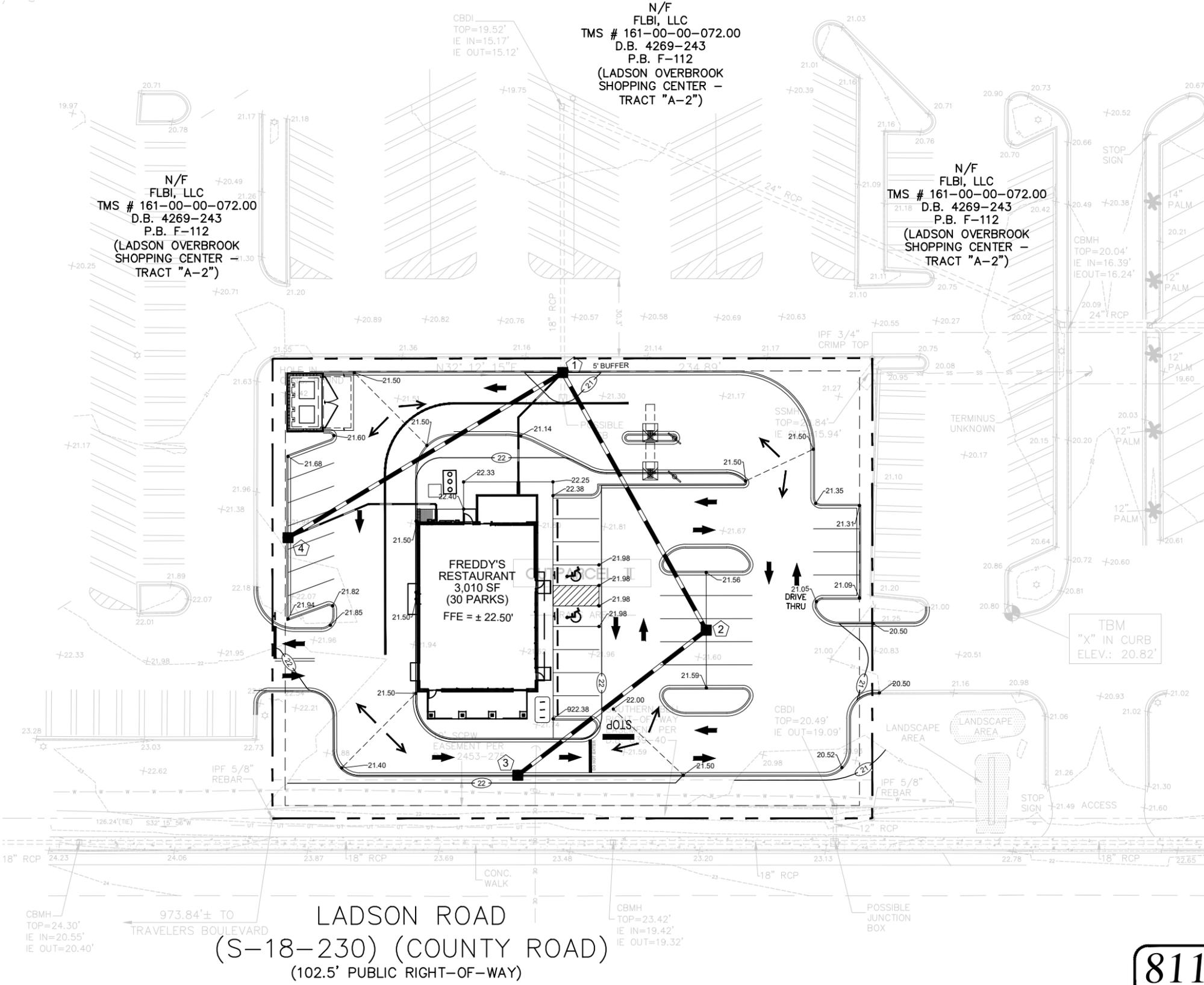
CSS
 402 East First Avenue
 Easley, South Carolina 29640
 (864) 855-5200
 www.css-eng.com

PREPARED FOR:
KW - COMMERCIAL PROPERTIES
 496 BRAMSON CT, SUITE 200
 GREENVILLE, SC
 PH: 864-329-3232
 CONTACT: JOHN DEVERA

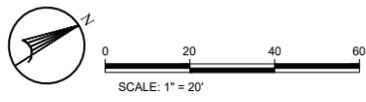
GRADING PLAN

 LADSON RD. @ LAMIE DR.
 SUMMERVILLE, SC

Date:	6/5/20
Drawn:	JAP
Checked:	---
C-5.0	
Sheet	



811 CALL BEFORE YOU DIG



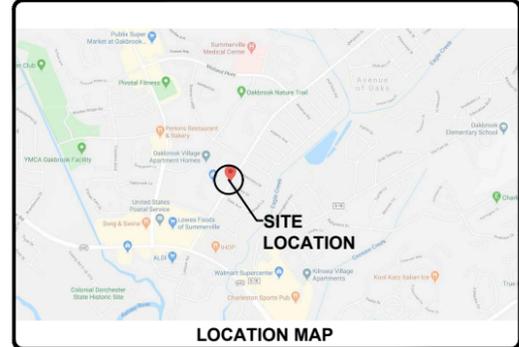
SOD
 SOD SHALL BE TIF 419 BERMUDA GRASS. QUANTITY SHALL BE DETERMINED BY CONTRACTOR.

- IF SPECIFIED PLANTS ARE UNAVAILABLE AT THE TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS APPROVED BY LANDSCAPE ARCHITECT AND TOWN STAFF. ALTERATION TO LANDSCAPE PLAN REQUIRES WRITTEN APPROVAL.
- ALL PLANT SPECIFICATIONS ARE MINIMUM REQUIREMENTS. ALL SPECIFICATIONS MUST BE MET FOR PLANT MATERIAL TO BE ACCEPTABLE FOR INSTALLATION.
- ALL PLANT MATERIAL SHALL MEET THE MINIMUM STANDARDS AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL OPEN SPACE AREAS WITHIN THE PROPERTY SHALL BE SODDED UNLESS PAVED, SEEDED AND MULCHED OR PLANTED WITH SHRUBS AND GROUND COVER. ALL LANDSCAPED AREAS NOT SODDED SHALL BE COVERED IN MULCH UNLESS OTHERWISE NOTED.

MASTER PLANT LIST

TREES / PALMS		COMMON NAME	SIZE REQUIREMENTS	SPACING
Qs	36	Quercus shumardii	3" CAL. MIN. / 12' to 16' MIN. HT.	40' O.C. MIN.
Sp	36	Sabal palmetto	10' MIN. CLEAR TRUNK (4" to 6" CAL.)	PER PLAN
Up	10	Ulmus parvifolia 'Bosque'	3" CAL. MIN. / 12' to 16' MIN. HT.	40' O.C. MIN.

SHRUBS / GROUND COVER		COMMON NAME	SIZE REQUIREMENTS	SPACING
JdP	35	Juniperus davurica 'Parsonii'	PARSON'S JUNIPER	5 GAL. MIN. / 48" O.C. MAX.
JvG	36	Juniperus virginiana 'Grey Owl'	GREY OWL JUNIPER	5 GAL. MIN. / 48" O.C. MAX.
Lc	62	Loropetalum chinensis 'Ever Red'	EVER RED CHINESE FRINGE FLOWER	7 GAL. MIN. / 48" O.C. MAX.
Ri	27	Raphiolepis indica 'Indian Princess'	INDIAN PRINCESS HAWTHORN	5 GAL. MIN. / 36" O.C. MAX.
VoD	74	Viburnum obovatum 'Reifler's densa'	DWARF WALTER'S VIBURNUM	7 GAL. MIN. / 6.0' O.C. MAX.



ISSUED	REVISIONS	COMMENT



LANDSCAPE FABRIC/MULCH NOTE:

- GROUND COVER INDUSTRIES, INC. 600 SERIES PROFESSIONAL'S CHOICE (6 oz) OR APPROVED EQUAL LANDSCAPE FABRIC SHALL BE PLACED WITHIN ALL PLANTING BEDS.
- LANDSCAPE FABRIC TO BE COMPLETELY COVERED WITH 4" OF RIVER ROCK MULCH WITH NO FABRIC SHOWING.

IRRIGATION NOTE:

ALL REQUIRED REQUIRED LANDSCAPING SHALL BE PROVIDED WITH SUPPLEMENTAL IRRIGATION WATER DURING THE ESTABLISHMENT PERIOD. PERMANENT IN-GROUND IRRIGATION SYSTEM DESIGN TO BE PROVIDED BY CONTRACTOR.

PARKING LOTS- PERIMETER LANDSCAPING & SCREENING

A. MINIMUM WIDTH: PERIMETER LANDSCAPE AREAS SHALL BE A MINIMUM OF 8 FEET IN WIDTH ADJACENT TO ALL PARKING SPACES AND TRAVEL AREAS.

B. REQUIRED TREES: LARGE MATURING TREES SHALL BE PLANTED A MINIMUM OF 40 FEET ON CENTER.

C. REQUIRED SHRUBS: A CONTINUOUS ROW OR STAGGERED ROW OF EVERGREEN SHRUBS, WITH A MINIMUM EXPECTED HEIGHT AT MATURITY OF 3 FEET, SHALL BE INSTALLED AT NOT MORE THAN 6 FEET ON CENTER. IF USED IN ADDITION TO A WALL OR FENCE, THE EVERGREEN SHRUBS SHALL BE PLANTED ON THE EXTERIOR SIDE OF SUCH FEATURES.

D. ADDITIONAL REQUIREMENTS FOR PARKING LOTS ADJACENT TO STREET FRONTAGE: A MASONRY WALL OR GARDEN HEDGE (MINIMUM 3 FEET IN HEIGHT, MAXIMUM 3 FEET 6 INCHES IN HEIGHT) SHALL BE INSTALLED ALONG ANY STREET FRONTAGE ADJACENT TO PARKING AREAS. AT SIDEWALKS WITH EXTENSIVE PEDESTRIAN USE, THE MASONRY WALL IS SUBJECT TO SIGHT VISIBILITY TRIANGLES.

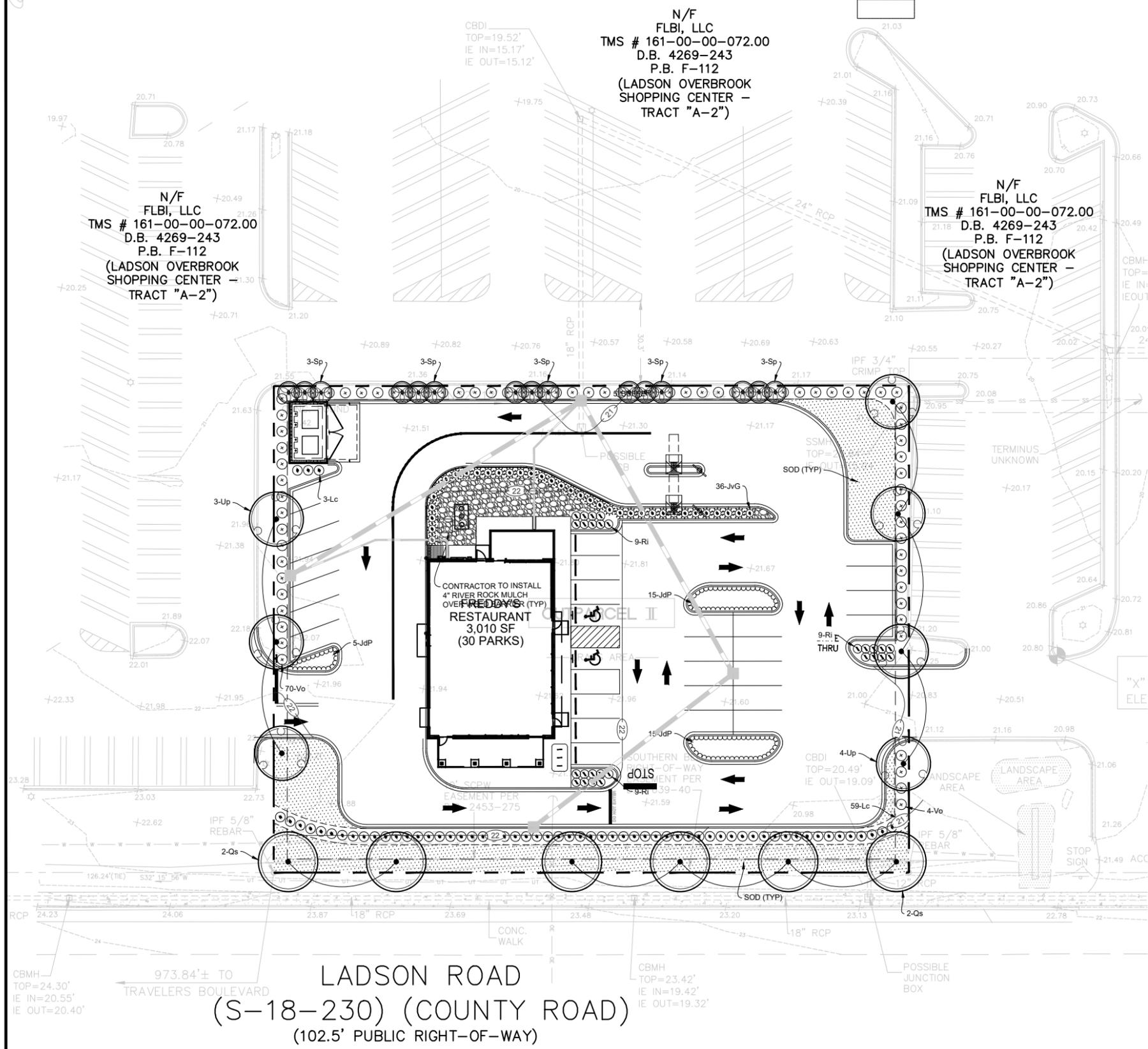


PREPARED FOR:
KW - COMMERCIAL PROPERTIES
 496 BRAMSON CT, SUITE 200
 GREENVILLE, SC
 PH: 864-329-3232
 CONTACT: JOHN DEVERA

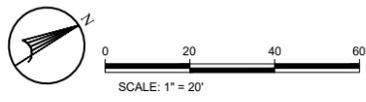
LANDSCAPE PLAN

 LADSON RD. @ LAMIE DR.
 SUMMERVILLE, SC

Date: 6/5/20
 Drawn: JAP
 Checked: ---
L-1.0
 Sheet



811 CALL BEFORE YOU DIG





THE DESIGN AND DETAILS DISCLOSED HEREIN ARE THE EXCLUSIVE PROPERTY OF WINTER ARCHITECTS INC. AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT ITS PRIOR WRITTEN CONSENT.

DAN WINTER, ARCHITECT

FREDDY'S FROZEN CUSTARD LEFT HAND 3030 PROTOTYPE ANY CITY USA

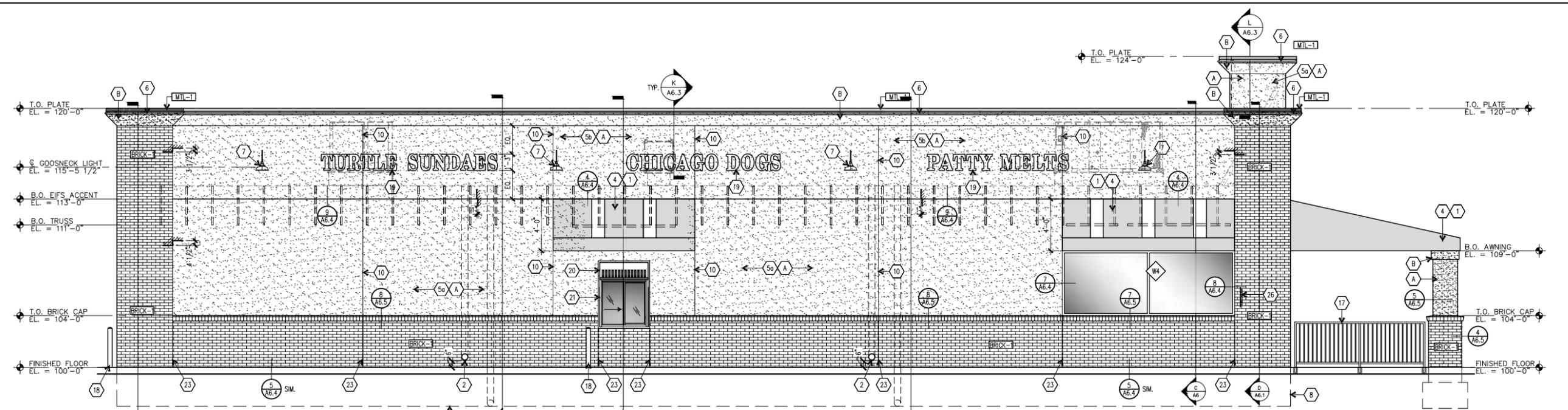
WINTER ARCHITECTS
1024 EAST FIRST STREET
WICHITA, KS.
67214
PH. 316-267-7142

EXTERIOR ELEVATIONS

DATE
5/22/2019

DRAWN BY:
RC
CHECKED BY:
DW

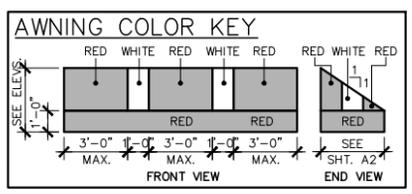
SHEET NO.
A4



(A) NORTH ELEVATION
1/4" = 1'-0"

SIGNAGE AREA: SOUTH ELEVATION
PATTY MELTS = 14 SQ.FT.
CHICAGO DOGS = 15 SQ.FT.
TURTLE SUNDAES = 17 SQ.FT.
TOTAL = 46 SQ.FT.
TOTAL SIGNAGE ALLOWED IS (PER CITY) SQ.FT. MAX

SIGNAGE AREA: NORTH ELEVATION
PATTY MELTS = 14 SQ.FT.
CHICAGO DOGS = 15 SQ.FT.
TURTLE SUNDAES = 17 SQ.FT.
TOTAL = 46 SQ.FT.
TOTAL SIGNAGE ALLOWED IS (PER CITY) SQ.FT. MAX

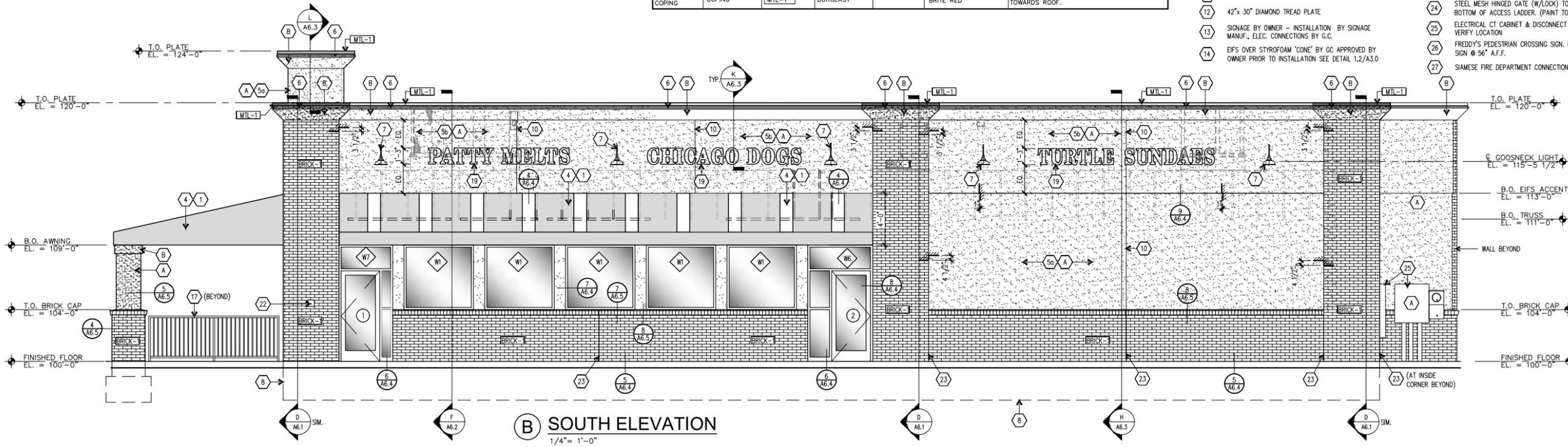


NOTE TO AWNING MANUFACTURER AND AWNING INSTALLER. AWNING FRAME TO BE ENGINEERED FOR APPROVAL BY LOCAL CODE AND DESIGNED TO MISS ALL BUILDING PROTRUSIONS NOT SHOWN ON PLANS.

CAULKING COLOR NOTE:
-AT EIFS / BRICK - MATCH EIFS
-AT BRICK / BRICK - MATCH BRICK
-AT EIFS / EIFS - MATCH EIFS
-AT EIFS / STOREFRONT - MATCH DARK BRONZE FRAME

EXTERIOR FINISH SCHEDULE						
EXTERIOR PAINT	DESCRIPTION	FINISH NO.	MFGR.	MFGR. NO.	COLOR	REMARKS
BUILDING WALLS	PAINT	(A)	SHERWIN WILLIAMS	#7533	KHAKI SHADE	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
BUILDING TRIM	PAINT	(B)	SHERWIN WILLIAMS	#6126	FREDDY'S PEARL	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
CONE	PAINT	(C)	SHERWIN WILLIAMS	#17-143	BISCUIT FREDDY'S CONE	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
CUSTARD	PAINT	(D)	SHERWIN WILLIAMS	#17-313	FREDDY'S ICE WHITE	PAINT WITH TWO COATS ACRYLIC LATEX (SATIN)
BOLLARD	PAINT	(P3)	SHERWIN WILLIAMS	#17-572	FREDDY'S RED	PAINT WITH TWO COATS HIGH PERFORMANCE ACRYLIC (GLOSS)
GUARD RAIL	PAINT	(P4)	SHERWIN WILLIAMS	#B66B300	FREDDY'S JET BLACK	PAINT WITH TWO COATS HIGH PERFORMANCE ACRYLIC (GLOSS)
EXT. BRICK & EIFS						
BUILDING BRICK (OPT. #1)	BRICK MODULAR (OPT. #1)	(BRICK-1)	THE LAKEWOOD BRICK COMPANY	ACME BRICK CO. ATT: BILLY WHITE P:316-941-3594	WELLSHIRE	GROUT COLOR - GRAY MODULAR & TIN - MADE RUMBLED
BUILDING BRICK (OPT. #2)	BRICK MODULAR (OPT. #2)	(BRICK-2)	INTERSTATE BRICK-UTAH		MOUNTAIN RED	GROUT COLOR - GRAY MODULAR & TIN - RUMBLED EXTRA CHARGE
METAL COPING						
BUILDING COPING	COPING	(MTL-1)	DUROLAST		BRITE RED	2 PC COMPRESSION COPING CAP. SLOPE TOWARDS ROOF.

- GENERAL NOTES:**
SIGNS SHOWN ON THESE ELEVATIONS ARE FOR CODE REVIEW PURPOSES ONLY. THESE SIGN ELEVATIONS ARE NOT TO BE USED AS OR CONSTRUED AS SHOP DRAWINGS FOR SIGN CONSTRUCTION. SIGN SHOP DRAWINGS ARE PRODUCED BY THE SIGN MANUFACTURER FOR REVIEW AND APPROVAL BY THE OWNER.
- NOTE TO AWNING MANUFACTURER AND AWNING INSTALLER.** AWNING FRAME TO BE ENGINEERED FOR APPROVAL BY LOCAL CODE AND DESIGNED TO MISS ALL BUILDING PROTRUSIONS NOT SHOWN ON PLANS.
- ELEVATION KEY NOTES:**
- (1) (2)-TUBE, STRIP LED FIXTURES WITH CLEAR LENS COVERS TO BACK LIGHT AWNINGS, TYP. SUPPLIED BY OWNER. WIRED & INSTALLED BY ELEC. CONTR.
 - (2) OVERFLOW DRAIN WITH LAMB'S TONGUE
 - (3) HOLLOW METAL EXIT DR. REF. DOOR SCHED.
 - (4) EXTERIOR VINYL AWNING & ALUM FRAME BY OWNER AND AWNING MANUF. TYP. REF. AWNING COLOR KEY SHTS A3 & A4
 - (5) STO 1 1/2" DRAINABLE EXTERIOR INSULATED FINISH SYSTEM (EIF.S.) ADHESIVELY ADHERED "SAND PEBBLE FIN."
 - (6) STO 2 1/2" DRAINABLE EXTERIOR INSULATED FINISH SYSTEM (EIF.S.) ADHESIVELY ADHERED "SAND PEBBLE FIN."
 - (7) LED STRIP LIGHTING BY SIGN MFR. TYP.
 - (8) GOOSENECK LIGHT FIXTURE "RED"
 - (9) CONCRETE FOUNDATION REFER TO STRUCTL. PLANS FOR SIZE AND DETAILS
 - (10) BLDG. MTD. CONE LIGHT FIXTURE PTD.
 - (11) EIFS CONTROL JOINT REF. DETAIL 4/A3
 - (12) RECESSED SS EASIWASH CAB.
 - (13) 42" x 30" DIAMOND TREAD PLATE
 - (14) SIGNAGE BY OWNER - INSTALLATION BY SIGNAGE MANUF., ELEC. CONNECTIONS BY G.C.
 - (15) EIFS OVER STYROFOAM "CONE" BY GC APPROVED BY OWNER PRIOR TO INSTALLATION SEE DETAIL 1,2/A3,0
 - (16) WALL PACK LIGHT FIXTURE. ABOVE REAR DOOR - REF. ELEC. PLANS
 - (17) GAS METER PTD. VERIFY LOC.
 - (18) REFER TO DETAIL 5/A3 FOR GUARD RAIL DETAILS. (IF REQUIRED, NOT SHOWN ON PROTOTYPE)
 - (19) 4" CONC. FILLED PIPE BOLLARD. FREDDY'S RED
 - (20) ILLUMINATED CHANNEL LETTERS BY SIGN MANUF. READY ACCESS MODEL AA300 CURTAIN - 275 PASS-THRU AIR CURTAIN SYSTEM W/ STATUARY BRONZE FIN. ELECTRICAL CONTRACTOR TO VERIFY ELECTRICAL REQ'TS. SEE MANUFACTURER FOR APPROPRIATE AIR CURTAIN CONFIGURATION BASED ON GEOGRAPHY.
 - (21) READY ACCESS MODEL 275 WINDOW/MANUAL SINGLE PANEL SLIDER, 48"W x 60" H. R.O. (INCL. AIR CURTAIN ABOVE). MANUAL OPEN/ ELEC. RELEASE - OPENS ON SIDE THE CAR APPROACHES. BRONZE FINISH - PROVIDED BY & INSTALLED BY G.C.
 - (22) RECESSED KNOX BOX
 - (23) BRICK EXPANSION JOINT REF. DETAIL 3/A3
 - (24) STEEL MESH HINGED GATE (W/LOCK) TO ENCLOSE BOTTOM OF ACCESS LADDER. (PAINT TO MATCH EIFS).
 - (25) ELECTRICAL CT CABINET & DISCONNECT - PTD., VERIFY LOCATION
 - (26) FREDDY'S PEDESTRIAN CROSSING SIGN. BOTTOM OF SIGN @ 56" A.F.F.
 - (27) SIAMESE FIRE DEPARTMENT CONNECTION.



