



**TOWN OF SUMMERVILLE
DESIGN REVIEW BOARD – AGENDA
Summerville Municipal Complex
Annex Building 3rd Floor Council Chambers
June 18, 2020 4:00 p.m.**

Approval of May 21, 2020 meeting Minutes

APPLICANTS –

For additional information regarding this public meeting please contact the Planning Department at 843.851.5200. All applications and related documents for this public meeting are available for review at the Planning Department during regular business hours, Monday–Friday, 8:30–5:00 excluding Town of Summerville holidays.

OLD BUSINESS:

- 1. 106 Boone Street – Emanuel Baptist Church new sanctuary (N-R)**
The applicant is requesting Final Approval
- 1. Parker’s Kitchen – Development of a new gas station at Ladson Road and Limehouse Drive (UC-MX)**
The applicant is requesting Final Approval

NEW BUSINESS:

- 1. 195 Marymeade Drive – Hoover Dodge freestanding pre-engineered building for overflow service (G-B)**
The applicant is requesting Final Approval
- 2. Signs:**

Miscellaneous:

NONE

ADJOURN:

Posted June 11, 2020

Design Review Board Minutes
Thursday, May 21, 2020
Annex Building 3rd Floor Council Chambers

Members Present:

Bill Beauchene
Chris Karpus
Chris Campeau
Carolyn Rogerson
Michael Gregor - Absent
Hart Weatherford

Staff Present:

Tim Macholl, Zoning Administrator
Bonnie Miley, Assistant Town Engineer
Rich Palmer, Building Official

Items on the agenda:

OLD BUSINESS:

1. **710 N Main Street – Exterior Renovations of the existing building for a new Salon (UC-MX)**
The applicant is requesting Final Approval
2. **N. Cedar St. Offices – Development of a new 10,000 sf office building at 204 N Cedar St (B-3)**
The applicant is requesting Preliminary Approval

NEW BUSINESS:

1. **440 Old Trolley Road – Front Façade renovation (N-MX)**
The applicant is requesting Final Approval
2. **428 Old Trolley Road – Front Façade renovation (N-MX)**
The applicant is requesting Final Approval
3. **Signs:**
 - a. **Avid Hotel – Internally illuminated Sign Request**
 - b. **Reagin Orthodontics – Internally Illuminated Sign Request**
 - c. **Parkers Kitchen – Internally Illuminated Sign Request and 2nd sign for corner lot**

Old Business Continued:

1. **101 N Main Street – Redevelopment of existing restaurant (D-MX)**
The applicant is requesting Final Approval - Applicant requests to be heard last for health reasons

Miscellaneous:

NONE

The meeting was called to order at 4:01 pm by the Chairman.

Mr. Campeau asked for consideration of the April 16, 2020 meeting minutes. Mr. Beauchene made a motion for approval of the minutes as presented and Mr. Karpus seconded. The motion carried 5-0, with Ms. Pratt abstaining having not attended the meeting.

Mr. Campeau asked if the Board would consider amending the agenda to review the signs before the Old Business. Ms. Pratt made a motion to amend the agenda to hear the applications for signs first. The motion was seconded by Mr. Weatherford. The motion passed unanimously 6-0.

Signs:

- a. **Avid Hotel – Internally illuminated Sign Request** – The first sign to be reviewed is a request for internal illumination for the proposed monument sign to be located on the Avid Hotel property. Mr. Macholl explained the reason for the request. Ms. Maria Whack of Palmetto State signs presented the request to the Board. Mr. Beauchene asked about the base. Ms. Whack described the proposed metal base painted to match colors from the Building. The Board expressed a concern for the color of the base. Mr. Campeau explained that the Board prefers bases that match the building materials of the building.

Ms. Pratt made a motion to approve internal illumination of the sign with the condition that the base materials match the building. The motion was seconded by Ms. Rogerson. The motion passed unanimously 6-0.

- b. **Reagin Orthodontics – Internally Illuminated Sign Request** – The second sign on the agenda is a request for an internally illuminated monument sign to replace the existing monument sign for Reagin Orthodontics, and Jackson Family Dentistry. Mr. Wayne Waters of Mr. Sign addressed the proposal. He explained that the owners want to update the signage at the site. The new sign will advertise all three offices and the intent is to try to match the building materials to the newer building.

Mr. Beauchene made a motion to approve the sign as presented. The motion was seconded by Ms. Pratt. The motion passed unanimously 6-0

- c. **Parkers Kitchen – Internally Illuminated Sign Request and 2nd sign for corner lot** – The third sign on the agenda did not have representation and the board chose to hold discussion until a representative was present.

OLD BUSINESS

1. **710 N Main Street** – The first item under Old Business was a request for Final Approval for the proposed redevelopment of the existing house located at 710 N Main Street. Mr. Macholl addressed the staff comments provided in the report. Mr. Trahn Vu presented to the Board the changes that were made to the plans based upon the comments received at the last meeting. He explained that he had removed the parapet wall and had switched to a shed style roof over the proposed front porch. Ms. Rogerson asked if they were painting the brick. Mr. Vu explained that yes the brick was to be painted and that the colors would match those shown in the renderings. Mr. Campeau asked about the drawings submitted and whether professional level drawings are required. Mr. Macholl responded that the building code does not require an architect until it is over 5,000 sf for commercial properties. This building is less than 1,000 sf. Mr. Campeau asked if Mr. Vu was aware that he could not do construction without approvals. Mr. Macholl addressed the fact that work had proceeded on the property without permits or DRB Final Approval. Ms. Rogerson asked about the color on the side of the building. Mr. Vu explained that it is to be a cedar finish and that the rendering was not showing the wood grain finish. Mr. Karpus asked about the railings on the porch and the handrail on the stairs noting that they were not the same. Mr. Vu responded that the software he was using did not have a digital version for the chosen cable railing for the stairs. The design is intended to have the code required wood handrail at the top and the cable “slats” below. Mr. Rogerson asked about the roofing materials. The applicant indicated that the porch roof will have a metal roof and the remainder of the building will be re-roofed with shingles. Mr. Beauchene asked what type of metal roof and what color. Mr. Vu presented that the roof would be the 5-V metal roof with the galvalume finish. The board discussed the paver area at the front of the building. Mr. Vu explained it will not be individual pavers, but a stamped concrete to look like pavers. Cross access with the Wendy’s had previously been discussed and the applicant stated that he was not able to secure that.

Mr. Beauchene made a motion for Final Approval with the following condition:

- The porch roof be finished with a 5-V crimp galvalume finish metal roof;
- Cable railings shall be used on the porch and the railings on the stairs;
- Staff to approve the landscaping

The motion was seconded by Ms. Rogerson. Further discussion concerning the colors of the building ensued, with Mr. Macholl addressing the colors for the board. Mr. Campeau expressed a concern that there was not enough landscaping. The motion passed unanimously 6-0.

2. **N. Cedar St. Offices** – The second item under Old Business was a request for Preliminary Approval of a proposed office development located on N. Cedar Street. The applicant Mr. Tom Wingard of Pendium Group came to the podium to address the Board. Mr. Macholl explained that in response to the Board the applicant had provided four possible options for the exterior façade of the building. Mr. Wingard explained the designs and how they progressed. Mr. Wingard explained that they had already leased the first floor to a doctor’s group, would like to continue moving forward to approval, so any of the four elevations proposed would be acceptable. After some discussion and review of the proposed elevations the Board settled on the preferred elevation “D”. The design includes a tan brick and board and baton style hardi board. Most of the Board members really liked the board and baton design. Mr. Karpus told the applicant that he felt that the EIFS cornice detail was unnecessary, there was good verticality in the design and that the cornice did not help the overall design. He suggested keeping the high parapet wall and wrapping it around the side of the building. He also expressed concerns with the second story windows, and that without details they look like “punch

outs". Mr. Beauchene proposed wrapping the corners of the building approximately 12 feet on all four corners. The Board discussed where the brick would look best on the building. Mr. Campeau pointed out that with the way this building situated on the lot on this street all sides of the building will be visible. Ms. Rogerson indicated that she felt that this is what the UDO was trying to get done. Mr. Karpus proposed that it would be better to add details to the hardi plank sections of the building than just adding brick.

Discussion moved to the overall site design, Mr. Macholl presented the staff comments regarding the landscaping and parking. Mr. Campeau asked if the dumpster enclosure was permitted at the location it was shown. Mr. Macholl confirmed that it was. Lighting was discussed with Mr. Wingard explaining that the fixtures in the packet had been chosen when the building had a more residential design. Mr. Weatherford asked if they intended to utilize the curbing that currently exists on the property. Mr. Wingard stated that they had originally but had now changed the plan. The Board expressed great concerns with the parking lot layout echoing staff concerns. Specifically the pinch point at the entrance. Mr. Beauchene suggested reversing the flow of the one way drive aisle to eliminate the crossover, add a stop sign at that location. Mr. Gene Brislin presented to the Board that he felt that the design would work. Mr. Weatherford added that he understood that a certain number of parking spaces were needed to meet the needs of the proposed tenant, but that the design has to take into consideration that it doesn't work. After considerable discussion of ways to address the parking lot circulation the Board moved onto the landscaping comments. Mr. Wingard stated that they would change the Sugar Maples out with Willow Oaks. Mr. Campeau asked about the proposed signage. Mr. Wingard said that they intend to have a brick base to match the building, and that it would be externally illuminated, but that a final design would come a little later.

Mr. Beauchene made a motion for Final Approval with comments noted and that the Elevation revision would be submitted through staff for circulation and comment, and that site issues would be resolved by staff, and that signage would come later. The motion was seconded by Ms. Rogerson. The motion passed unanimously 4-2.