(B) SOUTH ELEVATION
1/4" = 1'-0"



THE DESIGN AND DETAILS DISCLOSED HEREIN ARE THE EXCLUSIVE PROPERTY OF WINTER ARCHITECTS INC. AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT ITS PRIOR WRITTEN CONSENT.

DAN WINTER, ARCHITECT

FREDDY'S FROZEN CUSTARD
4500 LADSON ROAD
SUMMERVILLE, SC.

WINTER ARCHITECTS
1024 EAST FIRST STREET
WICHITA, KS. 67214
PH. 316-267-7142

MATERIALS BOARD

DATE
8/24/2020

DRAWN BY:
CHECKED BY:

SHEET NO.

MB



METAL COPING

2 PIECE COMPRESSION COPING CAP (BRITE RED) BY DUROLAST MTL-1 SLOPE TOWARDS ROOF



E.I.F.S. CONE

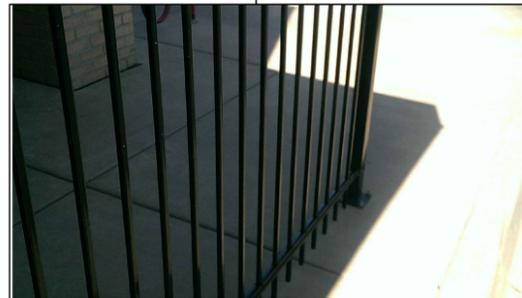
EXTERIOR INSULATED FINISH SYSTEM

SW 17-313 FREDDY'S ICE WHITE
SW 17-143 FREDDY'S BISCUIT CONE



THE LAKEWOOD BRICK CO. - WELLSHIRE

BRICK VENEER



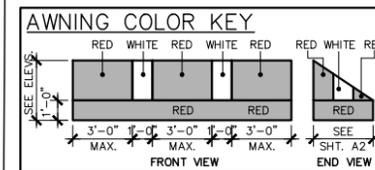
PATIO GUARDRAIL



STO BRAND DRAINABLE EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.) WITH STOGUARD WATERPROOFING/AIR BARRIER WITH SW #6126 FREDDY'S PEARL MIXED INTO FIN. COAT

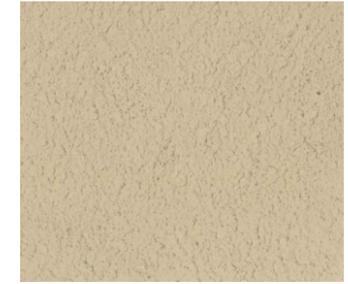
E.I.F.S. CORNICE

EXTERIOR INSULATED FINISH SYSTEM



RED & WHITE STRIPED VINYL AWNING

VINYL AWNING



STO BRAND DRAINABLE EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.) WITH STOGUARD WATERPROOFING/AIR BARRIER WITH SW #7533 KHAKI SHADE MIXED INTO FIN. COAT

E.I.F.S. WALL

EXTERIOR INSULATED FINISH SYSTEM



LIGHT FIXTURE

GOOSENECK LIGHT FIXTURE (RED) PROVIDE BLOCKING FOR ATTACHMENT



DK. BRONZE ALUM. STOREFRONT FRAMES w/ THERMAL BREAK & 1" INSUL. LOW "E" GLAZING

STOREFRONT



THE DESIGN AND DETAILS DISCLOSED HEREIN ARE THE EXCLUSIVE PROPERTY OF WINTER ARCHITECTS INC. AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT ITS PRIOR WRITTEN CONSENT.

DAN WINTER, ARCHITECT

FREDDY'S FROZEN CUSTARD
4500 LADSON ROAD
SUMMERVILLE, SC.

WINTER ARCHITECTS
1024 EAST FIRST STREET
WICHITA, KS. 67214
PH. 316-267-7142

ARCHITECTURAL FLOOR PLAN

DATE
8/24/2020

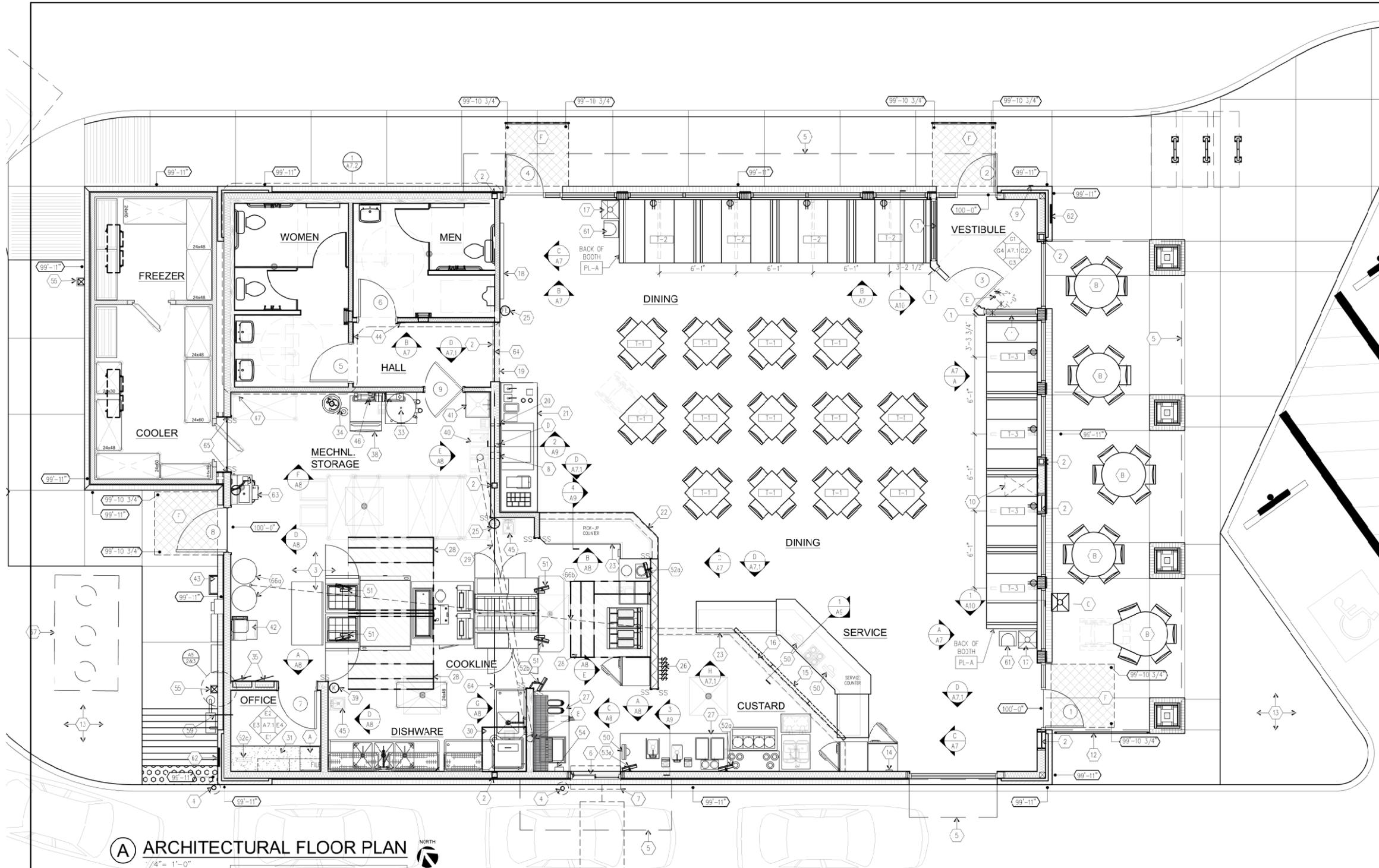
DRAWN BY:

CHECKED BY:

SHEET NO.
A1.1

PLAN KEY NOTES

- 1 DIMENSIONS ARE FROM OUTSIDE FACE OF SHEATHING UNLESS OTHERWISE NOTED
- 2 REFER TO STRUCTURAL FOR COLUMN LOCATIONS AND DETAILS
- 3 KITCHEN EQUIPMENT LAYOUT PLANS AND NOTES REF. SHEET K1
- 4 4" CONC. FILLED PIPE BOLLARD
- 5 BACKLIT AWNING ABOVE
- 6 READY ACCESS MODEL 275 / SINGLE PANEL SLDR. 48"W x 60" H. R.G. MODEL 275-R/A-SC - OPENS OPPOSITE SODA MACHINE SIDE
- 7 READY ACCESS PASS-THRU AIR CURTAIN SYSTEM. SEE MANUF. FOR APPROPRIATE AIR CURTAIN CONFIGURATION BASED ON GEOGRAPHY.
- 8 6" PVC SYRUP LINE CHASE TO 6" ABOVE CEILING
- 9 RECESSED KNOX BOX OR @ LOC. DESIGNATED BY FIRE MARSHAL
- 10 ACCESS HATCH (ABOVE)
- 11 NOT USED
- 12 REFER TO DETAILS 5/A3 FOR GUARD RAIL DETAILS
- 13 LANDSCAPE AREA
- 14 CLOCK MTD. AT 8'-6" A.F.F.
- 15 DIGITAL MENU BOARD ABOVE
- 16 MENU BOARD SOFFIT ABOVE SEE BULKHEAD FRAMING SHEET A1 FOR DIMENSIONS.
- 17 TRASH RECEPTACLE
- 18 FREDDY'S SIGN (AB3VE) BY OWNER INSTALLED BY SIGN MANUFACTURER
- 19 SOFFIT ABOVE SEE 2/A2.1
- 20 2" PVC SLEEVE TO ALLOW SODA DRAINS TO FS
- 21 SS DRINK COUNTER PROVIDED BY EQUIP SUPPLIER REF. K SHEETS
- 22 PICKUP COUNTER SOFFIT ABOVE SEE BULKHEAD FRAMING SHEET A1 FOR DIMENSIONS.
- 23 SEE SH1, A10 FOR COUNTER DETAILS AND DIMENSIONS
- 24 NOT USED
- 25 2A10BC FIRE EXTINGUISHER
- 26 SWITCH BANK
- 27 CUSTARD AND DRIVE THRU COUNTERS BY EQUIPMENT SUPPLIER REF. K SHEETS
- 28 EXHAUST HOOD ABOVE
- 29 SYRUP LINES ABOVE CLG.
- 30 CONDENSATE HOOD ABOVE
- 31 PLASTIC LAMINATE COUNTERTOP
- 32 NOT USED
- 33 HOT WATER HEATER
- 34 CO2 TANK & RESERVE BACK UP TANK
- 35 ELECTRICAL PANELS
- 36 NOT USED
- 37 NOT USED
- 38 ICE MACHINE
- 39 TYPE "K" FIRE EXTINGUISHER
- 40 BAG N BOX
- 41 MOP SINK
- 42 FREEDUCATION STATION & CHAIR
- 43 ROOF LADDER
- 44 ADA TACTILE RR SIGN
- 45 HAND SINK
- 46 WATER FILTER
- 47 1 1/2" WATER SUPPLY (REF. ONLY)
- 48 NOT USED
- 49 NOT USED
- 50 DESK MOUNTED POS MONITOR
- 51 POLE MOUNTED MENU MONITOR
- 52a WALL MOUNTED MENU MONITOR
- 52b WALL MOUNTED DRINK MONITOR
- 52c DESK MOUNTED OFFICE MONITOR
- 53a WALL MOUNTED DRIVE THRU CAMERA MONITOR
- 54 WALL MOUNTED HEADSET STATION
- 55 6' x 6" DOWNSPOUT PAINTED TO MATCH EFS
- 56 NOT USED
- 57 NOT USED
- 58 NOT USED
- 59 3/4" PVC FOR VIDEO CAMERA. VERIFY EXACT LOCATION
- 60 DETECTOR LOOP
- 61 HIGH CHAIRS
- 62 RECESSED SS EASIWASH CAB. PAINTED TO MATCH BRICK
- 63 EASI WASH SYSTEM WALL MOUNTED
- 64 STEEL BEAM LINE ABOVE REF. TO STRUCTURAL
- 65 SS FILLER PANEL BY G.C.
- 66a 1,400 lb CAPACITY INDOOR OIL TANKS. MFG. RESTAURANT TECHNOLOGIES. TANK HEIGHT 8" & DIAMETER 23" EACH.
- 66b OIL TANK LINE ABOVE CEILING. SLOPE DOWN FOR OIL RECOVERY.
- 67 GREASE INTERCEPTOR



(A) ARCHITECTURAL FLOOR PLAN

7/4" = 1'-0"

REFER TO SHEET A1 FOR ALL STUD WALL, COLUMN AND WINDOW ROUGH OPENING LOCATIONS AND WALL PARTITION CALLOUTS

AREA CALCULATIONS: (NET)

VESTIBULE	72 SQ. FT.
DINING	1,346 SQ. FT.
CUSTARD	235 SQ. FT.
COOKLINE	410 SQ. FT.
MECHNL / STORAGE	229 SQ. FT.
DISHWASH	104 SQ. FT.
OFFICE	44 SQ. FT.
RESTROOMS	226 SQ. FT.
HALL	57 SQ. FT.
COOLER / FREEZER	230 SQ. FT.
PATIO	399 SQ. FT.
FREDDY'S AREA	3,010 SQ. FT.

SEATING CALCULATIONS:

(4) 4 SEAT BOOTHS	16
(4) 6 SEAT BOOTHS	24
(13) 4 SEAT TABLES	52
TOTAL IN STORE DINING	92
PATIO SEATING	
(5) 6 SEAT TABLES	30
TOTAL W/ PATIO SEATING	122

GENERAL PLAN NOTES:

- A SAFE BY OWNER INSTALLED TO FLOOR
- BY G.C. (VERIFY)
- B WAUSAU TILE CEMENT TABLE (BY OWNER)
- C WAUSAU TILE CEMENT RECEPTACLE (BY OWNER)
- D 3" PVC ELBOW WHERE LIQUID REFRIG. LINES COME THRU WALL - REFER TO DETAIL BY KITCHEN EQUIP SUPPLIER SHEET K3
- E ALLEGION US 41074124231 ALUMINUM DOOR STOP, DOME STOP, FLOOR MOUNTED, 1-3/4" x 2" OVAL, ALUMINUM FINISH.
- F PROGRADE 5' x 5' SMOOTH LEVEL CONCRETE LANDING AT REQUIRED EXITS TO MEET ADA REQUIREMENTS
- TE NEW MIN. TYPE 2A 130C WALL MOUNT FIRE EXTINGUISHER PROVIDED BY VENDOR AND INSTALLED BY GC. T.O. 60" A.F.F. MAX. PROTRUSION INTO PATH OF CIRCULATION 4" MAX.
- K NEW TYPE K WALL MOUNT FIRE EXTINGUISHER PROVIDED BY VENDOR AND INSTALLED BY GC. T.O. 60" A.F.F. MAX. PROTRUSION INTO PATH OF CIRCULATION 4" MAX
- G.C. TO PROVIDE MIN. OF (2) FIRE EXTINGUISHERS. G.C. TO VERIFY & COORDINATE LOCATIONS AND QUANTITIES WITH LOCAL FIRE MARSHAL
- SS STAINLESS STEEL CORNER GUARDS REFER TO SHEET A7.1 FOR CORNER EDGE DETAILS.

FRAMING LEGEND:

- 2x WOOD STUDS @ 16" o.c. SEE WALL PARTITIONS SHT. A11 FOR WALL WIDTHS AND NOTES
- NEW METAL STUDS SEE WALL PARTITIONS SHT. A11 FOR WALL WIDTHS AND NOTES
- 2x WOOD STUDS @ 16" o.c. W/ FULL BATT INSU. SEE WALL PARTITIONS SHT. A11 FOR WALL WIDTHS AND NOTES
- NEW COOLER WALLS
- BRICK - SEE EXTERIOR FINISH SCHEDULE SHEET A3.3

LADSON OAKBROOK

AQUA NAILS

CINEMARK

ANYTIME FITNESS

BRAT'S TANNING & SAUNA

LIQUOR WINE LOTTERY

CAPANNOS Pizza

W Studio

Hibachi Fusion

CHINA CITY

PHARMACY

CASH DOCTORS

\$1.99 CLEANERS

COMICS

Axis Physical Therapy

UPSCALE BARBER SHOP & SALON



Play Here
The Official
Georgia
Education
Lottery

STUDIO

LADDER

CASH ON HAND

CASH DOCTOR















STAFF REPORT
CDRB Meeting
September 17, 2020 at 4:00 p.m.

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: September 9, 2020

GENERAL INFORMATION

Applicant: SEED Architecture LLC – John Powell
Property Owner: 105 Midland Parkway LLC
Requested Action: The applicant is requesting Conceptual Review of a proposed 6,300 sf freestanding optometry office
Requested Approval: Conceptual Review
Existing Zoning: UC-MX Urban Corridor Mixed Use
Adjacent Zoning: **North:** UC-MX Urban Corridor Mixed Use
South: UC-MX Urban Corridor Mixed Use
East: PUD Planned Development District
West: UC-MX Urban Corridor Mixed Use
Location: 105 Midland Parkway
Existing Land Use: Closed Carwash
Prior Approvals: First Meeting
Ordinance Reference:

Sec. 13.3.5. Design Review Board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

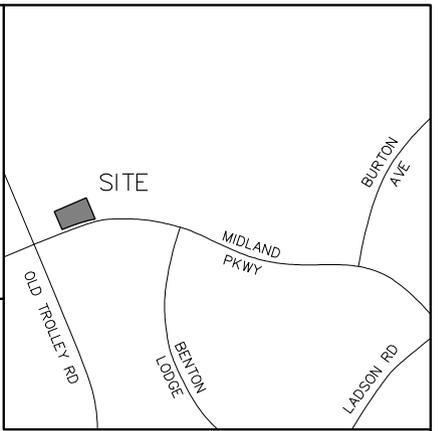
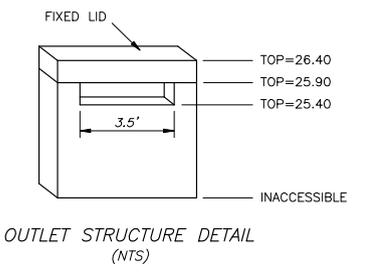
Based upon staff review the following comments must be addressed to meet requirements. A pedestrian connection from the interior of the site to the existing sidewalk is required. A connection to the Publix Shopping center drive aisle is preferred. DOT encroachment permits will be required for the relocation of the driveway as well as for the detention outfall. ADA Parking should be located at the shortest distance from the front door. A Landscape Plan and Photo Metric Plan have not yet been submitted. A Tree Survey has been submitted, but the plan has not been overlay, tree preservation and possible Tree Protection Board may be required. 39 parking spaces are shown, minimum parking is 19 spaces, 200% of minimum is 38, 1 parking space must be constructed with pervious pavers or eliminated. Dumpster enclosure detail required, to be constructed of materials to match the building. Landscaped Island spacing may not meet the required tree overlay requirement, will need to be restudied with the submittal of the landscape

plan. The building is mostly brick with cement board siding accents. The ground floor façade does not meet the 65% transparency requirement, this deviation from the requirement can be approved by the DRB.

KNIGHT SURVEYING & MAPPING, LLC
 Professional Land Surveying Services
 P.O. Box 13885
 Charleston, SC 29422
 843.789.0850
 803.385.8698
 www.knightsurveying.com

- NOTES:
1. VERTICAL DATUM: NAVD '88
 2. NO NEW LOT LINES CREATED, SUB-DIVISION REGULATIONS DO NOT APPLY
 3. PROPERTY LIES WITHIN F.E.M.A. SPECIAL FLOOD HAZARD ZONE "X" AS SHOWN ON FLOOD INSURANCE RATE MAP #45035C0408E (7/18/2017).
 4. NO UNDERGROUND UTILITIES LOCATED OR SHOWN
 5. WETLANDS SHOWN ON PLAT I-65 FILLED BY WESTVACO DEVELOPMENT CORP AND COVERED UNDER DEPARTMENT OF THE ARMY PERMIT NO. 89-2A-005.

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	271.19	1563.42	S71°38'22"W	270.85



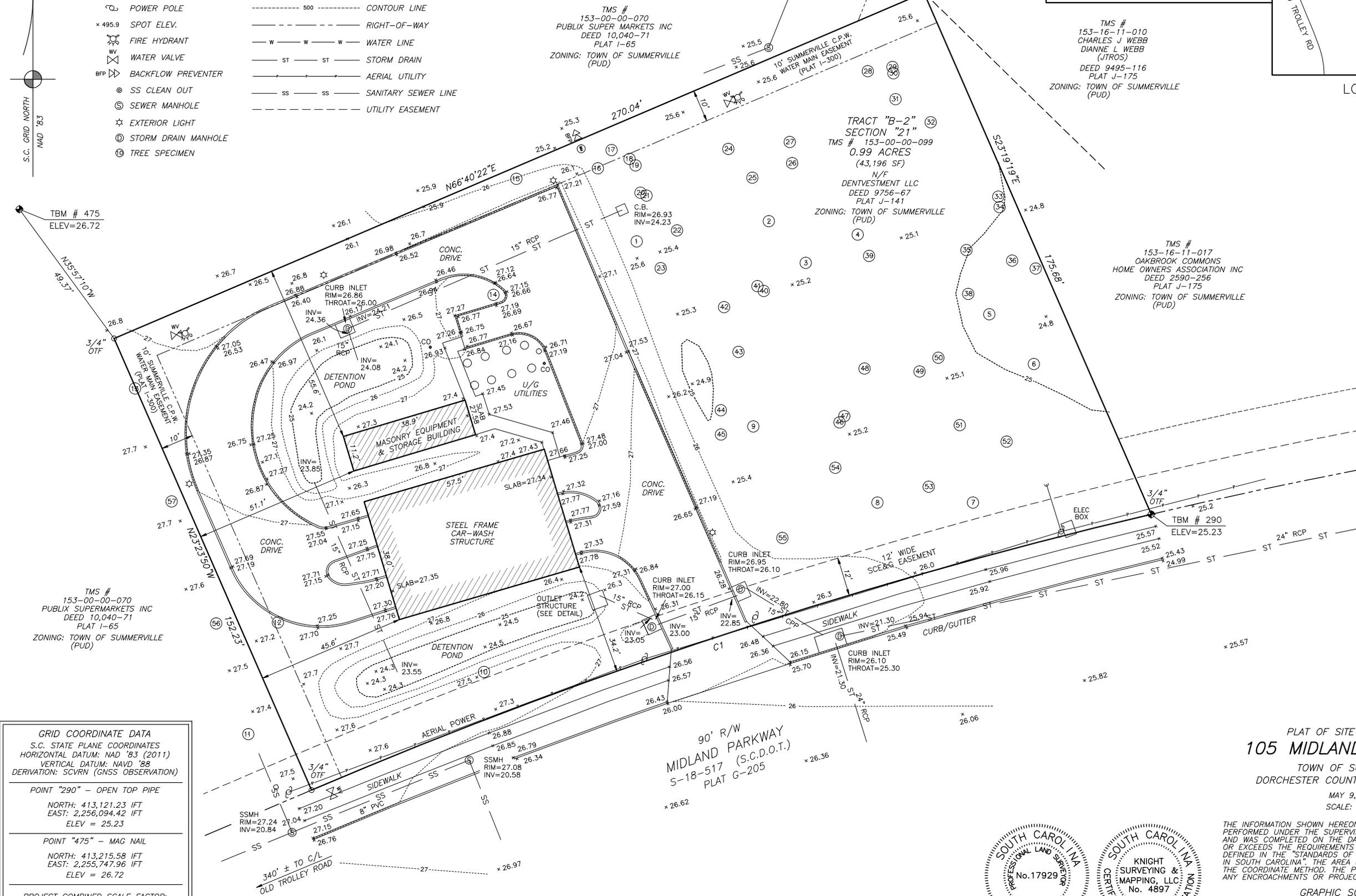
LOCATION MAP (NTS)

TREE TABLE

- 1 15.7" WATER OAK
- 2 18.5" SPRUCE PINE
- 3 19" WATER OAK
- 4 7+13+19 SWEETGUM
- 5 16.5" SWEETGUM
- 6 16.5" LOBLOLLY PINE
- 7 9+9+5 WATER OAK
- 8 17.5" LOBLOLLY PINE
- 9 19.5" LAUREL OAK
- 10 18" LOBLOLLY PINE
- 11 18.5" LIVE OAK
- 12 8+5+13 WATER OAK
- 13 17" LIVE OAK
- 14 14" FOOTPALM
- 15 5+5+6 MAGNOLIA
- 16 7" PINE
- 17 12" PINE
- 18 11" SWEET GUM
- 19 9.5" HICKORY
- 20 10" PINE
- 21 13" HICKORY
- 22 10" SWEET GUM
- 23 12" SWEET GUM
- 24 12.5" HICKORY
- 25 10" HICKORY
- 26 13.5" WATER OAK
- 27 11.5" HICKORY
- 28 13" WATER OAK
- 29 6" BLACK GUM
- 30 8" WATER OAK
- 31 12" HICKORY
- 32 10.5" WATER OAK
- 33 10" SWEET GUM
- 34 7.5" SWEET GUM
- 35 12" HICKORY
- 36 12" CHESTNUT OAK
- 37 11.5" SWEET GUM
- 38 11" SWEET GUM
- 39 13.5" WATER OAK
- 40 7" TALLOW
- 41 6.5" TALLOW
- 42 7" TALLOW
- 43 8" TALLOW
- 44 14.5" LAUREL OAK
- 45 13" SWEET GUM
- 46 11.5" SWEET GUM
- 47 10.5" BLACK GUM
- 48 11" SWEET GUM
- 49 14.5" CHESTNUT OAK
- 50 10" WATER OAK
- 51 16" WATER OAK
- 52 12.5" WATER OAK
- 53 14.5" WATER OAK
- 54 6" TALLOW
- 55 13.5" HICKORY
- 56 10" LIVE OAK
- 57 12" LIVE OAK

- PROJECT: 19150.00
- LEGEND**
- POWER POLE
 - SPOT ELEV.
 - FIRE HYDRANT
 - WATER VALVE
 - BACKFLOW PREVENTER
 - SS CLEAN OUT
 - SEWER MANHOLE
 - EXTERIOR LIGHT
 - STORM DRAIN MANHOLE
 - TREE SPECIMEN