NEW BUSINESS

1. 440 Old Trolley Road – The first item under New Business was a request for Final Approval of proposed façade renovations for the existing building located at 440 Old Trolley Road. Mr. Macholl indicated that this and the next case were projects working together and should be considered as a cohesive plan, but that separate votes would be required for the two properties. Mr. Losse Knight of LFK Architects presented to the Board the plans for the two buildings combined. He explained that these projects were working in conjunction with the previously approved building at the corner. The owner had acquired the other adjacent buildings and intended to make them look like a cohesive development utilizing the same materials and design elements for the façade renovations of the older buildings. He continued to explain that there were no proposed site changes for the other two locations and that all renovations were to the buildings only. He showed the Board the existing conditions and the proposed elevations. He apologized that he did not have materials boards to show the members, but that all of the proposed materials were to match the previously approved building at the corner. The proposed changes to 428 include the removal of the green awnings and the construction of a parapet and entrance frames. Mr. Campeau questioned if brick was being added to the buildings, or if all materials being added were EIFS. Mr. Knight confirmed the use of the painted brick. Mr. Karpus communicated to the applicant that he liked the painted brick and the vertical elements that were added to the facades of both buildings. Mr. Campeau asked about the cabinet signs on the façade of the building. Mr. Knight told the board that the intent is to replace the signs. Mr. Macholl explained that the UDO does not allow that style of cabinet signs anymore. Further discussion of the facades addressed massing, with no changes requested.

Ms. Rogerson made a motion for Final Approval as submitted. The motion was seconded by Mr. Weatherford. The motion passed unanimously 6-0.

2. 428 Old Trolley Road – The second item under New Business was a request for Final Approval for proposed façade renovations to the existing building. Discussion concerning this agenda item was conducted in conjunction with the above item. The Board vote is recorded below.

Ms. Rogerson made a motion for Final Approval as submitted. The motion was seconded by Mr. Weatherford. The motion passed unanimously 6-0.

Ms. Pratt had to leave the meeting.

NEW BUSINESS CONTINUED

1. **101 N. Main Street** – The next under New Business was a request for Final Approval of a proposed redevelopment of the restaurant located at 101 N. Main Street. Ms. Rachel Burton of Swallowtail Architecture and Mr. Justin Feit of Feit Design came up to present the changes to the plans. Ms. Burton presented the changes to the architecture. She detailed that on the Main Street elevation the windows and lighting elements were changed, and that the baton spacing was changed. Overall subtle changes but she felt they had a big impact on the design. For the Luke Street façade, the scale of the windows and the center parapet were reduced as requested. The materials for the building have been changed slightly with new brick being chosen because there was little original brick to keep. Samples were shown. She explained that the existing CMU section of the building at the rear will be painted white. Landscaping issues were addressed, with the existing tree being preserved, and a couple of trees being added to the site to soften the exterior. An American Holly is proposed for the one corner of the building and Crepe Myrtles are proposed for the Luke Street frontage. Further discussion centered on the proposed lighting, the applicants showed goose neck lights and square sconces. Mr. Campeau asked about the dumpster location. Mr. Feit addressed the question explaining that the dumpster was not relocated. Mr. Beauchene and Mr. Weatherford agreed that the proposed location was about the only location it could go. Mr. Karpus asked about the window heights on the Main Street side, and if they were all at the same height. Mr. Feit confirmed that they should be. The Board indicated to the applicant that overall they really liked the proposed renovation, and that they felt all of the issues had been addressed.

Mr. Karpus made a motion for Final Approval as presented. The motion was seconded by Ms. Rogerson. The motion passed unanimously 5-0.

MISCELLANEOUS:

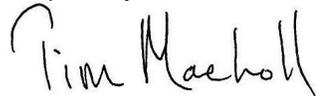
There were no items under miscellaneous.

ADJOURN:

There being no further business, the meeting was adjourned at 6:19 PM on a motion by Mr. Beauchene and a second by Ms. Rogerson. The motion passed unanimously.

Respectfully Submitted,

Date: _____



Tim Macholl
Zoning Administrator

Approved: Chris Campeau, Chairman _____; or,

Michael Gregor, Vice Chairman _____

**STAFF REPORT
CDRB Meeting
June 18, 2020 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: June 11, 2020

GENERAL INFORMATION

Applicant: Emanuel Baptist Church
Property Owner: Emanuel Baptist Church
Requested Action: The applicant is requesting Final Approval for a proposed new Sanctuary
Requested Approval: Final Approval
Existing Zoning: N-R Neighborhood Residential
Adjacent Zoning: **North:** N-R Neighborhood Residential
South: N-R Neighborhood Residential
East: N-R Neighborhood Residential
West: N-R Neighborhood Residential
Location: 106 Boone Street
Existing Land Use: Emanuel Baptist Church
Prior Approvals: 3/19/2020 – DRB Canceled
4/16/2020 – DRB Final Site Approval with Architecture to come back for Approval
4/21/2020 – BZA Approved – Height Variance

Ordinance Reference:
Sec. 13.3.5. Design Review Board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

The applicant has revised the proposed architecture to address the comments provided by the Board at the April meeting. Staff has approved a Foundation only permit to allow the construction at the site to proceed while the final architecture for the building is finalized.

Comments from 3/19/2020: The applicant is requesting Final Approval for a proposed new sanctuary building. The applicant needs to update the plans and address the TRC comments concerning the 36” Live Oak on the edge of the parking. This tree will not be able to survive with the proposed paving. A tree removal permit will be required. The plans are showing parking on the adjacent lawn area next to the daycare, this had not been previously discussed or shown in previous plans. This area should remain grass and an area for preserved trees. It can be used informally as parking during services, but the plan should not show parking being designated for this area. If it is intended to be used for designated parking a tree removal permit would be required for the removal of the existing trees. The applicant has applied for a Variance for the proposed height of the building. The application is on the agenda for the March 31, 2020 BZA Meeting.



Location Information

This property is in the Town of Summerville.

TMS: 130-14-06-008.000

Owner: CHURCH-EMANUEL BAPTIST INC

Second Owner:

Zoning: N-R

Address: 106 BOONE ST

Subdivision:

County: Dorchester

Council District: 1

Representative: Aaron Brown

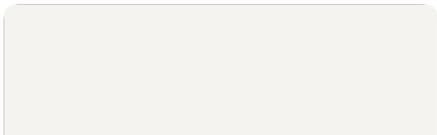


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 +SSKPI

7XIX :M



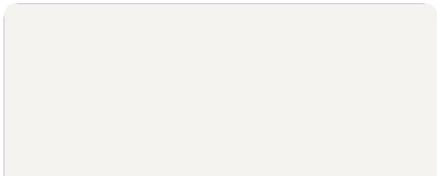


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 +SSKPI

7XIX :M





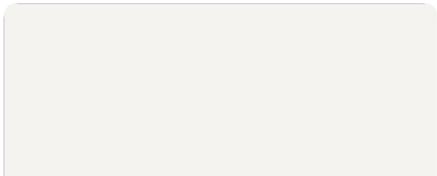
Google

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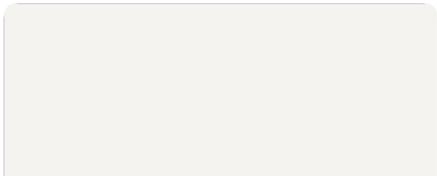


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 +SSKPI

7XIX :M



CIVIL PERMIT SET FOR THE EMANUEL BAPTIST CHURCH

OWNER:

EMANUEL BAPTIST CHURCH
106 BOONE STREET,
SUMMERVILLE, SC 29483
(843) 875-6786

NESMITH CONSTRUCTION
1229 AIMWELL ROAD
ANDREW, SC 29510
(843) 387-5700



**Robert Davis
ENGINEERING, LLC**

181 E EVANS STREET SUITE 210
FLORENCE, SC 29506
(843) 536-0896



**Robert Davis
ENGINEERING, LLC**

181 E. Evans Street, BTC 024
Florence, SC 29506
Phone (843) 536-0896
Fax (843) 536-0901

Seals:



EMANUEL BAPTIST CHURCH
NEW SANCTUARY
106 BOONE STREET
SUMMERVILLE, SC 29483

Mark	Date	Description	Revisions

SHEET TITLE

COVER

Drawn	AEB
Designed	RD
Checked	RD
Date	1/20/2019
Job No.	19078

Sheet No.
G100

DRAWING INDEX

G100	TITLE SHEET
G101	ABBREVIATIONS
C100	GENERAL NOTES
C101	EXISTING CONDITIONS
C102	DEMO PLAN
C103	OVERALL SITE PLAN
C104	SITE PLAN
C105	GRADING AND UTILITY PLAN
C106	STORMWATER PLAN
C107	LANDSCAPE PLAN
C201	UTILITY DETAILS
C202	SITE DETAILS
C203	SITE DETAILS
C204	LANDSCAPE DETAILS
C301	STORM DRAIN PROFILE
C401	SCDOT DETAILS