- LEGEND**
- CONTOUR LINE
 - RIGHT-OF-WAY
 - WATER LINE
 - STORM DRAIN
 - AERIAL UTILITY
 - SANITARY SEWER LINE
 - UTILITY EASEMENT



GRID COORDINATE DATA
 S.C. STATE PLANE COORDINATES
 HORIZONTAL DATUM: NAD '83 (2011)
 VERTICAL DATUM: NAVD '88
 DERIVATION: SCVRN (GNSS OBSERVATION)

POINT "290" - OPEN TOP PIPE
 NORTH: 413,121.23 IFT
 EAST: 2,256,094.42 IFT
 ELEV = 25.23

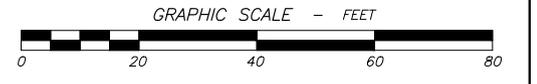
POINT "475" - MAG NAIL
 NORTH: 413,215.58 IFT
 EAST: 2,255,747.96 IFT
 ELEV = 26.72

PROJECT COMBINED SCALE FACTOR:
 0.99987389 (GROUND TO GRID)
 ACREAGE & DISTANCES SHOWN
 BASED ON FIELD GROUND DISTANCES



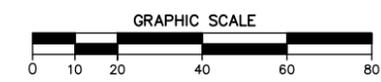
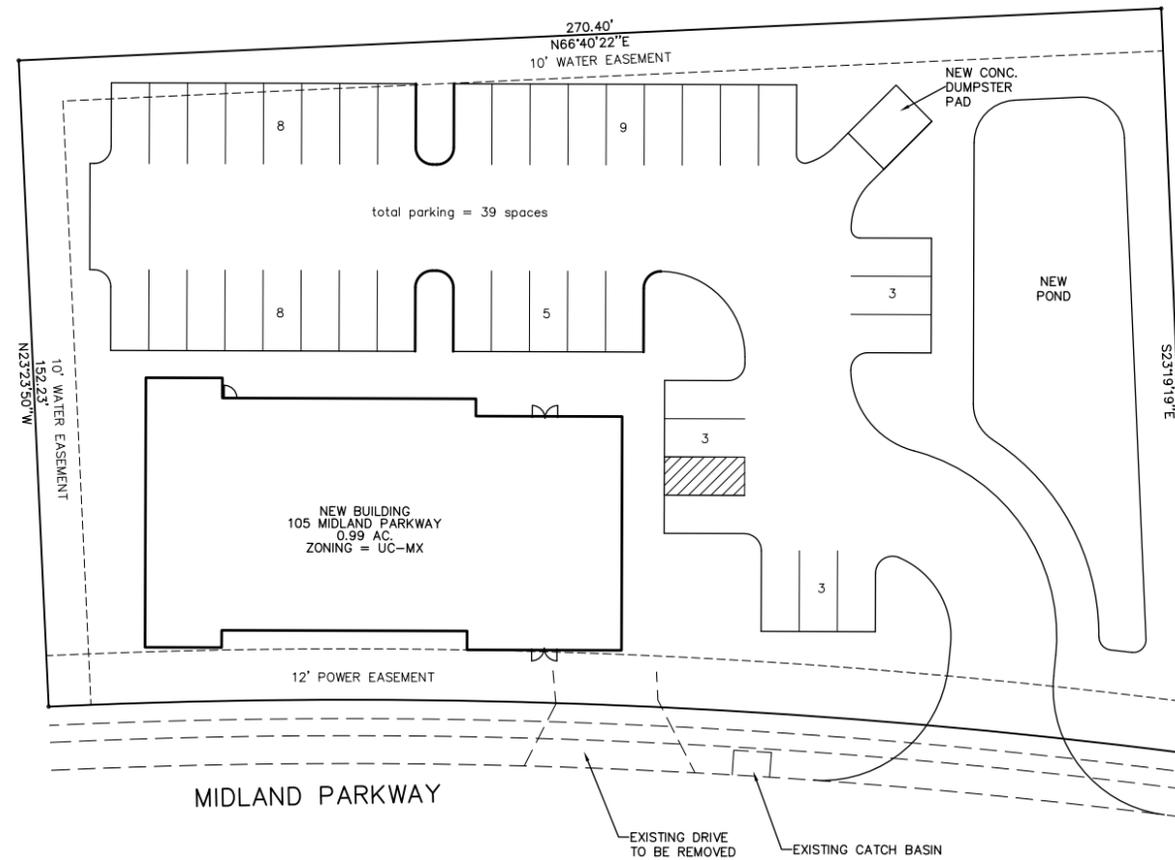
PLAT OF SITE SURVEY FOR
105 MIDLAND PKWY, LLC
 TOWN OF SUMMERVILLE
 DORCHESTER COUNTY, SOUTH CAROLINA
 MAY 9, 2019
 SCALE: 1"=20'

THE INFORMATION SHOWN HEREON IS THE RESULT OF A SURVEY PERFORMED UNDER THE SUPERVISION OF J. CHRIS KNIGHT, PLS AND WAS COMPLETED ON THE DATE SHOWN. THE SURVEY MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS DEFINED IN THE "STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA". THE AREA (IF SHOWN) WAS DETERMINED BY THE COORDINATE METHOD. THE PROPERTY IS NOT SUBJECT TO ANY ENCROACHMENTS OR PROJECTIONS UNLESS OTHERWISE NOTED.



PRELIMINARY

SUBJECT TO SIGNIFICANT CHANGE UNTIL FULLY PERMITTED



HB Engineering
 SITE DEVELOPMENT CONSULTANTS
 720 OLD CHEROKEE ROAD
 LEXINGTON, SOUTH CAROLINA 29072
 803-957-7027 FAX 877-728-0808

OCEAN EYE OPTOMETRY
 105 MIDLAND PARKWAY
 TOWN OF SUMMERVILLE
 SOUTH CAROLINA

No.	Date	Revision

Sheet Title:
PRELIMINARY SITE PLAN

Drawn by: MR
 Designed by: MR
 Checked by: MR
 Scale: 1"=20'
 Project No. _____ or 1
 Date: 8/16/2020 Drawing No. **1**

THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC, IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.

OCEAN EYE OPTOMETRY

105 MIDLAND PARKWAY SUMMERVILLE, SC 29485

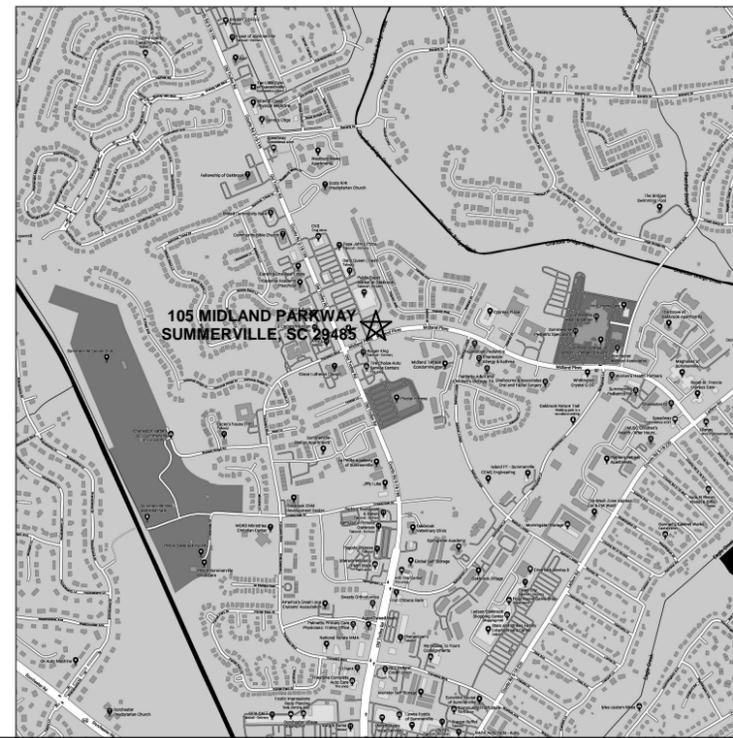
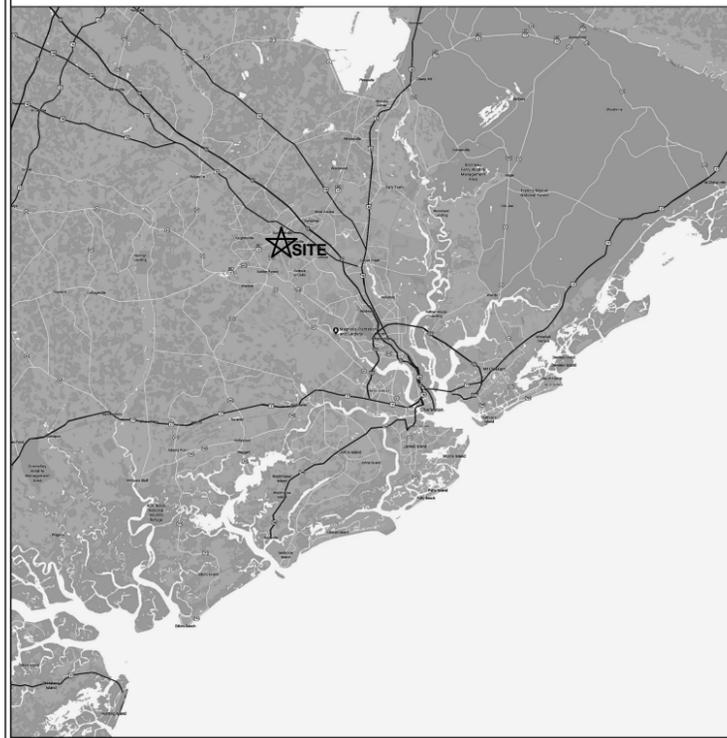
GENERAL NOTES

ARCHITECTURAL DRAWINGS IN ALL CASES FOR WHICH STANDARD ARCHITECTURAL SERVICES REFLECT THE BEST SOURCE OF DESIGN GUIDELINES. FOR ALL STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL OR CIVIL ENGINEERING REQUIREMENTS GC IS RESPONSIBLE FOR CONSULTING WITH SUBCONTRACTORS AND/OR ENGINEERS OF SUCH SPECIALIZATION THAT BEST PRACTICES FOR EACH DISCIPLINE ARE KNOWN AND ADHERED TO THROUGH THE CONSTRUCTION PROCESS.

COORDINATE AND PROVIDE ALL CONSTRUCTION PERMITS AND APPROVALS NECESSARY FOR CONSTRUCTION. FEES REQUIRED FOR THE COMPLETION OF THE WORK TO BE PAID BY GC

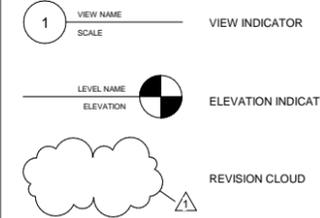
INTERIOR FINISHES, TRIM SELECTIONS, FIXTURE AND SOME DETAIL ITEMS TO BE SELECTED BY OWNER. GC TO PROVIDE OWNER WITH SUITABLE ALLOWANCE FOR SUCH ITEMS REFLECTING THE QUALITY OF CONSTRUCTION ILLUSTRATED AND ALLOW 2 WEEK MINIMUM FOR OWNER SELECTION.

DO NOT SCALE DRAWINGS. IF REQUIRED DIMENSIONS DO NOT APPEAR IN THE CONSTRUCTION DOCUMENTS PLEASE CONTACT THE ARCHITECT OF RECORD.

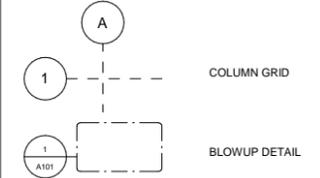


DRAWING INDEX	
SHEET NUMBER	SHEET NAME
CVR	COVER SHEET
G10	CODE REVIEW
G20	STANDARD DETAILS & WALL TYPES
AC101	ARCHITECTURAL SITE PLAN
A100	1ST FLOOR PLAN
A101	REFLECTED CEILING PLAN
A200	EXTERIOR ELEVATIONS
A201	BUILDING ELEVATIONS
A301	BUILDING SECTIONS & DETAILS
A401	WALL SECTIONS
A402	WALL SECTIONS
A600	ENLARGED PLANS & ELEVATIONS
A601	ENLARGED PLANS & ELEVATIONS
A602	ENLARGED PLANS & ELEVATIONS
A604	ENLARGED PLANS & ELEVATIONS
A650	FINISH SCHEDULE & DETAILS
A651	DOOR SCHEDULE & DETAILS

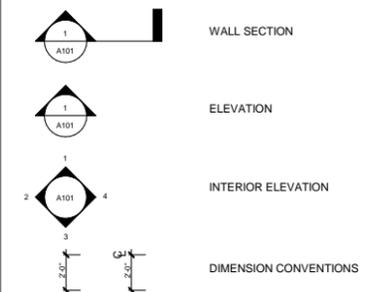
DRAWING CONVENTIONS



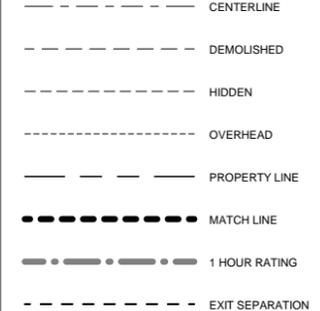
IDENTITY SYMBOLS



REFERENCE SYMBOLS



LINE SYMBOLS



ABBREVIATIONS

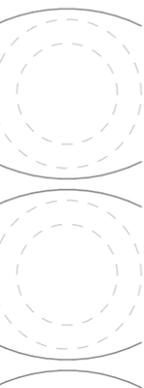
@	AT
AFF	ABOVE FINISH FLOOR
ARCH	ARCHITECTURAL
CL	CENTERLINE
CJ	CONTROL JOINT
CTR	CENTER
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
DS	DOWNSPOUT
DWG	DRAWING
EXT	EXTERIOR
EXIST	EXISTING
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
EL	ELEVATION
ELEV	ELEVATOR
EQ	EQUAL
EQUIP	EQUIPMENT
EWV	ELECTRICAL WATER COOLER
FD	FLOOR DRAIN
FFC	FIRE EXTINGUISHER CABINET
GYP BD	GYPSPUM BOARD
HM	HOLLOW METAL
HVAC	HEATING, VENTILATION, AIR-CONDITIONING
INSUL	INSULATION
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OPP	OPPOSITE
PT	PRESSURE TREATED
REQD	REQUIRED
RD	ROOF DRAIN
SF	SQUARE FEET
SIM	SIMILAR
SPEC	SPECIFICATIONS
STD	STANDARD
STR	STRUCTURAL
TOS	TOP OF STEEL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD



SEEDARCHITECT.COM
2144 SUMTER STREET
COLUMBIA, SC 29201
803.727.2098



COHN
CONSTRUCTION SERVICES



OCEAN EYE OPTOMETRY
105 MIDLAND PKWY, SUMMERVILLE, SC 29485

PROJECT SHEET

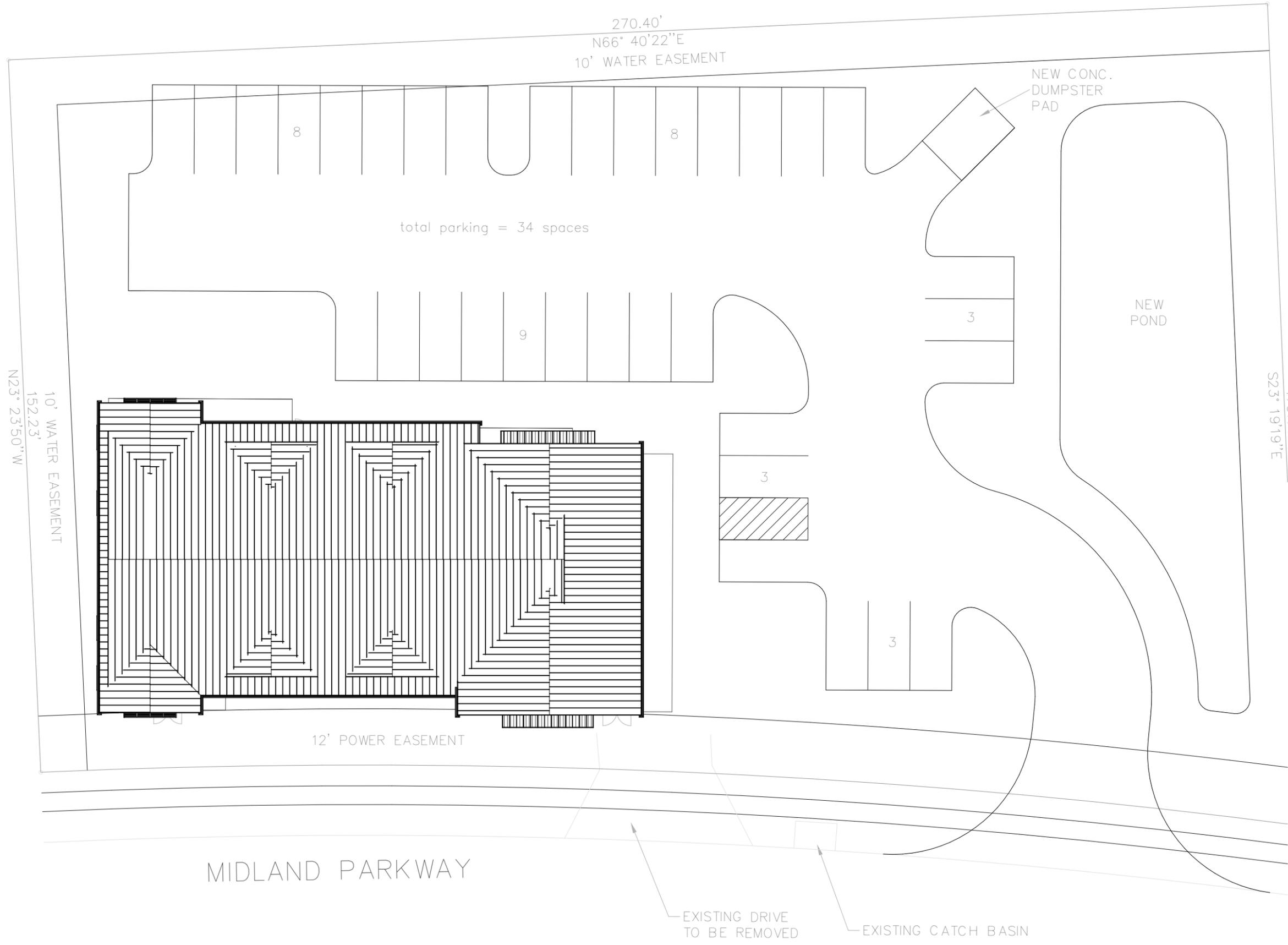
REVISIONS

CVR

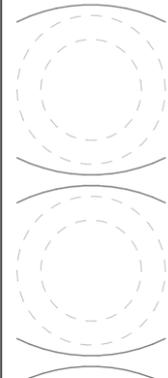
JOB # 20020
DATE 08/16/2020

COVER SHEET
SCHEMATIC DESIGN

THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC, IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.



1 Site
1" = 10'-0"



OCEAN EYE OPTOMETRY
 105 MIDLAND PKWY, SUMMERVILLE, SC 29485
ARCHITECTURAL SITE PLAN
 SCHEMATIC DESIGN

PROJECT SHEET

REVISIONS

AC101
 JOB # 20020
 DATE 08/16/2020

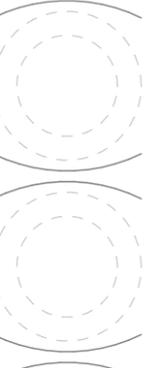
THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC, IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.



SEEDARCHITECT.COM
2144 SUMMIT STREET
COLUMBIA, SC 29201
803.727.2098



COHN
CONSTRUCTION SERVICES

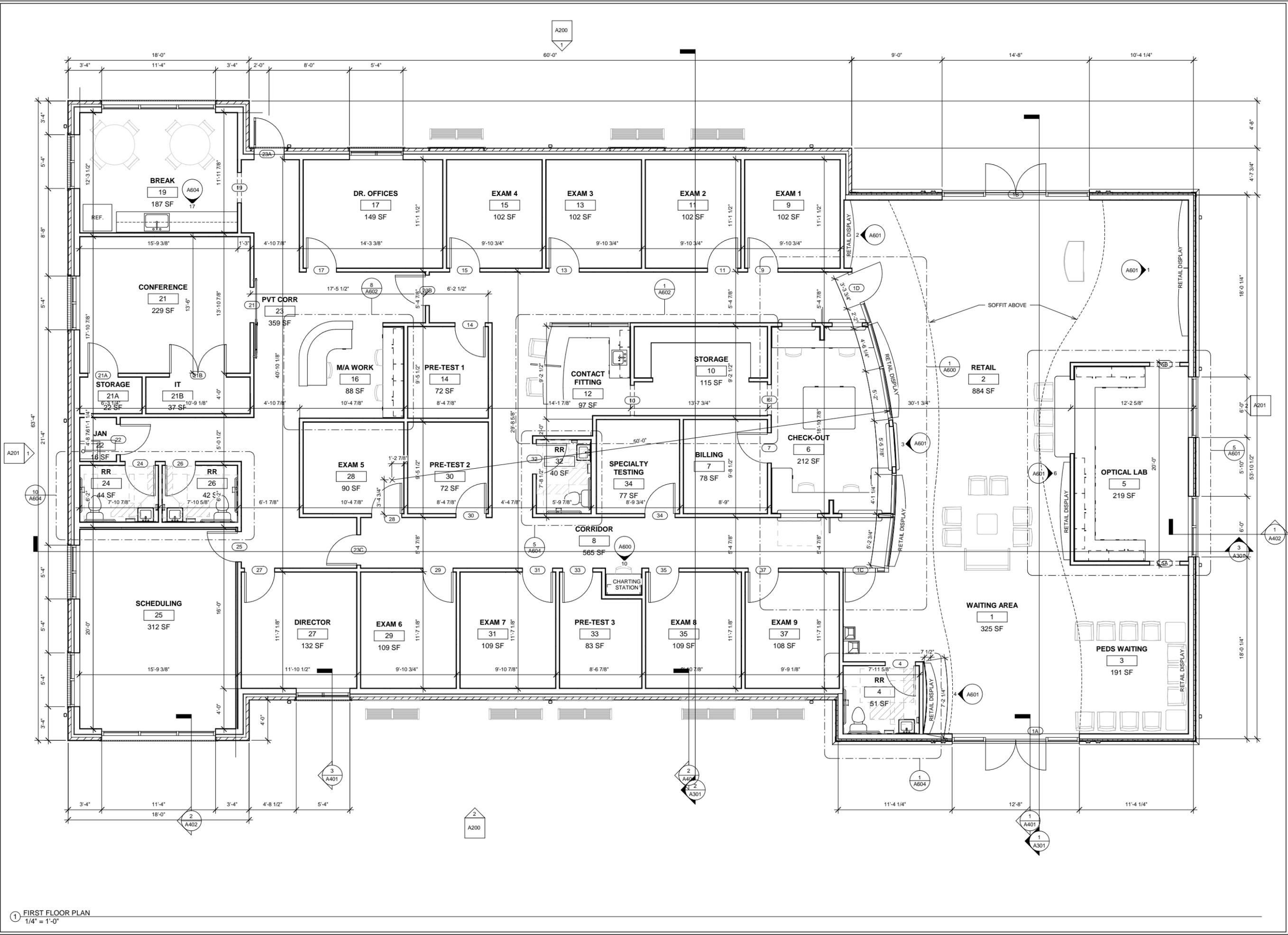


OCEAN EYE OPTOMETRY
105 MIDLAND PKWY, SUMMERVILLE, SC 29485
1ST FLOOR PLAN
SCHEMATIC DESIGN

PROJECT SHEET

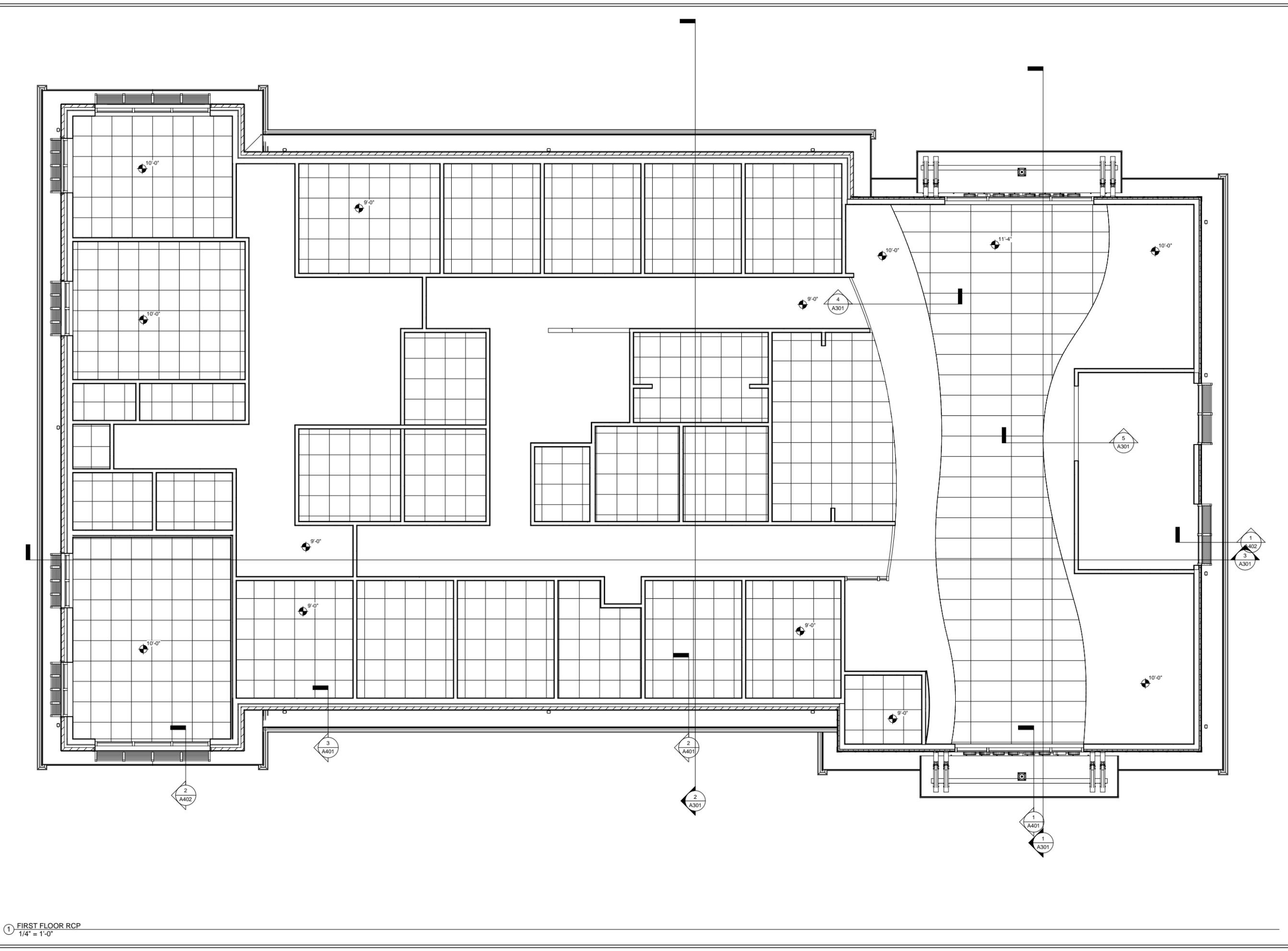
REVISIONS

A100
JOB # 20020
DATE 08/16/2020

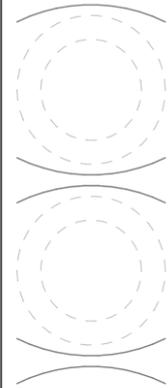


1 FIRST FLOOR PLAN
1/4" = 1'-0"

THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC, IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.