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ABBREVIATIONS

L	ANGLE	CS	CAST STONE	FRT	FIRE-RETARDANT	LTVG	LIGHTNING	PSF	POUNDS PER SQUARE FOOT	THRES	THRESHOLD
A/C	AIR CONDITIONING	CSK	COUNTERSUNK	FS	FULL SIZE	LVR	LOUVER	PSI	POUNDS PER SQUARE INCH	TK BD	TACKBOARD
A/C UNIT	AIR CONDITIONING UNIT	CSMT	CASEMENT	FSNTR	FASTENER	LWC	LIGHTWEIGHT CONCRETE	PT	PNEUMATIC TUBE	TKS	TACKSTRIP
AB	ANCHOR BOLT	CT	CERAMIC TILE	FT	FEET	LWT	LEAVING WATER TEMPERATURE	PT CONC	POINT	TO	TOP OF
ABV	ABOVE	CTF	CURRENT TRANSFORMER	FTG	FOOTING	M	METER(S)	PTD	POST-TENSIONED CONCRETE	TOL	TOLERANCE
AC	ALTERNATING CURRENT	C TO C	CENTER TO CENTER	FURG	FURRING	M&B	MATCHED AND BEADED	PTN	PAPER TOWEL DISPENSER	TOPO	TOPOGRAPHY
ACC	ACCESSIBLE	CU	CENTER	FUT	FUTURE	MACH	MACHINE	PTR	PAPER TOWEL RECEPTACLE	TOS	TOP OF SLAB
ACI	AMERICAN CONCRETE INSTITUTE	CJ	CONDENSING UNIT	FW	FIRE WATER	MAS	MASONRY	PV	PAVED	TOW	TOP OF WALL
ACR	ACRYLIC PLASTIC	CU FT	CUBIC FEET	FWC	FABRIC WALL COVERING	MATL	MATERIAL(S)	PVC	POLYVINYL CHLORIDE	TPD	TOILET PAPER DISPENSER
ACS DR	ACCESS DOOR	CUH	CUBIC FEET	G	NATURAL GAS	MAX	MAXIMUM	PVG	PAVING	TPTN	TOILET PARTITION
ACS PNL	ACCESS PANEL	CUY	CUBIC YARDS	GA	GAGE	MB	MACHINE BOLTS	PW	PASS WINDOW	TRANS	TRANSOM
ACSR	ALUMINUM CABLE STEEL REINFORCED	CU YD	CUBIC YARDS	GAL	GALLON(S)	MBR	MEMBER	QT	QUART	TRNS	TRANSVERSE
ACT	ACoustical CEILING TILE	CVH	CONDUCTIVE VINYL HOMOGENEOUS (SHEET TYPE)	GLV STL	GALVANIZED	MC	MEDICINE CABINET	QTR	QUARTER	TV	TELEVISION
ADDM	ADDENDUM	CW	COLD WATER	GB	GRAB BAR	MCO	METAL-CASED OPENING	1/4 RND	QUARTER ROUND	TYP	TYPICAL
ADH	ADHESIVE	CYL	CYLINDER	GC	GENERAL CONTRACTOR	MECH	MECHANICAL	QTY	QUANTITY	UC	UNIT COOLER
ADJ	ADJACENT, ADJOINING, ADJUSTABLE	D	DATUM	GEN	GENERAL	MECH RM	MECHANICAL ROOM	R	RANGE	UGND	UNDERGROUND
ADO	AUTOMATIC DOOR OPERATOR	DAT	DATUM	GF	GROUND FACE	MEC	MEDIUM	RAB	RABBETED	UH	UNIT HEATER
AFF	ABOVE FINISHED FLOOR	DB	DRY BULB	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	MEMB	MEMBRANE	R	RISER	UL	UNDERWRITERS LABORATORIES
AGGR	AGGREGATE	DBL ACT DR	DOUBLE ACTING DOOR	GFE	GOVERNMENT-FURNISHED EQUIPMENT	MECH	METAL EDGE STRIP	R	RETURN AIR	UNEX	UNEXCAVATED
AHU	AIR HANDLING UNIT	DCJ	DOWELED CONTROL JOINT	GFE/CI	GOVERNMENT-FURNISHED EQUIPMENT CONTRACTOR INSTALLED	MFG	MANUFACTURING	RAB	RABBETED	UNFIN	UNFINISHED
AI	AREA INLET	DCJT	DUMMY CONTROL JOINT	GIP	GALVANIZED IRON PIPE	MFR	MANUFACTURER	RA GR	RETURN AIR GRILLE	UPS	UNINTERRUPTIBLE POWER SUPPLY
AIC	AMPERE INTERRUPTING CAPACITY	DEG	DEGREE	GKT	GASKET(ED)	MIR	MIRROR	RAR	RETURN AIR REGISTER	UR	URNAL
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	DEMO	DEMOLITION	GL	GLASS	MIS	MISCELLANEOUS	RECPT	RECEPTACLE	UTL	UTILITY
AL	ACTIVE LEAF	DEPR	DEPRESSION	GL BLK	GLASS BLOCK	MGT	MANHOLE	RBL	RUBBLE STONE	UV	UNIT VENTILATOR