1 FIRST FLOOR RCP
1/4" = 1'-0"



OCEAN EYE OPTOMETRY
105 MIDLAND PKWY, SUMMERVILLE, SC 29485
REFLECTED CEILING PLAN
SCHEMATIC DESIGN

PROJECT SHEET

REVISIONS

A101
JOB # 20020
DATE 08/16/2020

THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC, IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.

STANDING SEAM METAL ROOFING, TYPICAL.
HARDI OR EQUAL CEMENT BOARD TRIM MATERIALS, TYPICAL.

HARDI OR EQUAL CEMENT BOARD SIDING IN BOARD & BATTEN STYLE APPLICATION, TYPICAL.

SIGNAGE TO BE COORDINATED BY GC TO COMPLY WITH OWNERS SIGNAGE REQUIREMENTS.

TYPICAL 4" NOMINAL STOREFRONT WINDOW SYSTEM WITH INSULATED GLAZING TO COMPLY WITH MINIMUM ENERGY REQUIREMENTS FOR REGION/LOCATION.

CONTINUOUS ROLL FABRICATED GUTTERS. COORDINATE GUTTER SIZING AND DOWNSPOUT LOCATIONS BASED ON ELEVATIONS AND DRAINAGE BELOW.
TYPICAL SOLIDER HEAD OVER STEEL LINTEL, PAINTED.
PREFABRICATED ALUMINUM BERMUDA SHUTTERS ON HOLD OPEN RODS, TYPICAL. KYNAR APPLIED FACTORY FINISH TO CUSTOM COLOR AS SELECTED BY OWNER.
ROUND DOWNSPOUTS TIED INTO STORM DRAINAGE SYSTEM BEYOND.

BRICK VENEER ABOVE AND BELOW SOLDIER COURSE ALIGNED WITH DETAIL BEYOND, SEE TYPICAL WALL SECTIONS.

1 REAR ELEVATION
1/4" = 1'-0"

HARDI OR EQUAL CEMENT BOARD TRIM MATERIALS, TYPICAL.
STANDING SEAM METAL ROOFING, TYPICAL.

PREFABRICATED ALUMINUM BERMUDA SHUTTERS ON HOLD OPEN RODS, TYPICAL. KYNAR APPLIED FACTORY FINISH TO CUSTOM COLOR AS SELECTED BY OWNER.
TYPICAL 4" NOMINAL STOREFRONT WINDOW SYSTEM WITH INSULATED GLAZING TO COMPLY WITH MINIMUM ENERGY REQUIREMENTS FOR REGION/LOCATION.

HARDI OR EQUAL CEMENT BOARD TRIM MATERIALS, TYPICAL.
HARDI OR EQUAL CEMENT BOARD SIDING IN BOARD & BATTEN STYLE APPLICATION, TYPICAL.
CUSTOM FABRICATED BRACKETS/BRACES. SEE WALL SECTION DETAILS.

BRICK VENEER ABOVE AND BELOW SOLDIER COURSE DETAIL, SEE TYPICAL WALL SECTIONS.

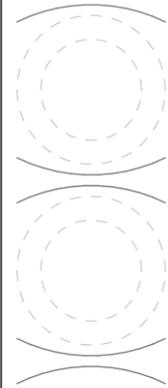
2 FRONT ELEVATION
1/4" = 1'-0"



SEEDARCHITECT.COM
2144 SUMTER STREET
COLUMBIA, SC 29201
803.727.2098



COHN
CONSTRUCTION SERVICES



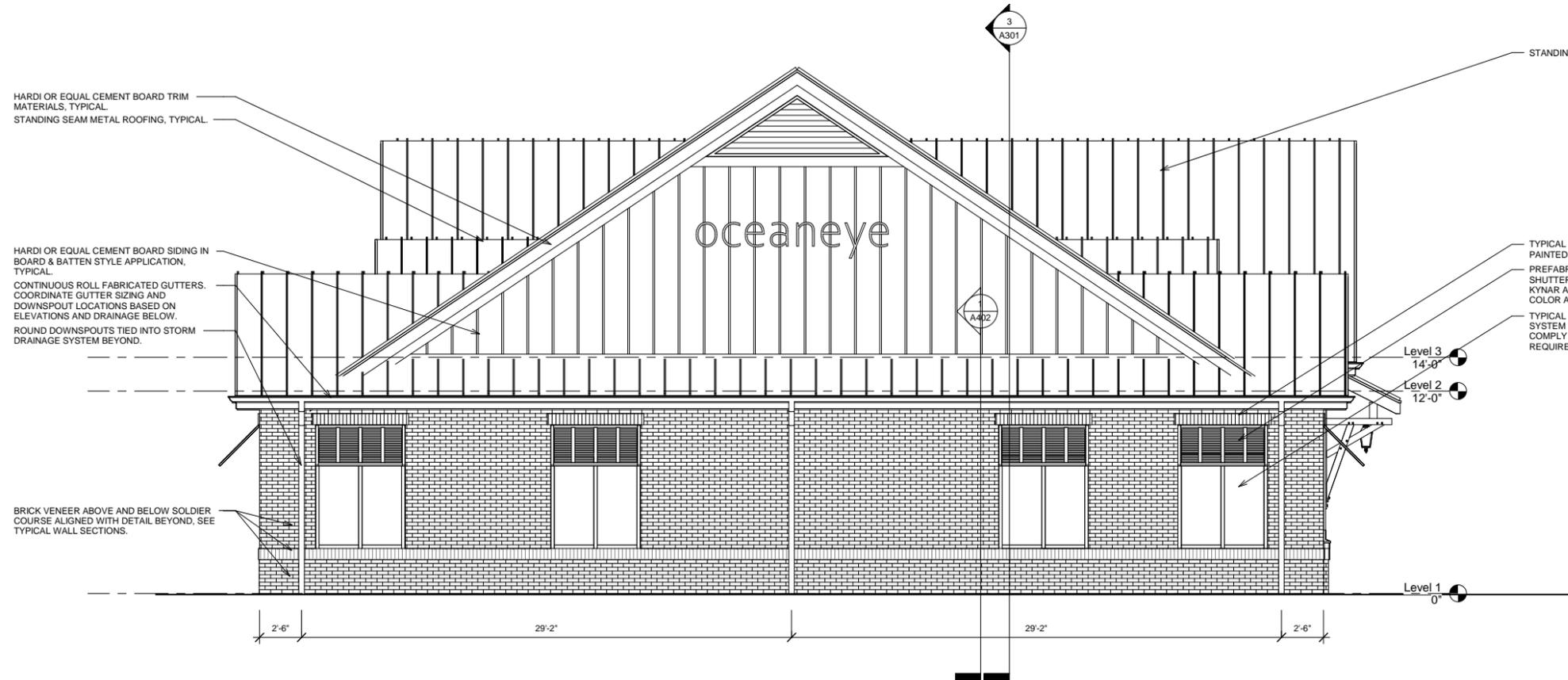
OCEAN EYE OPTOMETRY
105 MIDLAND PKWY, SUMMERVILLE, SC 29485
EXTERIOR ELEVATIONS
SCHEMATIC DESIGN

PROJECT SHEET

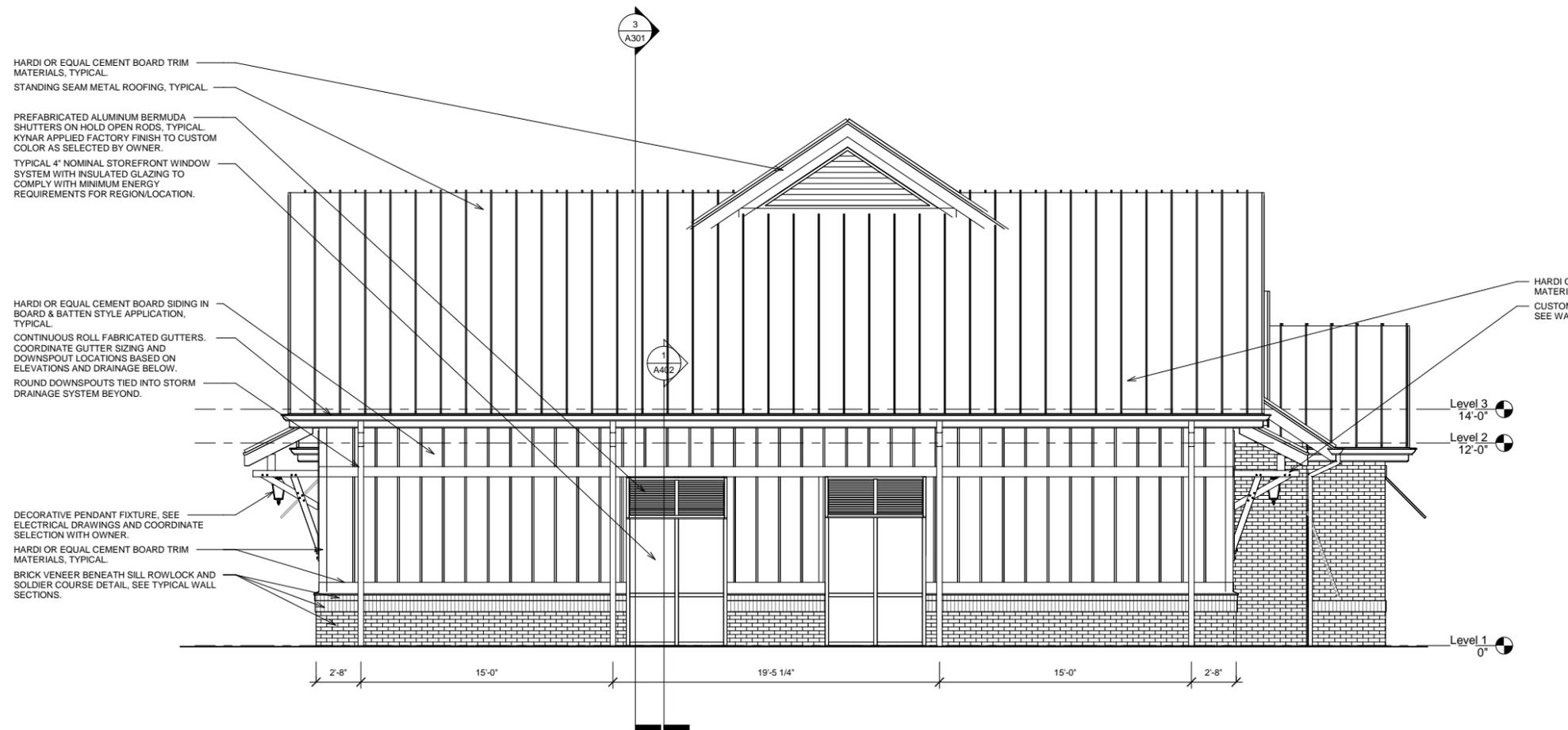
REVISIONS

A200
JOB # 20020
DATE 08/16/2020

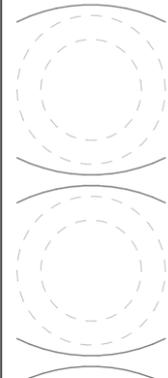
THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC, IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.



1 LEFT SIDE ELEVATION
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
1/4" = 1'-0"



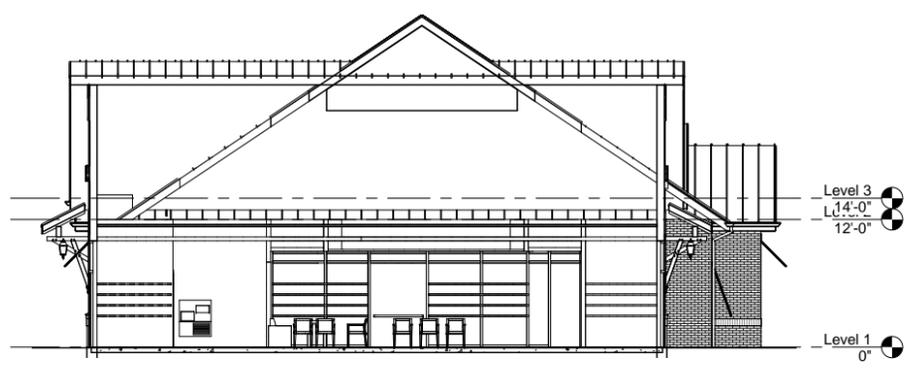
OCEAN EYE OPTOMETRY
105 MIDLAND PKWY, SUMMERVILLE, SC 29485
BUILDING ELEVATIONS
SCHEMATIC DESIGN

PROJECT SHEET

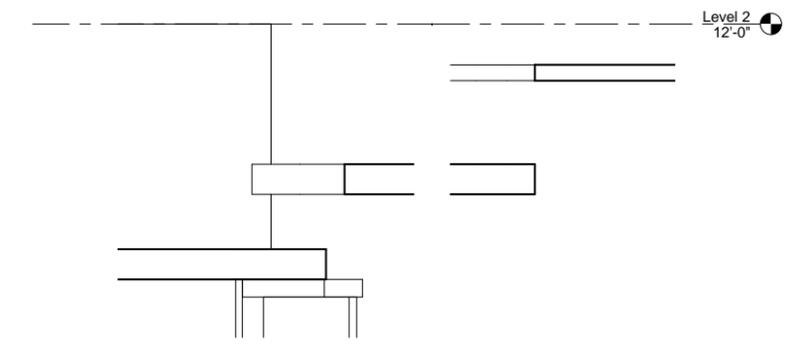
REVISIONS

A201
JOB # 20020
DATE 08/16/2020

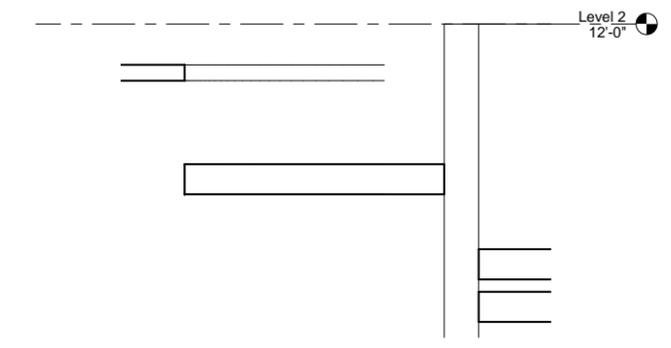
THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC. IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.



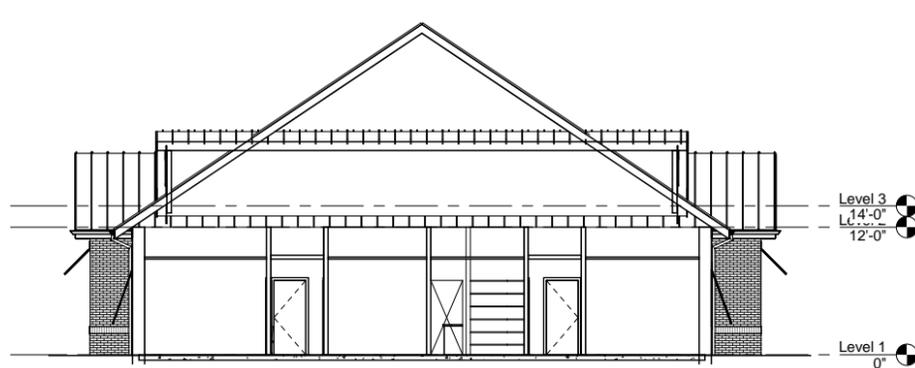
① Section 1
1/8" = 1'-0"



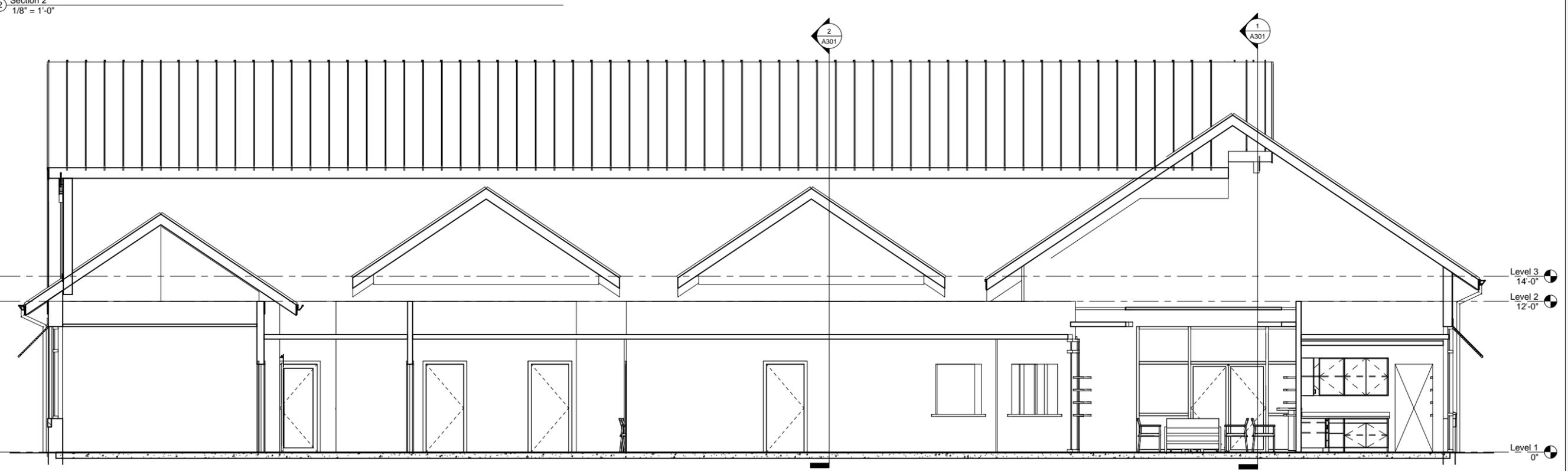
④ SOFFIT DETAIL SECTION
1" = 1'-0"



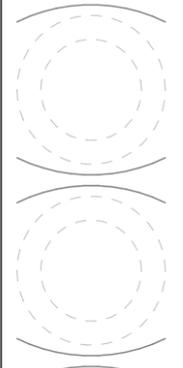
⑤ SOFFIT DETAIL SECTION1
1" = 1'-0"



② Section 2
1/8" = 1'-0"



③ Section 3
1/4" = 1'-0"



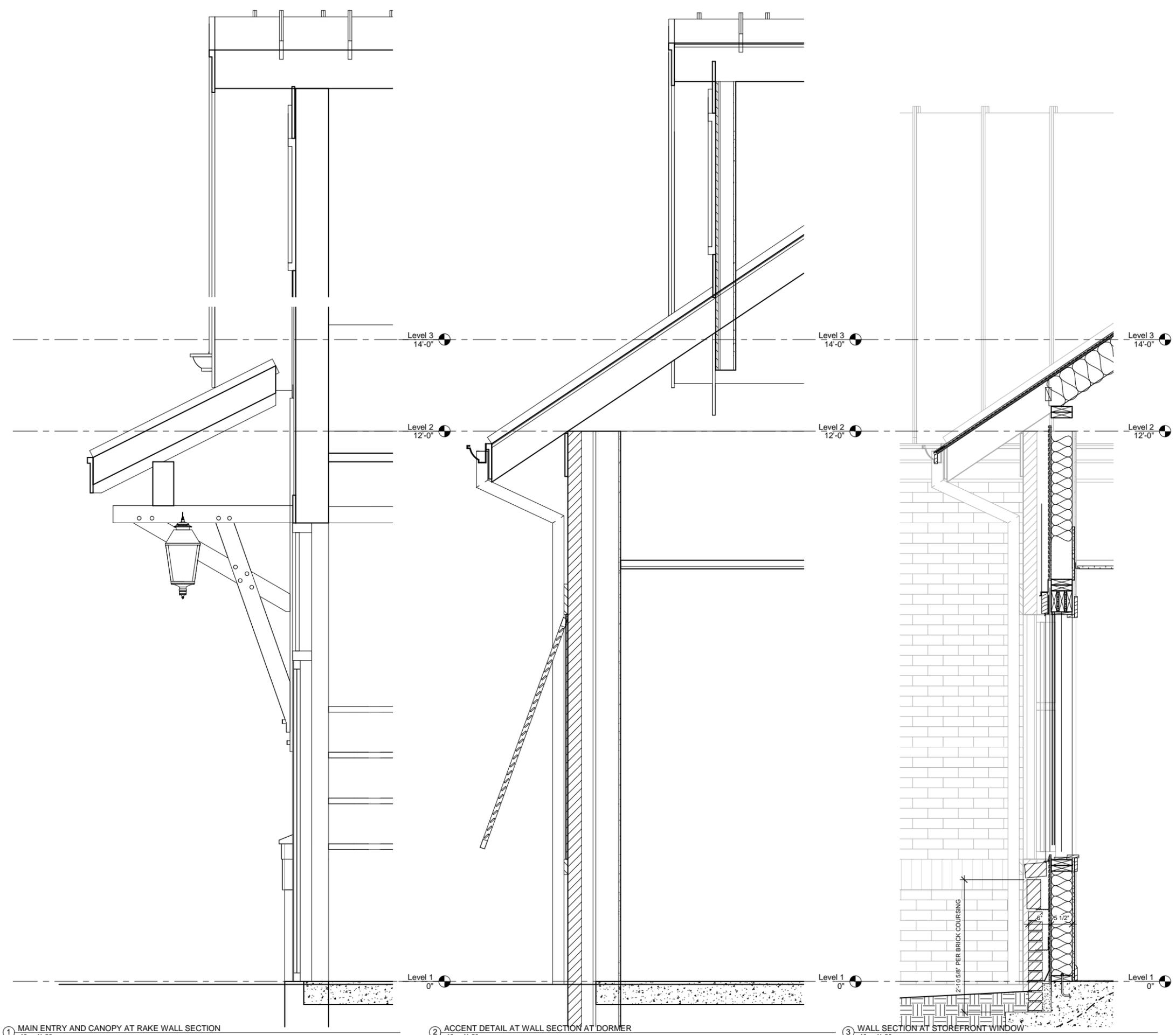
OCEAN EYE OPTOMETRY
105 MIDLAND PKWY, SUMMERVILLE, SC 29485
BUILDING SECTIONS & DETAILS
SCHEMATIC DESIGN

PROJECT SHEET

REVISIONS

A301
JOB # 20020
DATE 08/16/2020

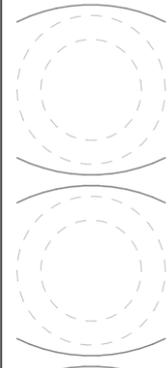
THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC, IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.