ALT	ALTERNATE	DEPT	DEPARTMENT	GLF	GLASS FIBER	MH	MANHOLE	RBR	RUBBER	V	VOLT
ALUM	ALUMINUM	DET	DETAIL	GLZ	GLAZING	MI	MALLEABLE IRON	RC	REMOTE CONTROL	VAR	VARNISH
AMB	AMBIENT	DF	DRAINING FOUNTAIN	GLZ CMU	GLAZED CONCRETE MASONRY UNITS	MIR	MIRROR	RCP	REINFORCED CONCRETE PIPE	VBS	VINYL BASE
AMP	AMPERE	DH	DUCT HEATER	G	GROUND	MIRR	MIRROR	RCVR	RECEIVER	VCT	VINYL COMPOSITION TILE
ANOD	ANODIZE	DIA	DIAMETER	GOVT	GOVERNMENT	MISC	MISCELLANEOUS	RDG INS	RIGID INSULATION	VCT	VITRIFIED CLAY TILE
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	DIA	DIAMETER	GPM	GALLONS PER MINUTE	ML	MILL LATH	RDG INS	RIGID INSULATION	VD	VAULT DOOR
APPD	APPROVED	DIA	DIAMETER	GRAN	GRANITE	MNL	MONOLITHIC	RENF	REINFORCED	VENT	VENT (EXHAUSTION)
APPROX	APPROXIMATE	DIM	DIMENSION	GR LN	GRADE LINE	MLDG	MILLWORK	REC ROOM	RECREATION ROOM	VERT	VERTICAL
ARCH	ARCHITECT	DISC	DISCONNECT	GR LN	GRADE LINE	MLWK	MILLWORK	RECT	RECTIFIER	VEST	VESTIBULE
ARI	AMERICAN REFRIGERATION INSTITUTE	DISP	DISPENSER	GRTG	GRATING	mm	MILLIMETER(S)	REF	REFERENCE	VF	VINYL FABRIC
ASC	ABOVE SUSPENDED CEILING	DISTR PNL	DISTRIBUTION PANEL	GSU	GLAZED STRUCTURAL TILE	MIC	MATERIAL NOT IN CONTRACT (INSTALLATION BY CONTRACTOR)	REFL	REFLECT	V.I.	VOLTAJE TRANSFORMER
ASPH	ASPHALT	DL	DEAD LOAD	GT	GROUT	MOD	MODULAR	REFR	REFRIGERATION	VH	VINYL HOMOGENEOUS
ATC	ACOUSTICAL TILE CEILING	DMPP	DAMP PROOFING	GWT	GLAZED WALL TILE	MOD	MODIFIED	REG	REGISTER	VJ	V-JOINT(ED)
AUTO	AUTOMATIC	DNPR	DEMOUNTABLE	GYP	GYP(SUM) BOARD	MOT	MOTOR	REG	REGLET	VNR	VENEER
AVG	AVERAGE	DMT	DEMOUNTABLE	GYP BD	GYP(SUM) BOARD	MP	MOVABLE PARTITION	REM	REMOVE(ABLE)	VR	VAPOR RETARDER
AWG	AMERICAN WIRE GAUGE	DN	DOWN	GYP PLAS	GYP(SUM) PLASTER	MR	MOP RECEPTOR	REOD	REQUIRED	VRM	VERMICULITE
AWT	ACOUSTICAL WALL TREATMENT	DR	DOOR	HB	HOSE BIBB	MRB	MARBLE BASE	RESIL	RESILIENT	VS	VENT STACK
BB	BULLETIN BOARD	DRB	DRAINBOARD	HC	HOLLOW CORE	MRD	METAL FLOOR DECKING	RENF	REINFORCED	W	WALL HUNG
BC	BOOKCASE	DRB	DRAINBOARD	HCD	HALON CONTAINMENT DAMPER	MS	MACHINE SCREWS	REV	REVISION	VTR	VENT THRU ROOF
BD	BOARD	DR CL	DOOR CLOSER	HCP	HANDICAPPED	MT	METAL THRESHOLD	RFG	ROOFING	VWC	VINYL WALL COVERING
BDRY	BOUNDARY	DS	DOUBLE STRENGTH (GLASS)	HD	HEAD	MT	MOUNT	RH	RELATIVE HUMIDITY	W	WEST
BEJ	BRICK EXPANSION JOINT	DS	DOUBLE STRENGTH (GLASS)	HD	HEAD	MTD	MOUNT	RH	RELATIVE HUMIDITY	W	WEST
BEV	BEVEL	DT	DRAIN TILE	HDBD	HARDBOARD	MTFR	METAL FURRING	RH	ROOF HATCH	WB	WET BULB
BITUM	BITUMINOUS	DVTL	DOVETAIL	HD JT	HEAD JOINT	MTL	METAL	RK	RACK	WBL	WOOD BLOCKING
BJT	BED JOINT	DWG	DRAWING	HDR	HEADER	MVBL	MOVABLE	RLG	RAILING	WC	WATER CLOSET
BLDG	BUILDING	DWLS	DRAWERS	HDWR	HARDWARE	MULL	MULL	RM	ROOM	WC	WHEELCHAIR
BLW	BELOW	DWTR	DUMBWATER	N	NORTH	RND	ROUND	RND	ROUGH OPENING	WCO	WOOD-CASED OPENING