① MAIN ENTRY AND CANOPY AT RAKE WALL SECTION
1" = 1'-0"

② ACCENT DETAIL AT WALL SECTION AT DORMER
1" = 1'-0"

③ WALL SECTION AT STOREFRONT WINDOW
1" = 1'-0"



OCEAN EYE OPTOMETRY
105 MIDLAND PKWY, SUMMERVILLE, SC 29485

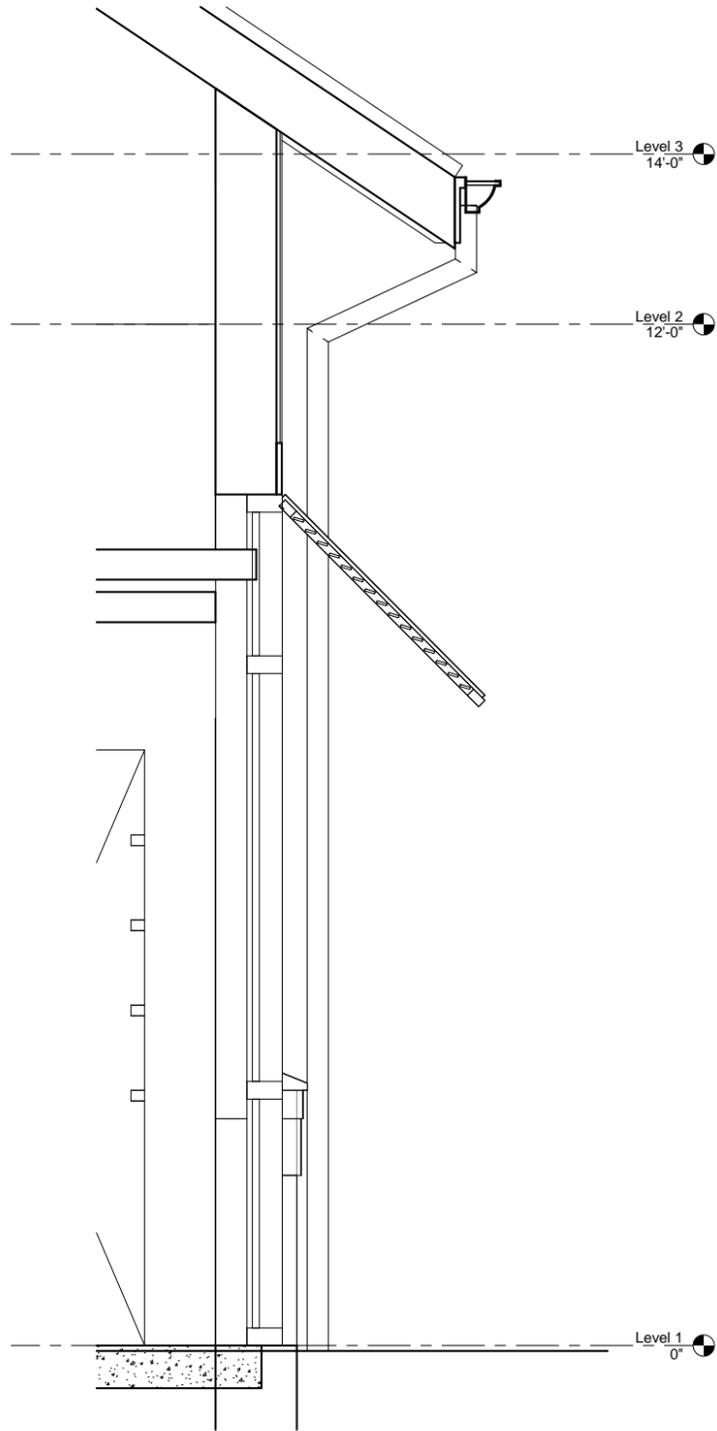
WALL SECTIONS
SCHEMATIC DESIGN

PROJECT SHEET

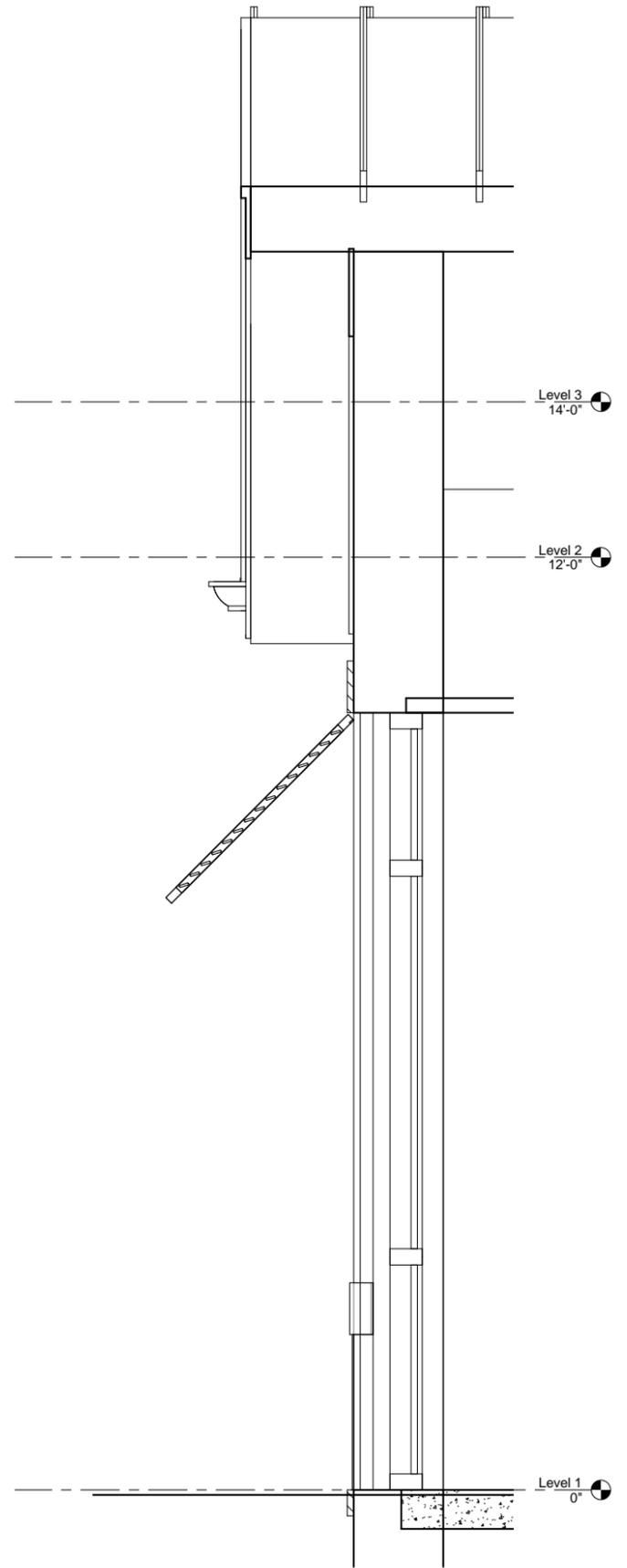
REVISIONS

A401
JOB # 20020
DATE 08/16/2020

THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC, IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.



① SIDE WALL AND STOREFRONT WINDOW WALL SECTION
1" = 1'-0"



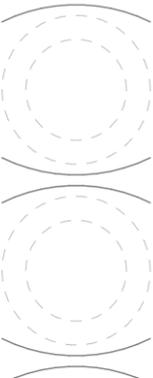
② FRONT ELEVATION AT STOREFRONT WINDOW WALL SECTION
1" = 1'-0"



SEEDARCHITECT.COM
2144 SUMNER STREET
COLUMBIA, SC 29201
803.727.2098



CONSTRUCTION SERVICES



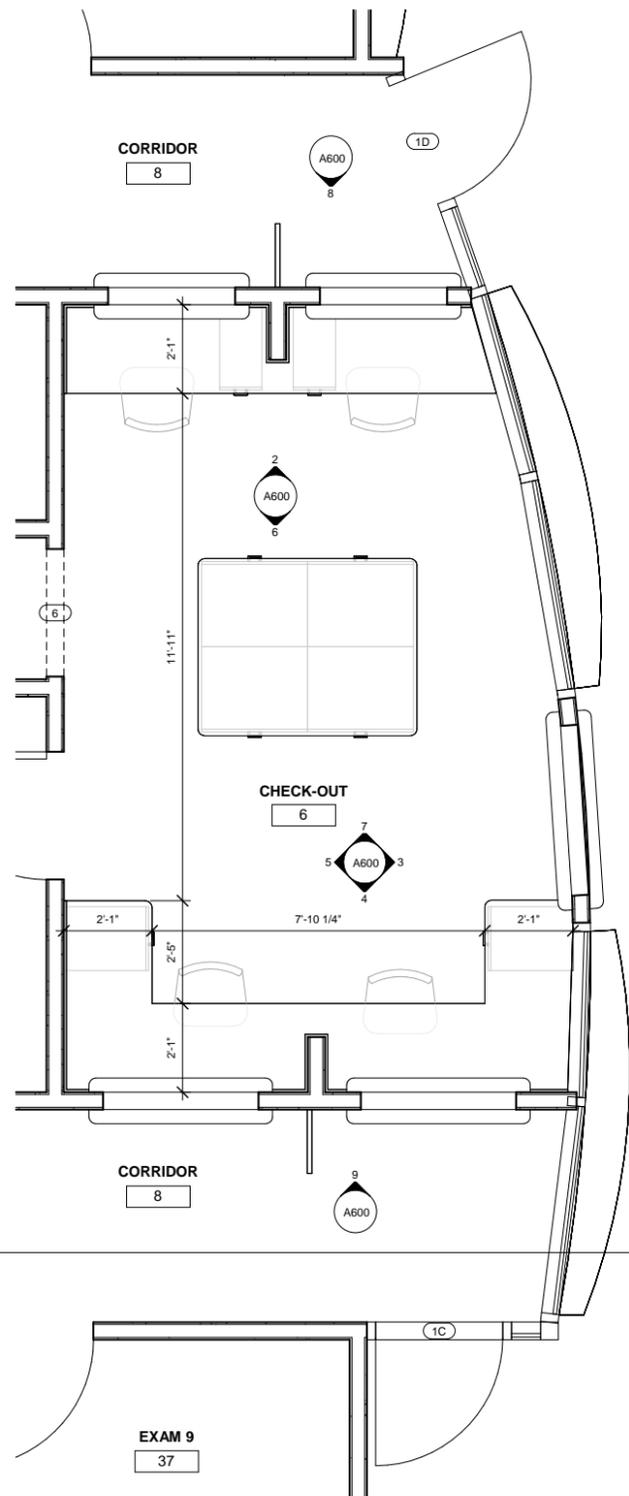
OCEAN EYE OPTOMETRY
105 MIDLAND PKWY, SUMMERVILLE, SC 29485
WALL SECTIONS
SCHEMATIC DESIGN

PROJECT SHEET

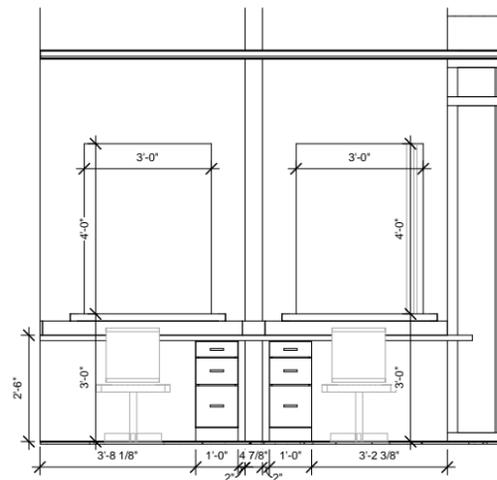
REVISIONS

A402
JOB # 20020
DATE 08/16/2020

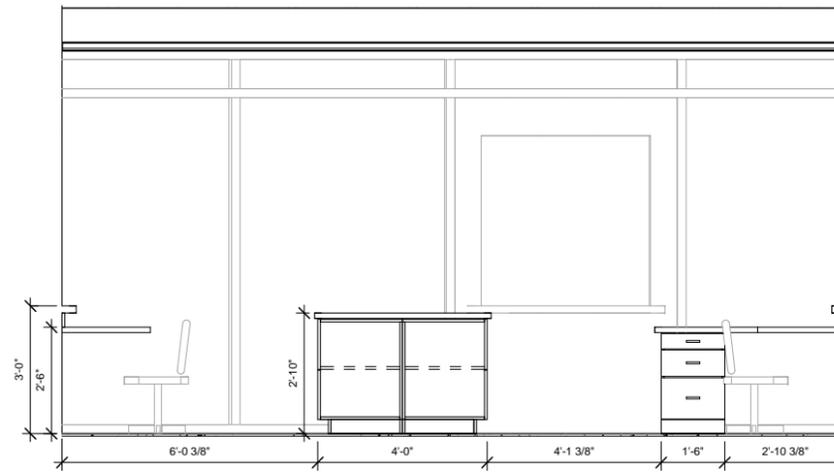
THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC, IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.



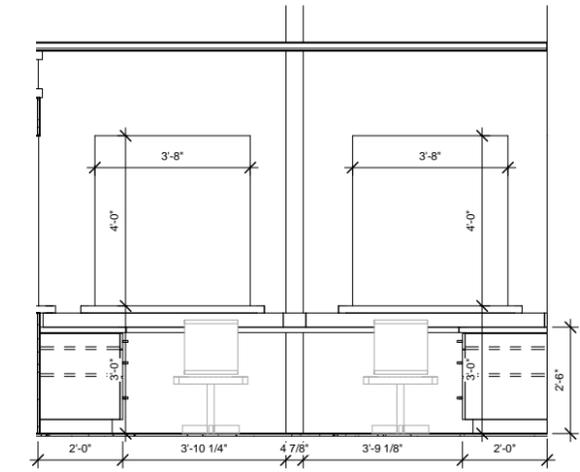
1 ENLARGED PLAN - CHECK OUT 31
1/2" = 1'-0"



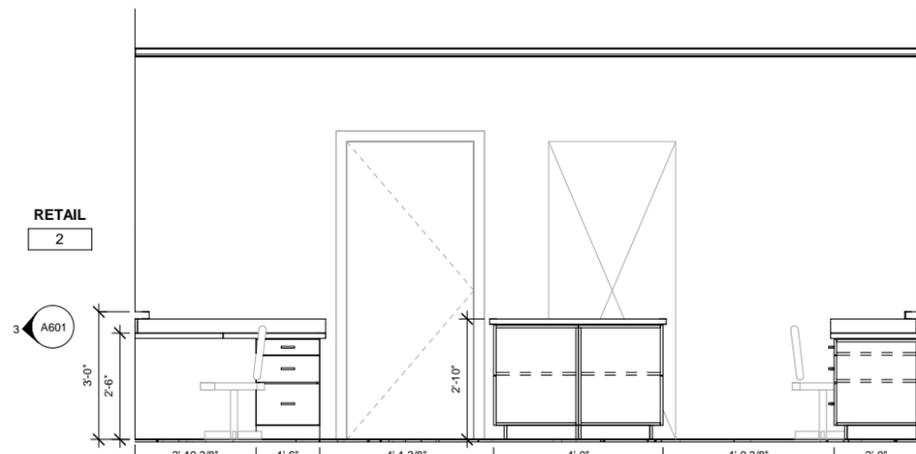
2 ELEVATION - CHECK OUT 6 NORTH
1/2" = 1'-0"



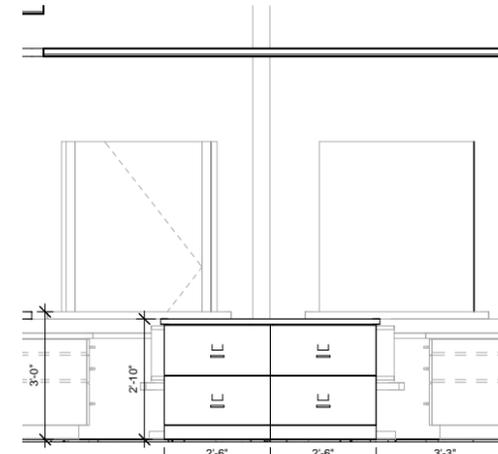
3 ELEVATION - CHECK OUT 6 EAST
1/2" = 1'-0"



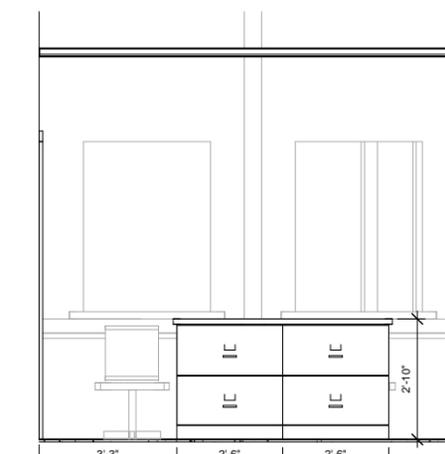
4 ELEVATION - CHECK OUT 6 SOUTH
1/2" = 1'-0"



5 ELEVATION - CHECK OUT 6 WEST
1/2" = 1'-0"



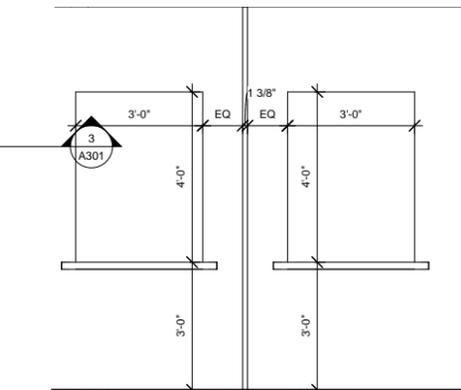
6 ELEVATION - CHECK OUT 6 ISLAND NORTH
1/2" = 1'-0"



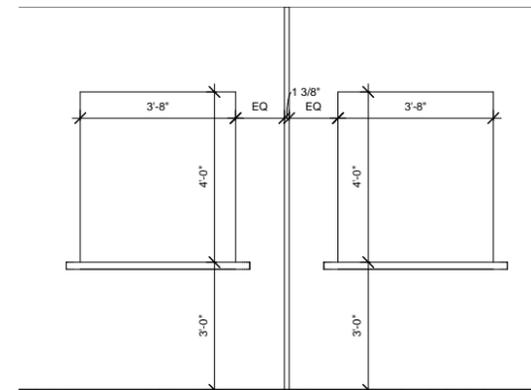
7 ELEVATION - CHECK OUT 6 ISLAND SOUTH
1/2" = 1'-0"

RETAIL
2

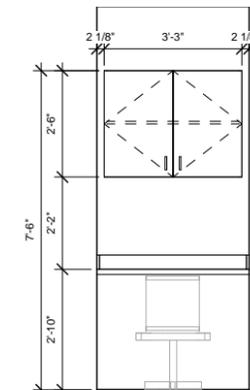
A601
3



8 ELEVATION - CORRIDOR 8 CHECK OUT NORTH
1/2" = 1'-0"



9 ELEVATION - CORRIDOR 8 CHECK OUT SOUTH
1/2" = 1'-0"



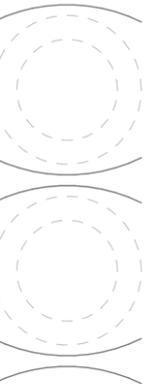
10 ELEVATION - CORRIDOR 8 ALCOVE
1/2" = 1'-0"



SEEDARCHITECT.COM
2144 SUMNER STREET
COLUMBIA, SC 29201
803.727.2098



COHN
CONSTRUCTION SERVICES



OCEAN EYE OPTOMETRY
105 MIDLAND PKWY, SUMMERVILLE, SC 29485

ENLARGED PLANS & ELEVATIONS
SCHEMATIC DESIGN

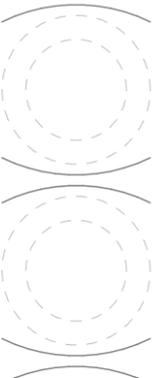
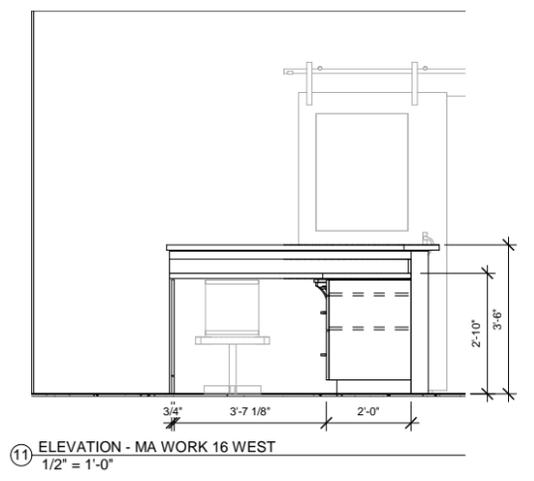
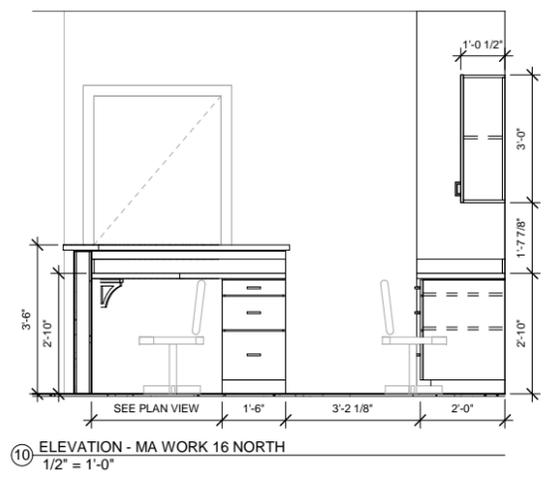
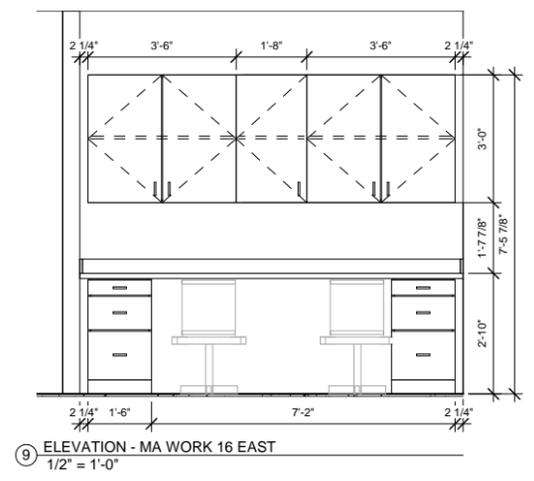
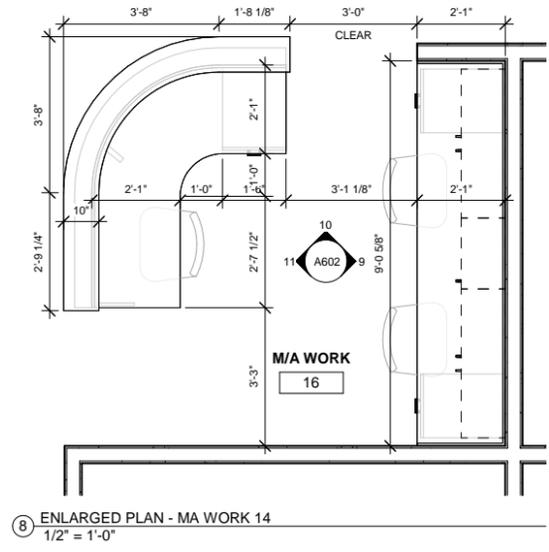
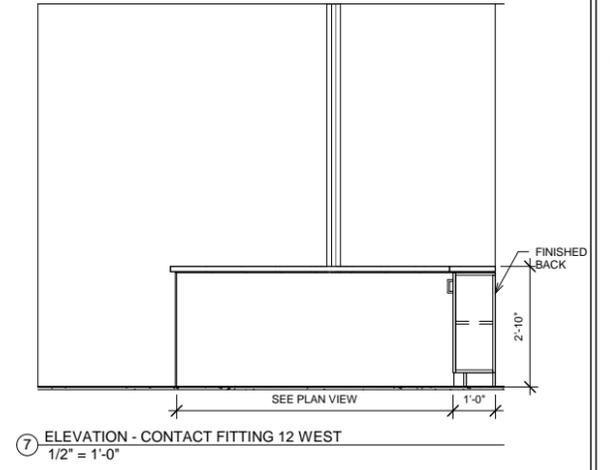
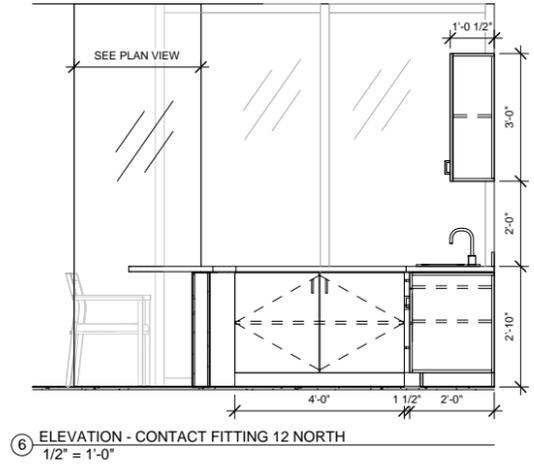
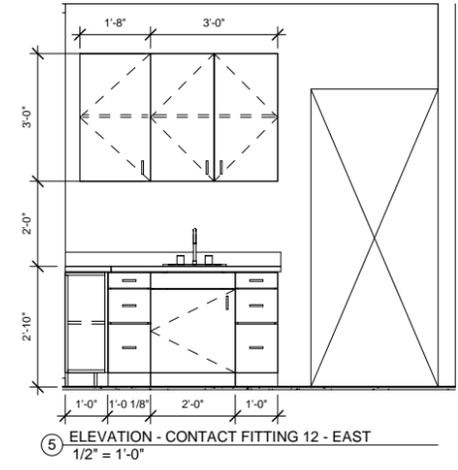
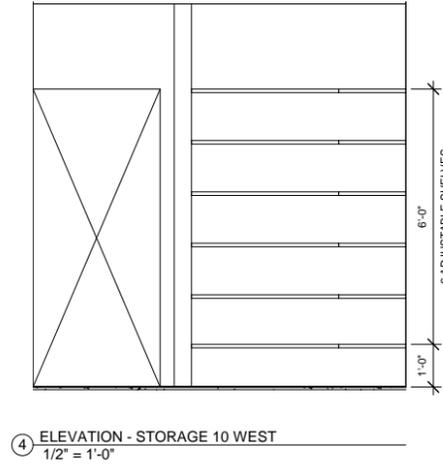
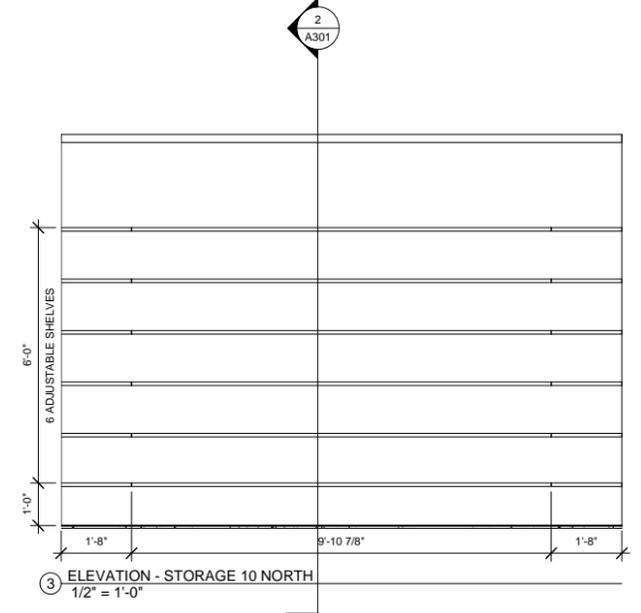
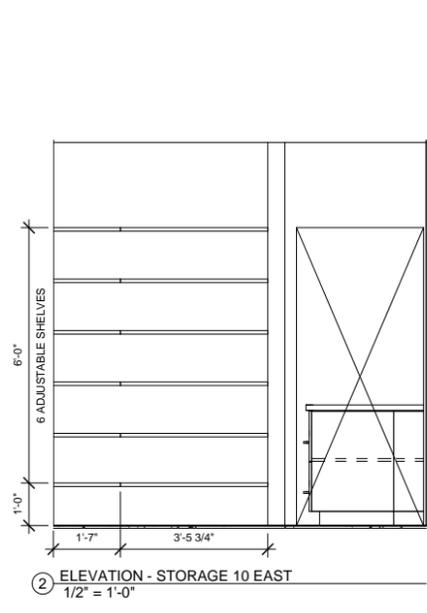
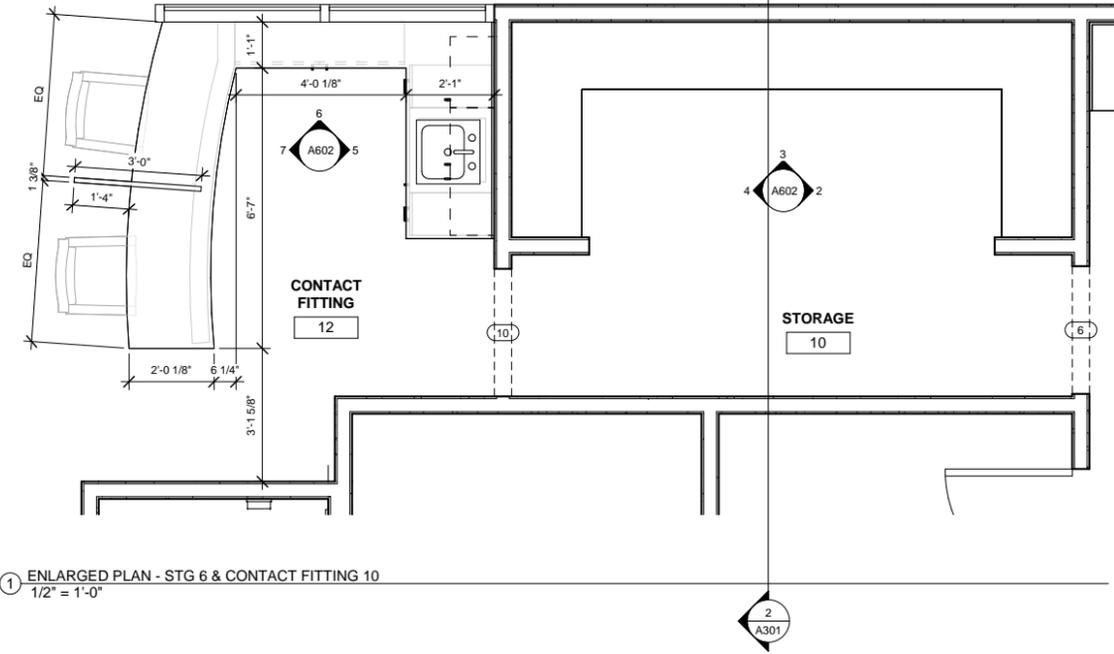
PROJECT SHEET

REVISIONS

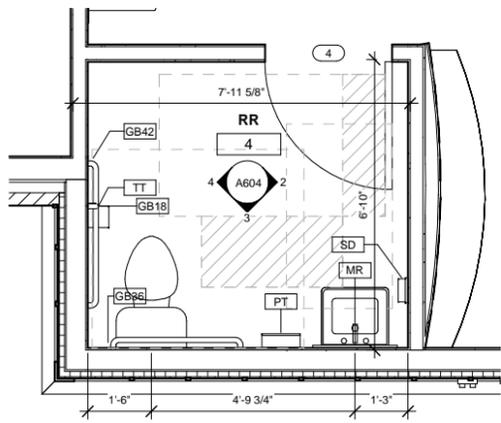
A600

JOB # 20020
DATE 08/16/2020

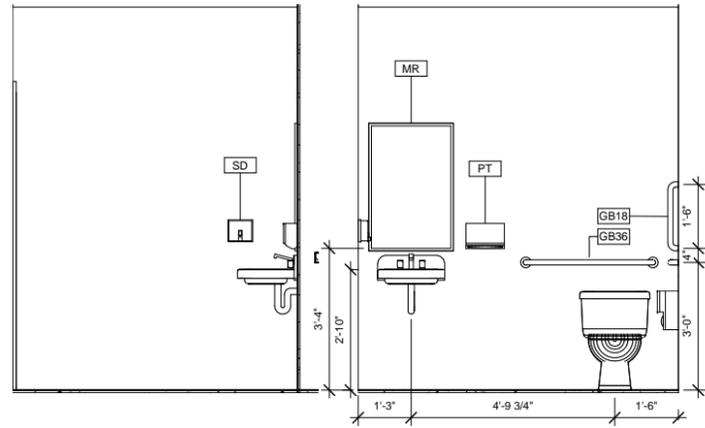
THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC, IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.



THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC. IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.



1 ENLARGED PLAN - RESTROOM 4
1/2" = 1'-0"

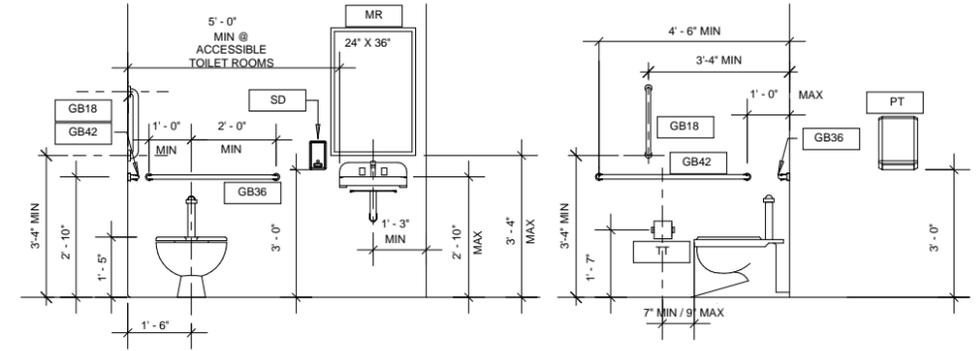


2 ELEVATION - RESTROOM 4 EAST
1/2" = 1'-0"

3 ELEVATION - RESTROOM 4 SOUTH
1/2" = 1'-0"

4 ELEVATION - RESTROOM 4 WEST
1/2" = 1'-0"

NOTE: TAG GB X DENOTES GB 36 (REAR WALL), GB 42 (SIDE WALL) AND GB 18 (VERTICAL SIDE WALL)



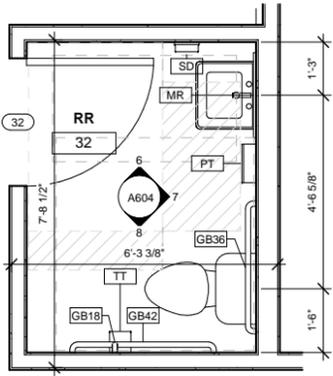
GENERAL RESTROOM NOTES:

1. PROVIDE SUBSTANTIAL WOOD BLOCKING IN WALLS BEHIND ALL WALL MOUNTED ACCESSORIES OR ITEMS ATTACHED TO WALL IN ACCORDANCE WITH SUPPLIER & MANUFACTURER RECOMMENDATIONS
2. VERIFY ALL FIXTURE LOCATIONS W/ MANUFACTURER RECOMMENDATIONS FOR ACCESSIBILITY. IMMEDIATELY NOTIFY ARCHITECT OF DISCREPANCY FOR RESOLUTION. FLUSH LEVER TO BE INSTALLED FACING OPEN/WIDE SIDE OF TOILET IN ACCESSIBLE RESTROOMS FOR WHEELCHAIR ACCESS TO FLUSH MECHANISM.

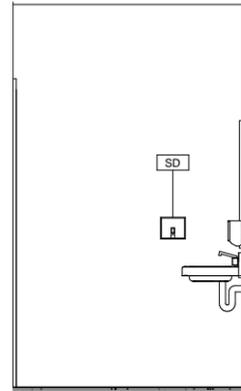
GB18	GRAB BAR, 18" LONG
GB42	GRAB BAR, 42" LONG
GB36	GRAB BAR, 36" LONG

SD	SOAP DISPENSER
MR	MIRROR, FRAMED
TT	TOILET TISSUE DISPENSER
PT	PAPER TOWEL DISPENSER
EW	ELECTRIC WATER COOLER (HI/LOW DUAL HEIGHT TO MEET ADA/ANSI)

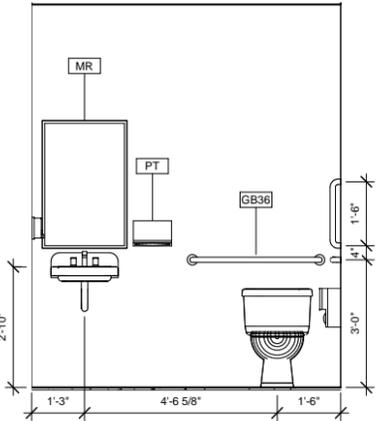
9 TYPICAL TOILET ACCESSORY MOUNTING HEIGHTS
1/2" = 1'-0"



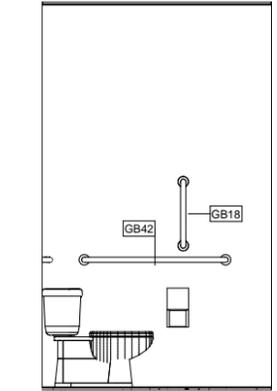
5 ENLARGED PLAN - RESTROOM 32
1/2" = 1'-0"



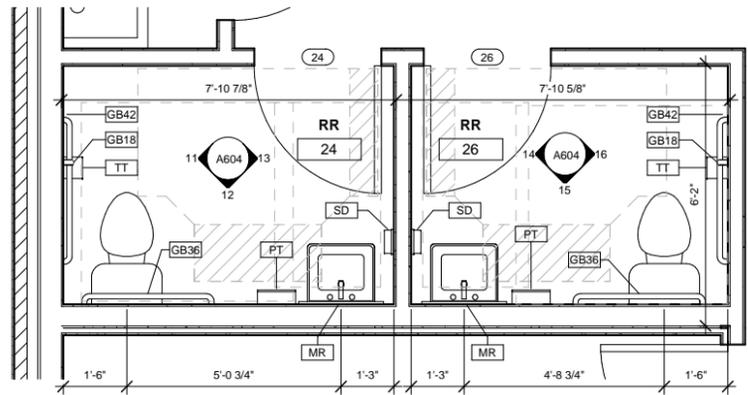
6 ELEVATION - RESTROOM 8
1/2" = 1'-0"



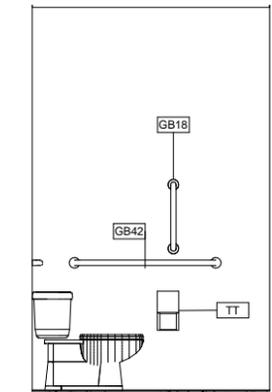
7 ELEVATION - RESTROOM 32 EAST
1/2" = 1'-0"



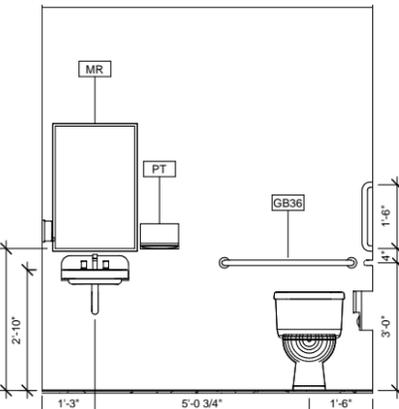
8 ELEVATION - RESTROOM 32 SOUTH
1/2" = 1'-0"



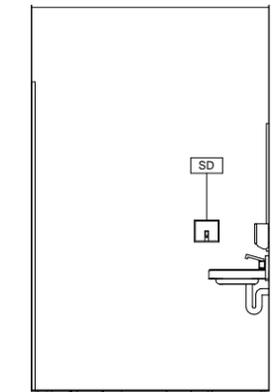
10 ENLARGED PLAN - RESTROOMS 19 & 20
1/2" = 1'-0"



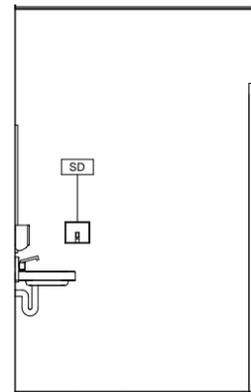
11 ELEVATION - RESTROOM 24 WEST
1/2" = 1'-0"



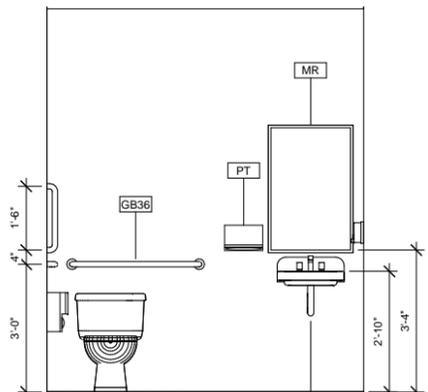
12 ELEVATION - RESTROOM 24 SOUTH
1/2" = 1'-0"



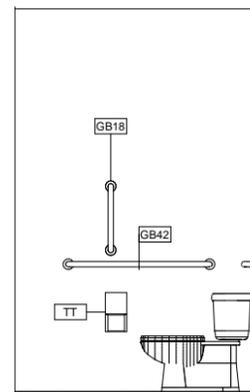
13 ELEVATION - RESTROOM 24 EAST
1/2" = 1'-0"



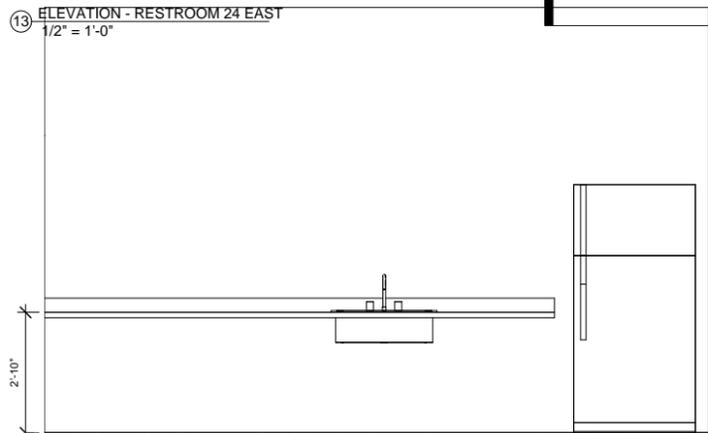
14 ELEVATION - RESTROOM 26 WEST
1/2" = 1'-0"



15 ELEVATION - RESTROOM 26 SOUTH
1/2" = 1'-0"



16 ELEVATION - RESTROOM 26 EAST
1/2" = 1'-0"



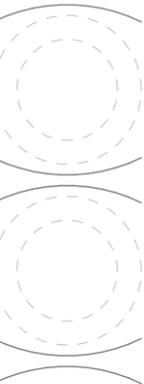
17 ELEVATION - BREAK 19 SOUTH
1/2" = 1'-0"



SEEDARCHITECT.COM
2144 SUMTER STREET
COLUMBIA, SC 29201
803.727.2098



COHN
CONSTRUCTION SERVICES



OCEAN EYE OPTOMETRY
105 MIDLAND PKWY, SUMMERVILLE, SC 29485

ENLARGED PLANS & ELEVATIONS
SCHEMATIC DESIGN

PROJECT SHEET

REVISIONS

A604

JOB # 20020
DATE 08/16/2020

THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC, IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.

ROOM FINISH SCHEDULE

Number	Name	Floor Material	Floor Finish	Base Material	Base Finish	North Material	North Finish	South Material	South Finish	East Material	East Finish	West Material	West Finish	Ceiling Material	Ceiling Finish	NOTES
1	WAITING AREA															
2	RETAIL															
3	PEDS WAITING															
4	RR															
5	OPTICAL LAB															
6	CHECK-OUT															
7	BILLING															
8	CORRIDOR															
9	EXAM 1															
10	STORAGE															
11	EXAM 2															
12	CONTACT FITTING															
13	EXAM 3															
14	PRE-TEST 1															
15	EXAM 4															
16	M/A WORK															
17	DR. OFFICES															
19	BREAK															
21	CONFERENCE															
21A	STORAGE															
21B	IT															
22	JAN															
23	PVT CORR															
24	RR															
25	SCHEDULING															
26	RR															
27	DIRECTOR															
28	EXAM 5															
29	EXAM 6															
30	PRE-TEST 2															
31	EXAM 7															
32	RR															
33	PRE-TEST 3															
34	SPECIALTY TESTING															
35	EXAM 8															
37	EXAM 9															

ROOM SCHEDULE NOTES

- WOOD - NATURAL WOOD BOARDS/MATERIALS IN ALL STAINED FINISH CONDITIONS. PRESSED WOOD PRODUCTS, SPLICED MEMBERS AND/OR RESINOUS TRIM ELEMENTS ALLOWED IF PAINTED ONLY.
- STAIN/SEAL. MATERIAL STAIN SELECTION BY OWNER. SEALANTS TO BE CLEAR, TWO COATS MINIMUM OR AS REQUIRED TO PROVIDE SMOOTH, APPLICATION AS RECOMMENDED BY MANUFACTURER. PROVIDE SAMPLE MOCKUP FOR OWNER APPROVAL.
- PAINT. SHERWIN WILLIAMS OR EQUAL PRIMERS AND FINISH COATS AS NEEDED FOR FULL COVERAGE OF COLOR SELECTED. COLOR AND FINISH SELECTION BY OWNER AS LISTED BELOW.
- GWB - 5/8" GYPSUM WALL BOARD. PROVIDE LEVEL FOUR (4) FINISH UNLESS A GLOSS PAINT FINISH IS REQUESTED IN WHICH A LEVEL FIVE (5) FINISH IS REQUIRED PRIOR TO PAINTING.
- MR GYP BOARD - MOISTURE RESISTANT GYPSUM WALL BOARD (AKA GREEN BOARD). PROVIDE IN LIEU OF STANDARD GYP BOARD BUT IN KEEPING WITH REQUIREMENTS ABOVE.

GENERAL FINISH NOTES

- SEE A101 FOR PLAN NORTH/SOUTH/EAST/WEST ORIENTATIONS RELATIVE TO SCHEDULE COLUMN NOTATIONS.
- MULTIPLE FINISHES ASSOCIATED WITH A SINGLE SURFACE ARE SEPARATED BY "7" NOTATION. THE FIRST FINISH IS THE PRIMARY AREA (TYPICALLY THE LOWER, LARGER PORTION OF A WALL SURFACE) WHEREAS THE SECOND SCHEDULED FINISH INDICATES A MINORITY ADDITIONAL FINISH (SUCH AS THE UPPER CEILING AREA OF A WALL). FOR ADDITIONAL CLARIFICATION SEE INTERIOR ELEVATIONS AND SECTION NOTES.
- GC TO COORDINATE ALL FIELD DIMENSIONS FOR CASEWORK AND FABRICATED PRODUCT INSTALLATIONS. EXISTING BUILDING DIMENSIONS BASED ON PROVIDED DOCUMENTS AND TO BE FIELD VERIFIED PRIOR TO PRODUCT PRODUCTION.
- INSTALL ALL MATERAILS AND PRODUCTS PER MANUF. SPECIFICATIONS, RECOMMENDATIONS AND IN ACCORDINANCE WITH ALL WARRANTIES PERTINENT TO THE MATERIAL OR PRODUCT INSTALLED AND EXISTING PRODUCTS OR MATERIALS TO REMAIN.
- VERIFY SEISMIC SITE CLASS PRIOR TO CEILING AND ROOF SUSPENDED SYSTEMS AND COMPLY WITH ALL LOCAL AND FEDERAL REGULATIONS FOR SEISMIC RESTRAINT.
- FLOOR TRANSITIONS TO BE COORDINATED AND REQUIRED HEIGHT ADJUSTMENT TRANSITION STRIPS PROVIDED IN KEEPING WITH THE MATERIAL ADJACENCIES.

FINISH SELECTIONS & SPECIFICATIONS

FLOORING

- CPT-1 CARPET TILE
MANUFACTURER:
COLOR:
- LVT-1 LUXURY VINYL TILE
MANUFACTURER:
COLOR:
- TL-1 CERAMIC TILE
MANUFACTURER:
COLOR:

BASE

- RB-1 RUBBER COVE BASE
MANUFACTURER:
PROFILE:
COLOR:
- WB-1 WOOD PROFILE BASE
PROFILE:
COLOR:
- TB-1 CERAMIC TILE BASE
PROFILE:
COLOR:

WALL

- PT-1 WALL PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR:
FINISH:
- PT-2 WALL PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR:
FINISH: FLAT
- PT-3 TRIM PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR:
FINISH: FLAT
- TL-2 CERAMIC WALL TILE
MANUFACTURER:
COLOR:

CEILING

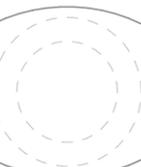
- ACT-1 ACOUSTICAL CEILING TILE 24" X 24"
MANUFACTURER:
COLOR:



SEEDARCHITECT.COM
2144 SUMNER STREET
COLUMBIA, SC 29201
803.727.2098



COHN
CONSTRUCTION SERVICES



OCEAN EYE OPTOMETRY
105 MIDLAND PKWY, SUMMERVILLE, SC 29485

FINISH SCHEDULE & DETAILS
SCHEMATIC DESIGN

PROJECT SHEET

REVISIONS

A650

JOB # 20020
DATE 08/16/2020

THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF SEED ARCHITECTURE, LLC. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF SEED ARCHITECTURE, LLC, IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.

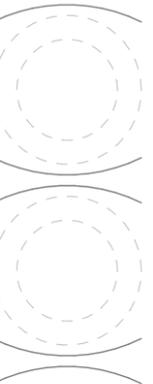
DOOR SCHEDULE								
Mark	Description	Height	Width	Door Finish	Frame Material	Frame Finish	Fire Rating	Locking Hardware
1A	DOUBLE STOREFRONT ENTRY DOORS	7'-0"	6'-0"					
1B	DOUBLE STOREFRONT ENTRY DOORS	7'-0"	6'-0"					
1C	SINGLE STOREFRONT INTERIOR DOOR	7'-8 1/4"	3'-0"					
1D	SINGLE STOREFRONT INTERIOR DOOR	7'-10 3/4"	3'-0"					
4	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
5A	OPENING	7'-0"	3'-0"					
5B	OPENING	7'-0"	3'-0"					
6	OPENING	7'-0"	3'-0"					
7	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
9	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
10	OPENING	7'-0"	3'-0"					
11	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
13	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
14	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
15	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
17	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
19	OPENING	7'-0"	3'-0"					
21	SINGLE FLUSH BARN DOOR	7'-0"	3'-6"					
21A	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
21B	DOUBLE FLUSH SWINGING DOOR	6'-8"	5'-8"					
22	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
23A	SINGLE STOREFRONT ENTRY DOOR	7'-0"	3'-0"					
23B	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
23C	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
24	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
25	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
26	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
27	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
28	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
29	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
30	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
31	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
32	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
33	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
34	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
35	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					
37	SINGLE FLUSH SWINGING DOOR	7'-0"	3'-0"					



SEEDARCHITECT.COM
2144 SUMTER STREET
COLUMBIA, SC 29201
803.727.2098



COHN
CONSTRUCTION SERVICES



OCEAN EYE OPTOMETRY
105 MIDLAND PKWY, SUMMERVILLE, SC 29485

DOOR SCHEDULE & DETAILS
SCHEMATIC DESIGN

PROJECT SHEET

REVISIONS

A651
JOB # 20020
DATE 08/16/2020

STAFF REPORT
CDRB Meeting
September 17, 2020 at 4:00 p.m.

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: September 9, 2020

GENERAL INFORMATION

Applicant: David Thompson Architect
Property Owner: Henry Capers
Requested Action: The applicant is requesting Conceptual Review of a proposed 5,660 square foot multi tenant office building
Requested Approval: Conceptual Review
Existing Zoning: D-MX Downtown Mixed Use
Adjacent Zoning: **North:** D-MX Downtown Mixed Use
South: D-MX Downtown Mixed Use
East: D-MX Downtown Mixed Use
West: D-MX Downtown Mixed Use
Location: 113 N Magnolia Street
Existing Land Use: Residential
Prior Approvals: First Meeting
Ordinance Reference:

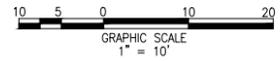
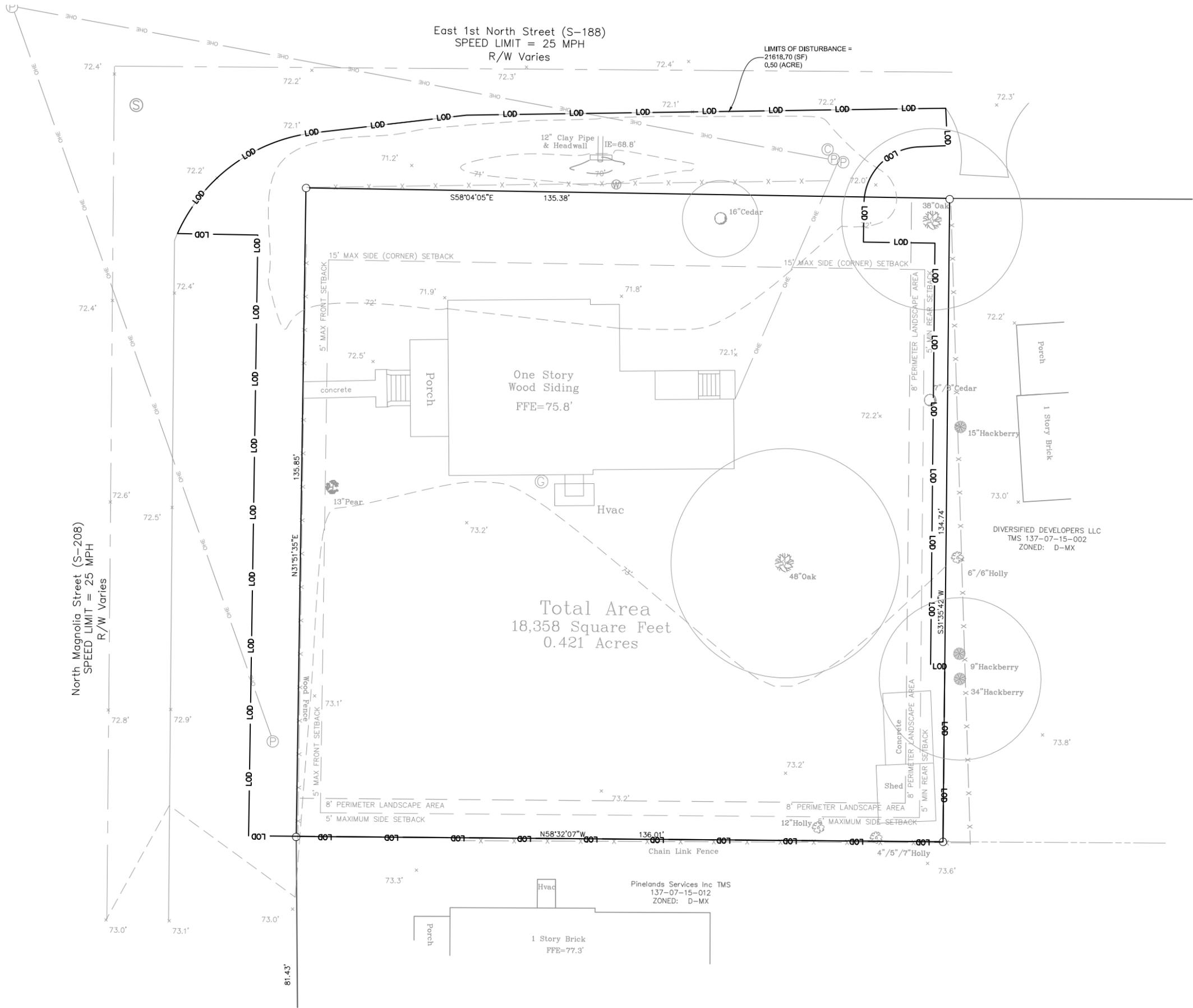
Sec. 13.3.5. Design Review Board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based upon staff review the following comments must be addressed to meet requirements. The proposed impacts into the critical root zone of the 48" oak may need Tree Protection Board (TPB) approval. Consider requesting angled parking on N. Magnolia St. A pedestrian connection must be made into the site. Sidewalks along the right-of-ways are technically required per UDO Section 5.3.1 and 5.3.2. Town Staff may waive this requirement depending on the circumstances. This requirement will be considered as more detailed plans are completed based on existing conditions and feasibility. A full Landscape Plan, Signage Plan, and Photo Metric Plan have not been submitted. The Ground Floor does not meet the 65% transparency requirement of Section 4.2.9 A. The building provides a mixture of exterior finishes, including vertical shiplap siding and brick.