BM	BENCHMARK	DX	DIRECT EXPANSION	HES	HIGH EARLY-STRENGTH CEMENT	NAT	NATURAL	RO	ROUGH OPENING	WD	WOOD
BO	BOTTOM OF	EA	EACH	HEX	HEXAGON	NC	NORMALLY CLOSED	ROW	RIGHT OF WAY	WD	WOOD DOOR
BOT	BOTTOM	EAT	ENTERING AIR TEMPERATURE	HK	HOOK(S)	NEMA	NATIONAL ELECTRICAL CODE	RP	RAISED PATTERN RUBBER TILE	WDSP	WASTE DISPOSER
BP	BACK PLASTER(ED)	EAF	EACH FACE	HM	HOLLOW METAL	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION	RPM	REVOLUTIONS PER MINUTE	WDW	WINDOW
BRCC	BRACING	EF	EACH FACE	HNDRL	HANDRAIL	Ni	NICKEL	RPR	RAISED PATTERN RUBBER TILE	WF	WIDE FLANGE
BRDG	BRIDGING	EJ	ENTERING JOINT	HNDRL	HANDRAIL	NT	NOT IN CONTRACT	RFT	RUBBER TILE FLOOR	WGL	WIRED GLASS
BRG	BEARING	EL	ELEVATION - GRADE OR BUILDING	HP	HIGH PRESSURE	NR	NOT IN CONTRACT	RFR	REFRIGERATION	WH	WATER HEATER
BRG PL	BEARING PLATE	ELEC	ELECTRIC	HP	HORSEPOWER	NL	NEOPRENE LATEX	RVC	RAINWATER CONDUCTOR	WHB	WHEEL BUMPER
BRK	BRICK	EM	EXPANDED METAL	HPT	HIGH POINT	NL	NEOPRENE LATEX	S	SOUTH	WHM	WATT-HOUR METER
BRKT	BRACKET	EMD	ESTIMATED MAXIMUM DEMAND	HJR	HOUR	NM	NONMETALLIC	SA	SUPPLY AIR	WRB	WARDROBE
BRZ	BRONZE	EMER	EMERGENCY	HS	HIGH STRENGTH	NO	NORMALLY OPEN	SB	SPLASH BLOCK	WKS	WORK SHOP
BS	BOTH SIDES	ENCL	ENCLOSURE	HSGYP	HIGH-STRENGTH GYPSUM PLASTER	NOM	NOMINAL	S.B.	SECURITY BARS	WM	WIRE MESH
BSMT	BASEMENT	ENTR	ENTRANCE, ENTERING	HSPKG	HOUSEKEEPING	NR	NOISE REDUCTION	SC	SOLID CORE	W/O	WITHOUT
BTU	BRITISH THERMAL UNIT	ENT	ENTERING	HTR	HEATING	NRG	NOISE REDUCTION COEFFICIENT	SCHED	SCHEDULE	WP	WEATHERPROOFING
BTU/H	BTU PER HOUR	EPRF	EXPLOSION PROOF	HTR	HEATING	N'REOD	NOT REQUIRED	SCRN	SCREEN	WP	WEATHERPROOFING
BTWN	BETWEEN	EPY	EPOXY COATING	HTR	HEATING	NTS	NOT TO SCALE	SCT	STRUCTURAL CLAY TILE	WP	WORKING POINT
BUR	BUILT-UP ROOFING	EQ	EQUAL	HVAC	HEATING, VENTILATING AND AIR CONDITIONING	OA	OUTSIDE AIR	SD	STORM DRAIN	WR	WASTE RECEPTACLE
CB	CABINET	ESCAL	ESCALATOR	EQIP	EQUIPMENT	OB	OUTSIDE AIR	SDI	STEEL DOOR INSTITUTE	WRB	WARDROBE
CAP	CAPACITY	EST	ESTIMATE(D)	ESCAL	ESCALATOR	OBW	OBSERVATION WINDOW	SECT	SECTION	WS	WATERSTOP
CB	CATCH BASIN	EWC	ELECTRIC WATER COOLER	EST	ESTIMATE(D)	OC	ON CENTER	SEQ	SEQUENCE	W.S.	WASTE STACK
CCTV	CLOSED CIRCUIT TELEVISION	EWV	ELECTRIC WATER COOLER	EXC	EXCAVATE	OC	ON CENTER	SFGL	SAFETY GLASS	WSCOT	WAINSCOT
CE	COVER ELEVATION	EWV	ELECTRIC WATER COOLER	EXC	EXCAVATE	ILK	ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA	SFTL	STRUCTURAL FACING TILE UNIT	WT	WEIGHT
CEM	CEMENT	EXH	EXHAUST	EXH A	EXHAUST AIR	IN	INCH	SG	SHEET GLASS	W/W	WALL TO WALL
CEM PLAS	CEMENT PLASTER	EXH A	EXHAUST AIR	EXH B	EXHAUST AIR	INCH	INCH	SHDR	SHOULDER	WWF	WELDED WIRE FABRIC
CER	CERAMIC	EXST	EXPOSED	EXP	EXPANSION	INCLD	INCLUDED	SHG	SHEATHING	WWM	WELDED WIRE MESH
CFI	CONDUCTIVE FLOORING	EXP	EXPOSED	EXP	EXPANSION	INCLD	INCLUDED	SHTG	SHEATHING	WWR	WELDED WIRE REINFORCEMENT