D:\SouthCarolina\Construction\2020\11-113\North Magnolia Commercial\Engineering\DWG\C100_011_X.dwg



CBAKER
ENGINEERING, LLC
843.270.3185
PO BOX 81082
CHARLESTON, SC 29416
CBAKERENGINEERING.COM

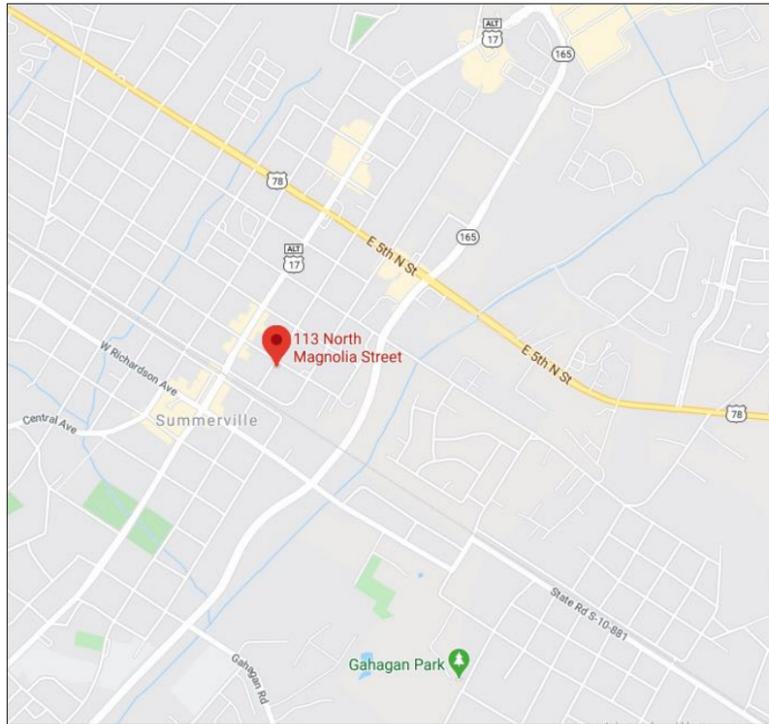


EXISTING CONDITIONS
113 NORTH MAGNOLIA STREET COMMERCIAL
SOUTHEASTERN CONSTRUCTION CO.
TOWN OF SUMMERVILLE, SC
TMS NO. 243-00-00-072

REV	DATE	DESCRIPTION
A	8/11/20	TRC PRE-APPLICATION CONFERENCE
B	8/28/20	TREE BOARD/DRE SUBMITTAL

PROJECT NO.: 20.019
PROJECT DATE: JULY 20, 2020
DRAWN BY: CBB
CHECKED BY: CBB
SCALE: 1" = 10'

SHEET: **C100**



6 LOCATION MAP
SCALE: N/A

A.F.F. = ABOVE FINISH FLOOR	O.P.O.I. = OWNER PROVIDED, OWNER INSTALLED
CL = CENTER LINE	OPP = OPPOSITE
CONC = CONCRETE	PEMB = PRE ENGINEERED METAL BUILDING
CONT = CONTINUOUS	PT = PRESSURE TREATED
ELEV. = ELEVATION	PTD = PAINTED
EQ = EQUAL	SIM = SIMILAR
EXT = EXTERIOR	SYP = SOUTHERN YELLOW PINE
F.O.B. = FACE OF BLOCK	TBD = TO BE DETERMINED
F.O.S. = FACE OF STUD	TBS = TO BE SELECTED
F.O.W. = FACE OF WALL, (BRICK OR FINISH)	TYP = TYPICAL
FTG = FOOTING	VIF = VERIFY IN FIELD
HDG = HOT DIPPED GALVANIZED	WD = WOOD
INT = INTERIOR	WRC = WESTER RED CEDAR
KD = KILN DRIED	# DOOR DESIGNATION SYMBOL
N.I.C. = NOT IN CONTRACT	A WINDOW DESIGNATION SYMBOL
MR = MOISTURE RESISTANT	— DIMENSION TO CENTER LINE
O.C. = ON CENTER	— STRUCTURAL COLUMN LINE
O.P.C.I. = OWNER PROVIDED, CONTRACTOR INSTALLED	XXXXXX INSULATION

5 ABBREVIATIONS & SYMBOLS
SCALE: N/A

1. THIS PROJECT IS AN 1 STORY, 5,660 SF NEW CONSTRUCTION BUILDING FOR USE AS A SPEC OFFICE SPACE FOR 3 TENANTS.
2. THE PROJECT OCCUPANCY IS GROUP B, BUSINESS
3. THE PROJECT JURISDICTION IS THE CITY OF CHARLESTON.
4. APPLICABLE CODES, INCLUDING SC STATEWIDE MODIFICATIONS;
 - 2018 INTERNATIONAL BUILDING CODE
 - 2018 INTERNATIONAL MECHANICAL CODE
 - 2018 INTERNATIONAL FUEL GAS CODE
 - 2018 INTERNATIONAL PLUMBING CODE
 - 2017 NATIONAL ELECTRICAL CODE
 - 2009 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2018 FIRE PREVENTION CODE
 - 2017 ICC / ANSI A117.1
5. THE BUILDING CONSTRUCTION TYPE IS II-B - NOT SPRINKLERED

3 PROJECT NOTES
SCALE: N/A

- G101 - TITLE SHEET
- G102 - EXISTING SITE PHOTOS
- C100 - EXISTING CONDITIONS
- C101 - DEMO AND TREE REMOVAL PLAN
- C300 - SITE LAYOUT PLAN
- A101 - FIRST FLOOR PLAN
- A102 - ROOF PLAN
- A200 - PERSPECTIVE VIEWS
- A201 - EXTERIOR ELEVATIONS
- A202 - EXTERIOR ELEVATIONS

2 DRAWING LIST
SCALE: N/A

OFFICE BUILDING

**113 NORTH MAGNOLIA STREET
SUMMERVILLE, SC 29483**

TMS # 137-07-15-001.000

**COMMERCIAL DESIGN REVIEW
BOARD APPLICATION
CONCEPTUAL REVIEW**

**SCHEMATIC DESIGN
AUGUST 28, 2020**



GENERAL CONTRACTOR & PROJECT MANAGEMENT
DAVID WILLIS - 843-821-2071
DAVID@SOUTHEASTERNCONSTRUCTIONCO.COM



ARCHITECTURE AND PROJECT MANAGEMENT
DAVID THOMPSON - 843-297-8939
DTHOMPSON@DTHOMPSONARCHITECT.COM



CIVIL ENGINEER
CAMERON BAKER - 843-270-3185
CAMERON@CBAKERENGINEERING.COM



MECHANICAL, ELECTRICAL, PLUMBING ENGINEERING
PROFICIENT ENGINEERING
BRIAN ARMENTA - 404-330-9798
BRIAN@PEIATL.COM

1 PROJECT TEAM
SCALE: N/A



DAVID THOMPSON ARCHITECT, LLC
CHARLESTON SC / 843-297-8939
WWW.DTHOMPSONARCHITECT.COM

DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT, THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.



ISSUED DATE / REVISIONS
SCHEMATIC DESIGN - 08.28.20

OFFICE BUILDING
113 North Magnolia St
Summerville, SC 29483





DAVID THOMPSON ARCHITECT, LLC
 CHARLESTON SC / 843-297-8939
 WWW.DTHOMPSONARCHITECT.COM

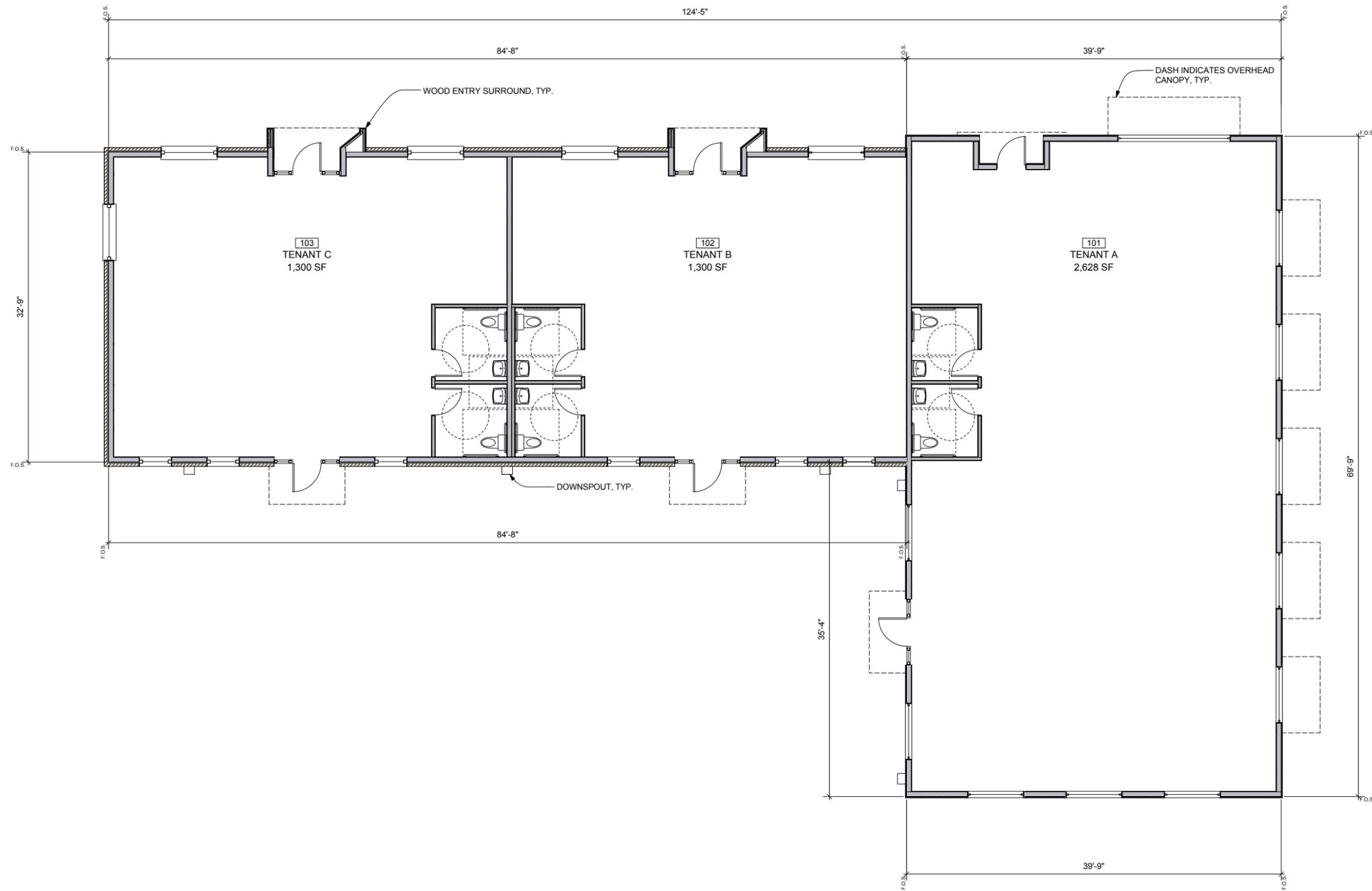
DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT, THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.



ISSUED DATE / REVISIONS
 SCHEMATIC DESIGN - 08.28.20

OFFICE BUILDING
 113 North Magnolia St
 Summerville, SC 29483

A101



1
 A101 FLOOR PLAN
 SCALE: 3/16" = 1'-0"



DAVID THOMPSON ARCHITECT, LLC
 CHARLESTON SC / 843-297-8939
 WWW.DTHOMPSONARCHITECT.COM

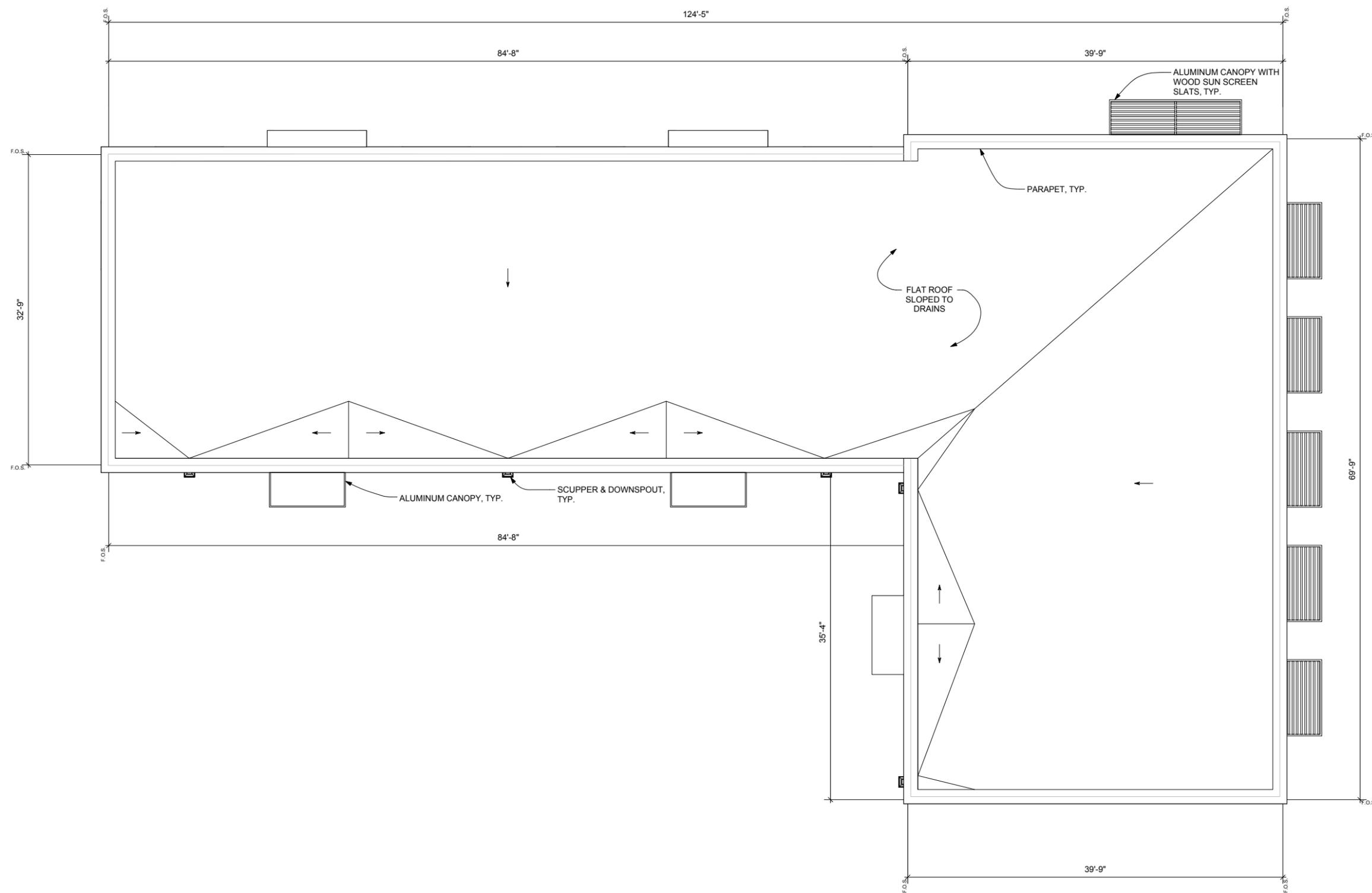
DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT, THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.



ISSUED DATE / REVISIONS
 SCHEMATIC DESIGN - 08.28.20

OFFICE BUILDING
 113 North Magnolia St
 Summerville, SC 29483

A102



1 ROOF PLAN
 A102 SCALE: 3/16" = 1'-0"



DAVID THOMPSON ARCHITECT, LLC
CHARLESTON SC / 843-297-8939
WWW.DTHOMPSONARCHITECT.COM

DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT, THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.



2 INTERSECTION OF N MAGNOLIA ST & E 1ST N ST
A200 NOT TO SCALE



ISSUED DATE / REVISIONS
SCHEMATIC DESIGN - 08.28.20



1 N MAGNOLIA ST TOWARDS E 1ST N ST
A200 NOT TO SCALE

OFFICE BUILDING
113 North Magnolia St
Summerville, SC 29483



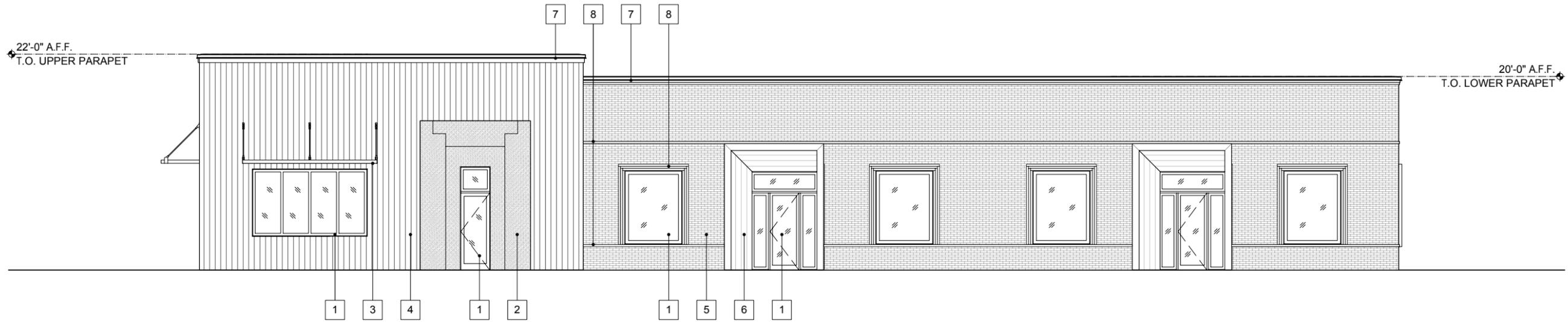


DAVID THOMPSON ARCHITECT, LLC
 CHARLESTON SC / 843-297-8939
 WWW.DTHOMPSONARCHITECT.COM

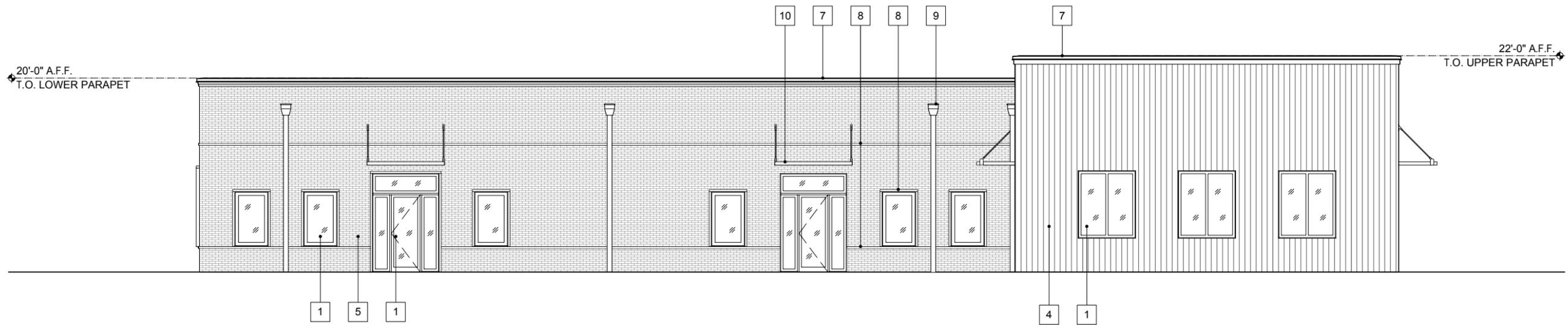
DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT, THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.

MATERIAL KEY

- | | |
|---|---|
| 1 ALUMINUM STOREFRONT WINDOWS & DOORS, BLACK | 6 DOOR SURROUND - GREY-WASHED WESTERN RED CEDAR |
| 2 DOOR SURROUND - CORTEN STEEL | 7 GALVANIZED ALUMINUM PARAPET CAP |
| 3 ALUMINUM AND WOOD SHADE CANOPY | 8 BRICK VENEER ACCENT BAND & WINDOW SURROUND DETAIL |
| 4 VERTICAL SIDING - GREY-WASHED WESTERN RED CEDAR SHIPLAP | 9 ALUMINUM DOWNSPOUT |
| 5 BRICK VENEER ON METAL STUD WALL | 10 ALUMINUM FRAME CANOPY |



2 EXTERIOR ELEVATION- NORTH
 A201 SCALE: 3/16" = 1'-0"



1 EXTERIOR ELEVATION- SOUTH
 A201 SCALE: 3/16" = 1'-0"



ISSUED DATE / REVISIONS
 SCHEMATIC DESIGN - 08.28.20

OFFICE BUILDING
 113 North Magnolia St
 Summerville, SC 29483



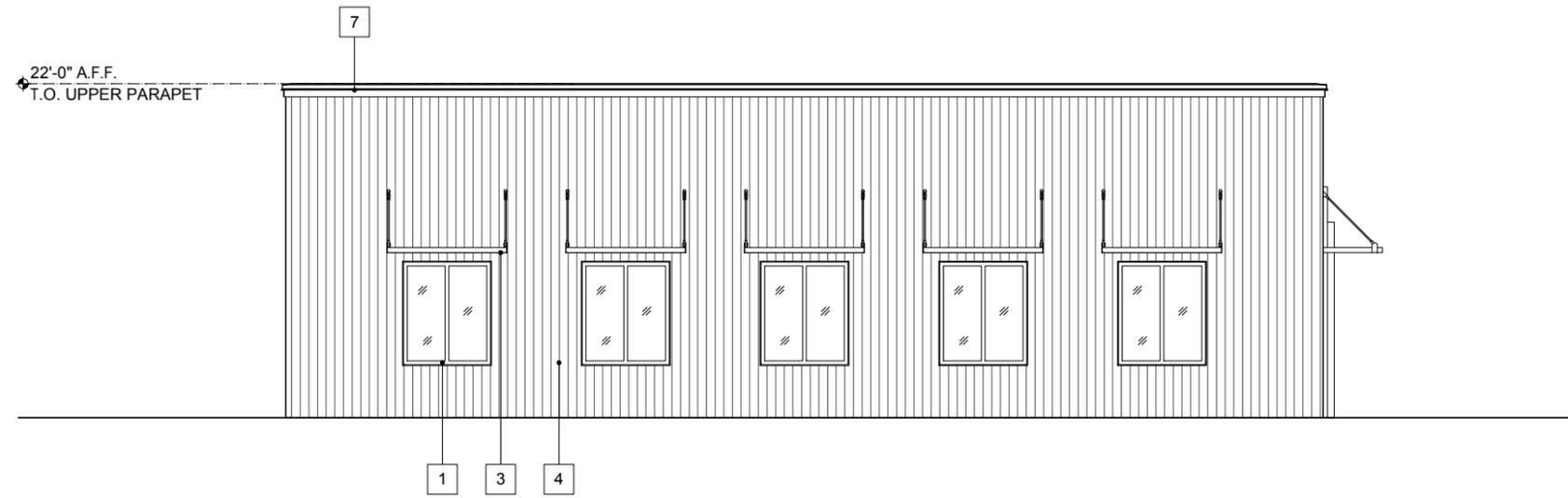


DAVID THOMPSON ARCHITECT, LLC
 CHARLESTON SC / 843-297-8939
 WWW.DTHOMPSONARCHITECT.COM

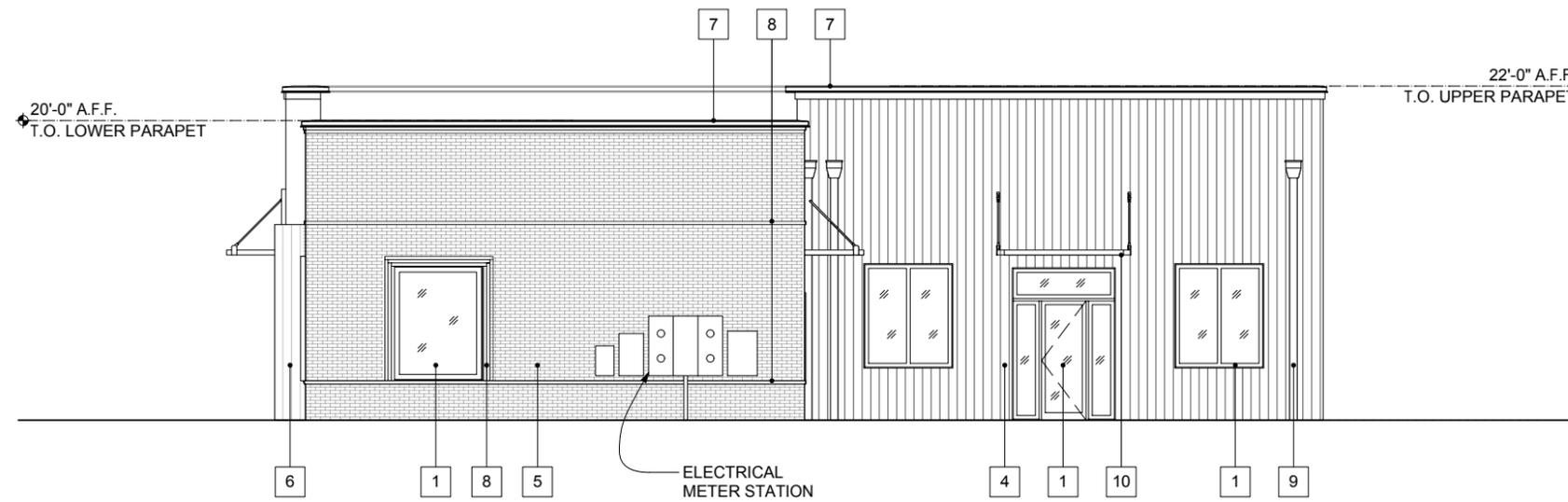
DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT, THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.

MATERIAL KEY

- | | |
|---|---|
| 1 ALUMINUM STOREFRONT WINDOWS & DOORS, BLACK | 6 DOOR SURROUND - GREY-WASHED WESTERN RED CEDAR |
| 2 DOOR SURROUND - CORTEN STEEL | 7 GALVANIZED ALUMINUM PARAPET CAP |
| 3 ALUMINUM AND WOOD SHADE CANOPY | 8 BRICK VENEER ACCENT BAND & WINDOW SURROUND DETAIL |
| 4 VERTICAL SIDING - GREY-WASHED WESTERN RED CEDAR SHIPLAP | 9 ALUMINUM DOWNSPOUT |
| 5 BRICK VENEER ON METAL STUD WALL | 10 ALUMINUM FRAME CANOPY |



2 EXTERIOR ELEVATION- EAST
 A202 SCALE: 3/16" = 1'-0"



1 EXTERIOR ELEVATION- WEST
 A202 SCALE: 3/16" = 1'-0"



ISSUED DATE / REVISIONS
 SCHEMATIC DESIGN - 08.28.20

OFFICE BUILDING
 113 North Magnolia St
 Summerville, SC 29483





6 VIEW NORTHEAST
G102 SCALE: N/A



4 PROJECT SITE
G102 SCALE: N/A



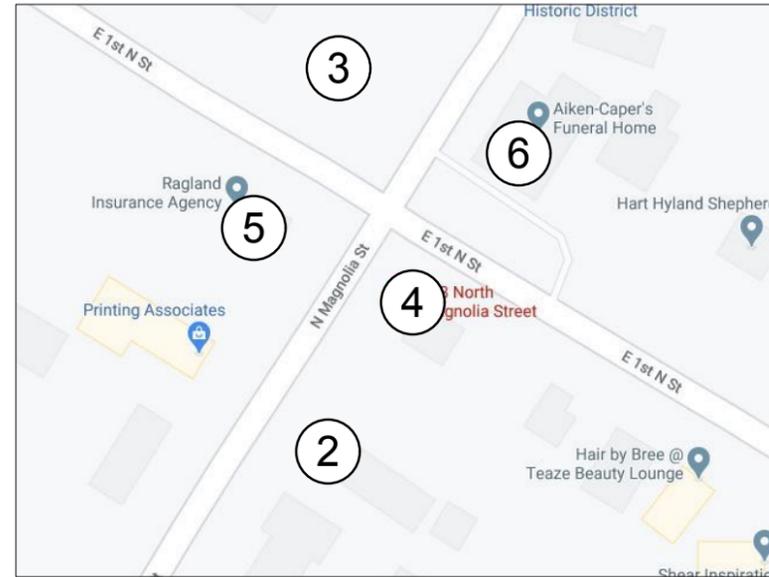
2 VIEW SOUTH
G102 SCALE: N/A



5 VIEW NORTHWEST
G102 SCALE: N/A



3 VIEW NORTH
G102 SCALE: N/A



1 LOCATION MAP
G102 SCALE: N/A



DAVID THOMPSON ARCHITECT, LLC
CHARLESTON SC / 843-297-8939
WWW.DTHOMPSONARCHITECT.COM

DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT, THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.



ISSUED DATE / REVISIONS
SCHEMATIC DESIGN - 08.28.20

OFFICE BUILDING
113 North Magnolia St
Summerville, SC 29483



STAFF REPORT
CDRB Meeting
September 17, 2020 at 4:00 p.m.

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: September 9, 2020

GENERAL INFORMATION

Applicant: Eugene Brislin PE
Property Owner: Everitt Knight
Requested Action: The applicant is requesting Conceptual Review of a proposed 7,500 square foot multi-tenant office building

Requested Approval: Conceptual Review

Existing Zoning: G-B General business
Adjacent Zoning: **North:** N-B Neighborhood Business
South: Out Dorchester County
East: Out Dorchester County
West: Out Dorchester County

Location: Farm Road

Existing Land Use: General Business
Prior Approvals: First Meeting

Ordinance Reference:

Sec. 13.3.5. Design Review Board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based upon staff review the following comments must be addressed to meet requirements. If the building square footage is 25% or more of the overall square footage on the site, the entire site's landscaping will need to be brought up to current standards. Based on staff calculations, there are 11,258 sf of existing building, the proposed 7,500 sf building would exceed the 25% (4,689 sf) threshold stated earlier requiring full compliance for the entire site for landscaping. Staff will work with the applicant to determine what is required and can feasibly be done. Applicant confirmed that the only paved areas being added outside of the building footprint would be the ADA parking space and loading zone and the sidewalk in front of the building. A tree removal permit will need to be submitted if any of the trees need to be removed. Applicant will check existing dumpster locations and adjust plans as needed. Applicant will confirm access for the cell tower from Farm Road. Work with SCPW to ensure that the required plantings along Farm Road do not interfere with the sewer line. The drive access off of Farm Road needs to be at least 20' wide and throated to ensure access with a fire truck; need to ensure that the gravel base in the parking area can handle a fire truck.

ALL DESIGNS AND DRAWINGS DEPICTED ON THIS SHEET ARE PROPERTY OF EUGENE H. BRISLIN JR., PE © 2005. ANY UNAUTHORIZED USE OR REPRODUCTION IS PROHIBITED UNLESS GRANTED BY WRITTEN PERMISSION.

PARKING

PARKING SPACES BASED ON WORST CASE OF GENERAL OR ALL OTHER OFFICE SPACE.

2 PER 1000 FT = (2 / 1000) x 7500 = 15.00 USE 15 SPACES
 MAXIMUM = 2 x 15 = 30 SPACES

USE 1 SPACE AS HANDICAP PARKING SPACE - VAN ACCESSIBLE

TREE PRESERVATION

EXISTING TREES ARE EFFECTED BY PARKING LAYOUT. REMOVAL IS NOT DECIDED YET.

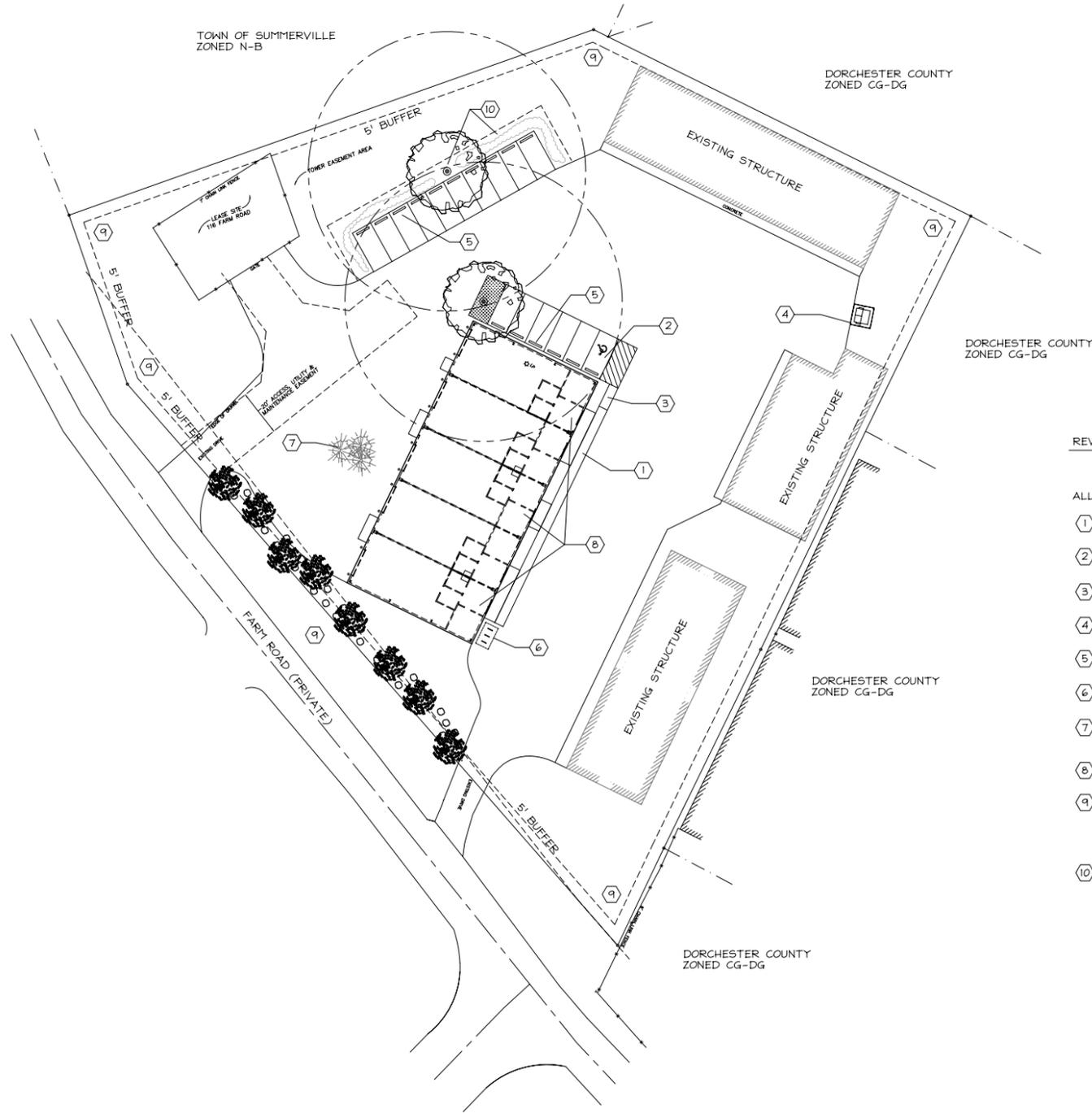
SITE LANDSCAPE REQUIREMENTS

A 5'-0" BUFFER IS NOTED ON THE PERIMETER OF THE PROPERTY. BUFFER PLANTINGS HAVE BEEN INCLUDED ON THE EXPOSED SIDE OF THE BUILDING TO THE PRIVATE ROAD.

PARKING LANDSCAPE REQUIREMENTS

LARGE MATURING TREES ARE PROVIDED TO ENSURE COVERAGE OF ALL PARKING SPACES WITHIN A 60'-0" RADIUS.

REAR PARKING AREA INCLUDES A LARGE TREE AND BOX HEDGES TO SCREEN THE PARKING. ADDITIONAL LARGE TREES WOULD ENCROACH OR COULD INTERFERE WITH EXISTING CELLULAR TELEPHONE TOWER.



REVIEW NOTES

ALL PARKING SPACES TO BE 9' x 19' UNLESS NOTED OTHERWISE

- ① NEW CONCRETE SIDE WALK
- ② HANDICAP PARKING SPACE
- ③ HANDICAP RAMP
- ④ TRASH DUMPSTER WITH SCREENING
- ⑤ WHEEL STOP - TYPICAL
- ⑥ NEW BICYCLE RACKS
- ⑦ CLUSTER EXISTING PINES - VERIFY LOCATION POSSIBLE REMOVAL
- ⑧ RELOCATE EXISTING SMALL TREES
- ⑨ 5'-0" BUFFER IS EXISTING OR WILL BE ESTABLISHED IN AREA OF NEW CONSTRUCTION TO INCLUDE 2 SMALL MATURING TREES AND 10 SHRUBS PER 40'-0"
- ⑩ 8'-0" BUFFER EXTENDED AROUND REAR PARKING AREA LARGE TREE ADDED (AT 40'-0") BOX HEDGES USED TO PROVIDE SCREENING



**KNOW WHAT'S BELOW,
 CALL BEFORE YOU DIG**

THE SOUTH CAROLINA STATE LAW REQUIRES THAT EXCAVATORS GIVE A 72--HOUR NOTICE, (3 WORKING DAYS EXCLUDING WEEKENDS AND HOLIDAYS), FOR THE LOCATORS TO GET OUT TO MARK THE AREA. AFTER A TICKET HAS BEEN PROCESSED, YOU WILL KNOW WHEN YOU ARE LEGALLY FREE TO PROCEED WITH THE DIGGING WORK AND WHICH UTILITIES IN THE AREA P.U.P.S. WILL BE NOTIFYING FOR YOU. ANY UTILITIES THAT P.U.P.S. DOES NOT NOTIFY, YOU WILL BE RESPONSIBLE FOR NOTIFYING DIRECTLY. THE UTILITY COMPANIES ASK THAT YOU LEAVE A 2 1/2 FEET MARGIN ON EACH SIDE OF A MARKED UTILITY LINE. ALSO NOTE THAT YOUR REQUEST IS GOOD FOR 15 WORKING DAYS AFTER IT HAS BEEN PROCESSED BY OUR SYSTEM.

**1 SITE REVIEW PLAN
 C1.0**

SCALE: 1"= 30'-0"



GRAPHIC SCALE

**KNIGHT DEVELOPMENT
 FARM ROAD
 SUMMERVILLE, SC**

No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE

606 Old Trolley Road
 Suite 202
 Summerville, SC 29485
 843-821-1678

Sheet Title
SITE PLAN

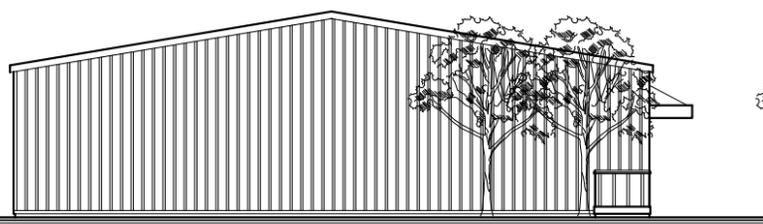
Date
15 AUG 20

Scale
1"=30'-0"

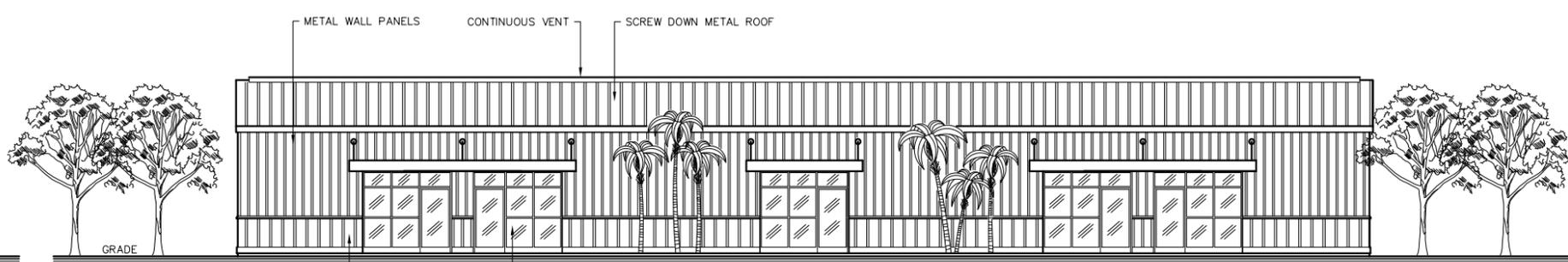
Sheet

C1.0

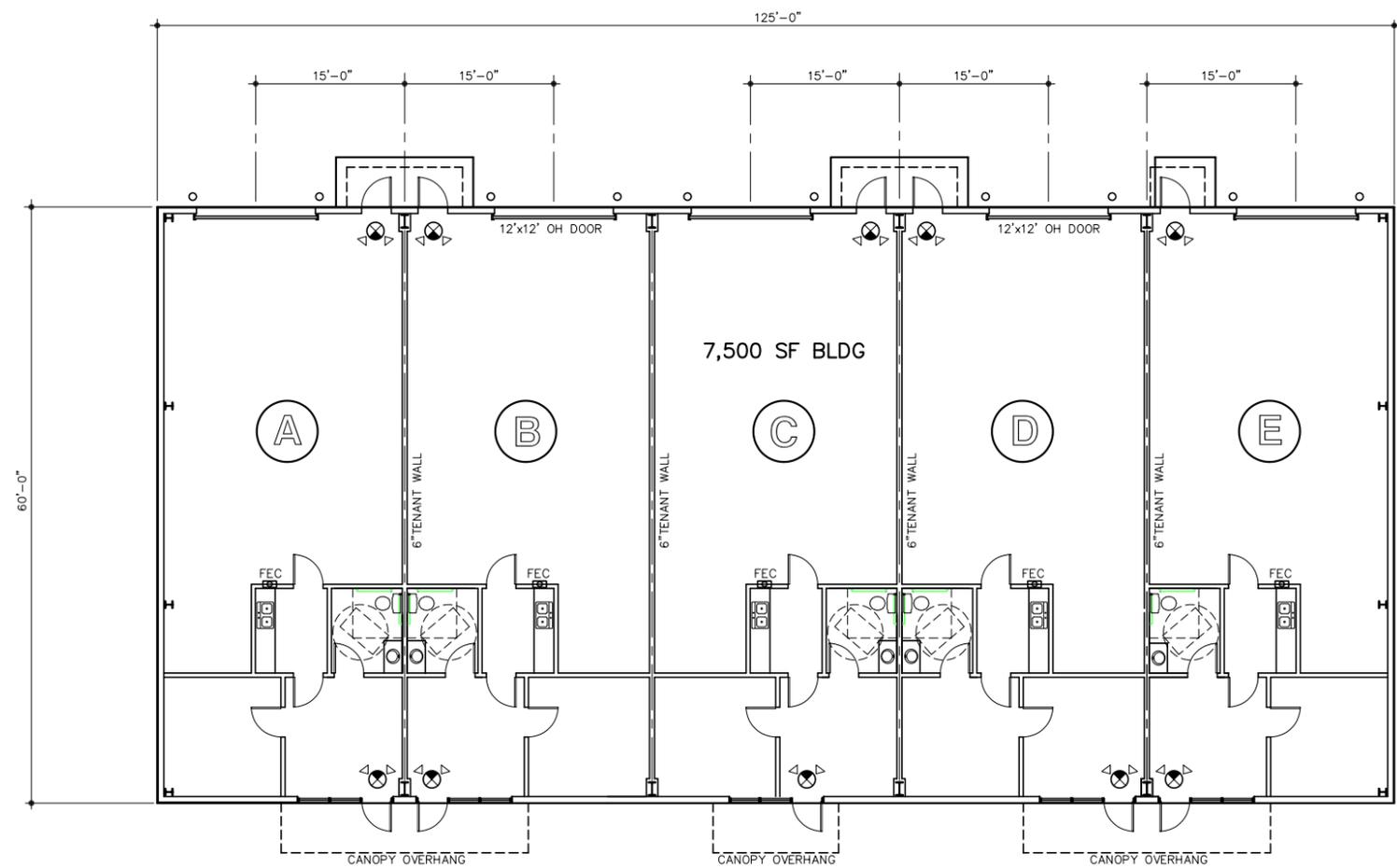
COMPUTER GENERATED DRAWING. THE USE OF THESE DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT / ENGINEER IS PROHIBITED. VIOLATORS WILL BE SUBJECT TO LEGAL ACTION.



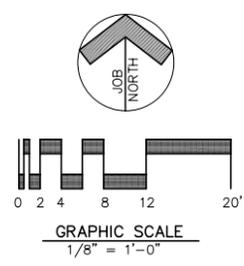
SIDE ELEVATION
1/8" = 1'-0"



FRONT ELEVATION
1/8" = 1'-0"



FLOOR PLAN
1/8" = 1'-0"



REV	DATE	BY	DESCRIPTION
X	X	X	X
X	X	X	X

THOMAS GALLAGHER ARCHITECT
ARCHITECT • LAND PLANNER •
2512 LIVERPOOL DRIVE CHARLESTON, SC 29414 (843) 571-4331
EMAIL: TgallagherArch@gmail.com



NEW BUILDING
FARM ROAD
SUMMERSVILLE, SOUTH CAROLINA

PRELIMINARY DEIGN

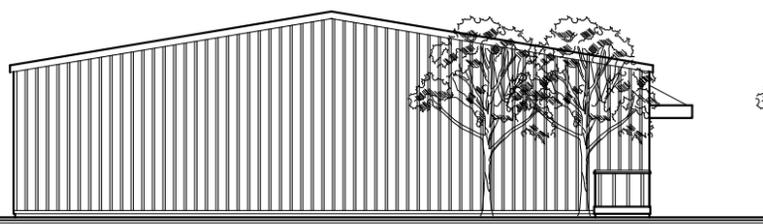
SHEET TITLE-

PROJECT NUMBER
2020-11

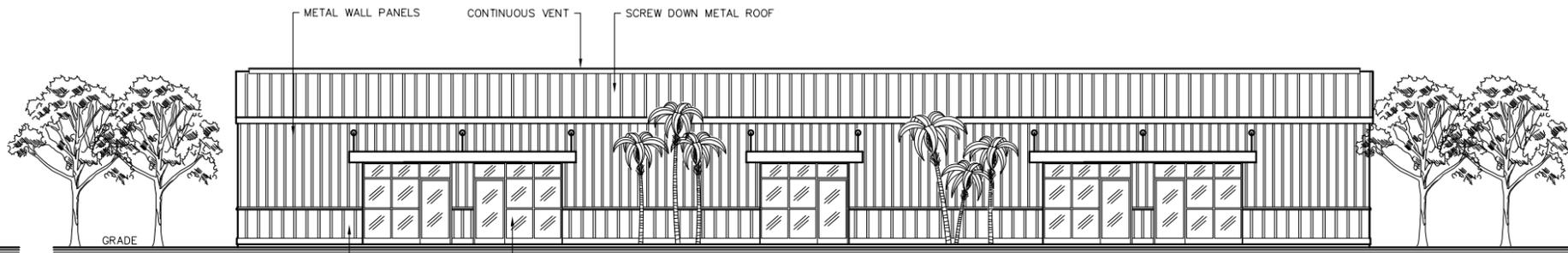
DATE: 19 AUG 2020
SCALE: NOTED
DRAWN BY: GALLAGHER
CHKD BY: GALLAGHER
DRWG SF: 96

A1
1 OF 1

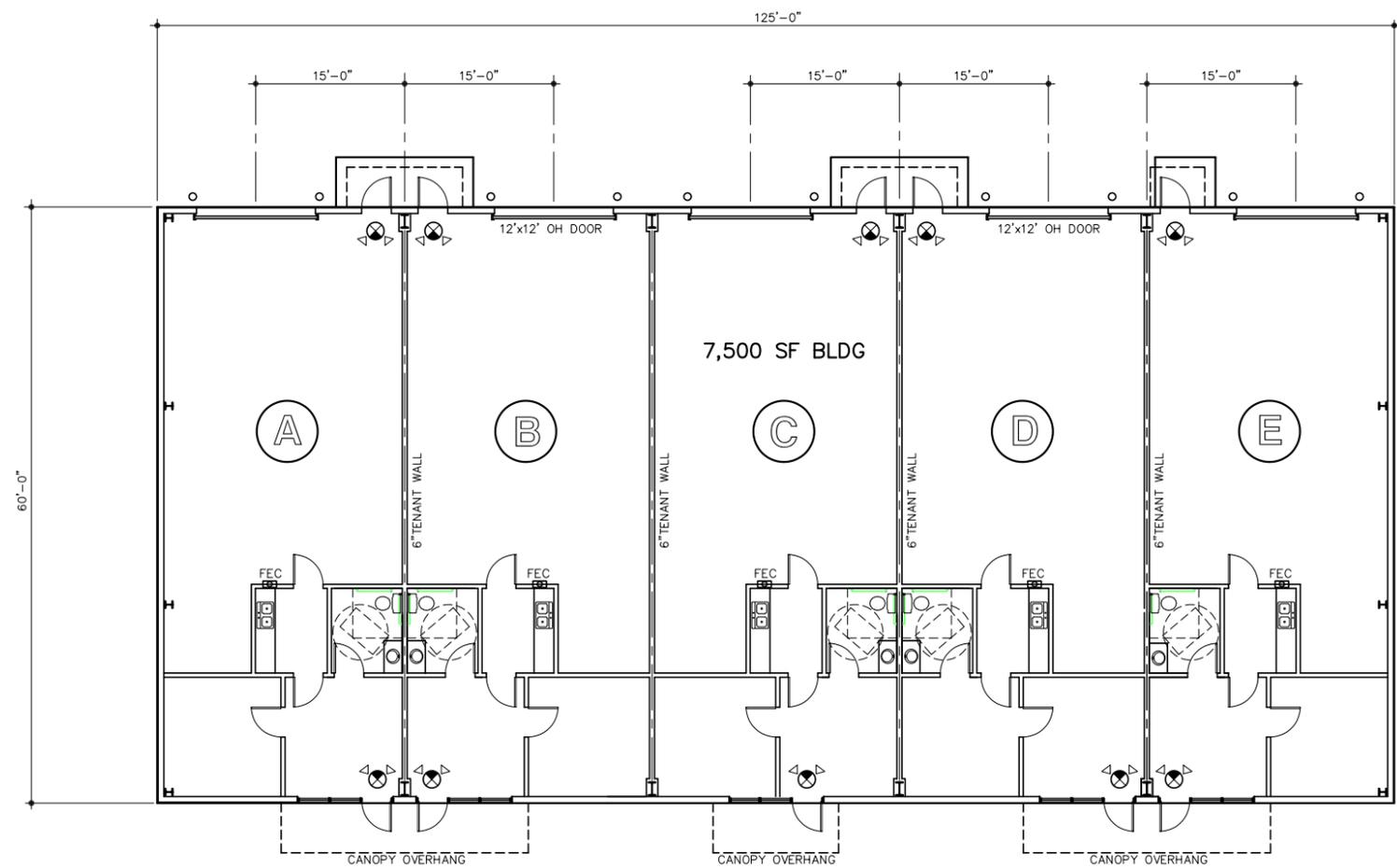
COMPUTER GENERATED DRAWING. THE USE OF THESE DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT / ENGINEER IS PROHIBITED. VIOLATORS WILL BE SUBJECT TO LEGAL ACTION.



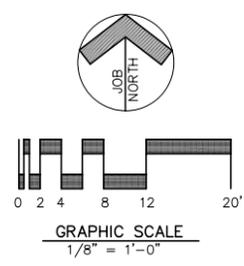
SIDE ELEVATION
1/8" = 1'-0"



FRONT ELEVATION
1/8" = 1'-0"



FLOOR PLAN
1/8" = 1'-0"



REV	DATE	BY	DESCRIPTION
X		X	
X		X	

THOMAS GALLAGHER ARCHITECT
ARCHITECT • LAND PLANNER •
2512 LIVERPOOL DRIVE CHARLESTON, SC 29414 (843) 571-4331
EMAIL: TgallagherArch@gmail.com



NEW BUILDING
FARM ROAD
SUMMERSVILLE, SOUTH CAROLINA

PRELIMINARY DEIGN

SHEET TITLE-

PROJECT NUMBER
2020-11

DATE: 19 AUG 2020

SCALE: NOTED

DRAWN BY: GALLAGHER

CHKD BY: GALLAGHER

DRWG SF: 96

A1
1 OF 1





