CFLG	COUNTERFLASHING	EXP BT	EXPANSION BOLT	EXP	EXPANSION	INCLD	INCLUDED	SHV	SHELVING	XFMR	TRANSFORMER
CFM	CUBIC FEET PER MINUTE	EXT	EXTENSION	EXP BT	EXPANSION BOLT	INT	INTERIOR	SIM	SIMILAR	YD	YARD
CG	CORNER GUARD	EXT	EXTENSION	EXT	EXTENSION	INTM	INTERMEDIATE	SJ	STEEL JOIST INSTITUTE	YD	YARD
CH BD	CHALKBOARD	FA	FIRE ALARM	EXT	EXTENSION	INTV	INTERMEDIATE	SKLT	SKYLIGHT		
CHFR	CHAMFER	FA	FRESH AIR	FA	FRESH AIR	IP	IRON PIPE	SLNT	SEALANT		
CHIM	CHIMNEY	FA	FRESH AIR	FA	FRESH AIR	IPS	IRON PIPE SIZE	SLV	SLEEVE		
CHK	CHECK	FA	FRESH AIR	FA	FRESH AIR	IP.S.	INSIDE PIPE SIZE	SM	SHEET METAL		
CHR PL	CHROME PLATED	FAI	FRESH AIR INTAKE	FAI	FRESH AIR INTAKE	JAN CLO	JANITOR'S CLOSET	SMS	SHEET METAL SCREWS		
CI	CAST IRON	F BRK	FIRE BRICK	F BRK	FIRE BRICK	J-BOX	JUNCTION BOX	SOV	SHUT OFF VALVE		
CI	CAST IRON	FC	FOOT CANDLE	FC	FOOT CANDLE	JCT	JUNCTION	SPC	SPACER		
CIP	CAST-IN-PLACE	FC BRK	FACE BRICK	FC BRK	FACE BRICK	JST	JOIST	SPCL	SPECIAL		
CIRC	CIRCULAR	FCJ	FLOOR CONSTRUCTION JOINT	FCJ	FLOOR CONSTRUCTION JOINT	JT	JOINT	SPD	SOUNDPROOF DOOR		
CJ	CONTROL JOINT	FCO	FLOOR CLEANOUT	FCO	FLOOR CLEANOUT	KIP	KILOPOUND (1000 POUNDS)	SPC	SPECIFICATION		
CJ	CONSTRUCTION JOINT	FCU	FAN COIL UNIT	FCU	FAN COIL UNIT	KIT	KITCHEN	SPF	SOUNDPROOF		
CKT	CIRCUIT	FD	FLOOR DRAIN	FD	FLOOR DRAIN	KOP	KNOCKOUT PANEL	SP FIN	SPECIAL FINISH		
CKT BRKR	CIRCUIT BREAKER	FDMPR	FIRE DAMPER	FDMPR	FIRE DAMPER	KPL	KICKPLATE	SPH	SPACE HEATER		
CL	CENTER LINE	FDM	FOUNDATION	FDM	FOUNDATION	KV	KILOVOLTS	SPKR	SPEAKER		
CLG HT	CEILING HEIGHT	FDTN	FOUNDATION	FDTN	FOUNDATION	KVA	KILOVOLT AMPERES	SO	SQUARE		
CLGL	CLEAR GLASS	FEB	FIRE EXTINGUISHER	FEB	FIRE EXTINGUISHER	KVW	KILOVOLT AMPERES REACTIVE	SOHD	SQUARE HEAD		
CLL	CONTRACT LIMIT LINE	FEC	FIRE EXTINGUISHER BRACKET	FEC	FIRE EXTINGUISHER BRACKET	KWY	KEYWAY	S&R	SHELF AND ROD		
CLO	CLOSURE	FEF	FIRE EXTINGUISHER CABINET	FEF	FIRE EXTINGUISHER CABINET	LAB	LABORATORY	SS	SERVICE SINK		
CLR	CLEAR(ANCE)	FEL	FACTORY FINISH	FEL	FACTORY FINISH	LAD	LADDER	SST	STAINLESS SEAM (ROOF)		
CLWG	CLEAR WIRE GLASS	FGL	FIBERGLASS	FGL	FIBERGLASS	LAM	LAMINATE	STA	STATION		
CM	CENTIMETER(S)	FH	FIRE HYDRANT	FH	FIRE HYDRANT	LAT	LEAVING AIR TEMPERATURE	STD	STANDARD		
CMP	CORRUGATED METAL PIPE	FHC	FIRE HOSE CABINET	FHC	FIRE HOSE CABINET	LAU	LAUNDRY	STG	SEATING		
CMPT	COMPOSITE	FHMS	FLAT HEAD MACHINE SCREW	FHMS	FLAT HEAD MACHINE SCREW	LAV	LAVATORY	STL	STEEL		
CMU	CONCRETE MASONRY UNIT	FHR	FIRE HOSE RACK	FHR	FIRE HOSE RACK	LB	LAG BOLT	STOR	STORAGE		
CND	CONDUIT	FHS	FIRE HOSE STATION	FHS	FIRE HOSE STATION	LB	LAG BOLT	ST PR	STATIC PRESSURE		
CNL	CONDUCTIVE NEOPRENE LATEX	FHWS	FLAT HEAD WOOD SCREW	FHWS	FLAT HEAD WOOD SCREW	LBL	LABEL	STR	STRINGER		
CNR	CORNER	FIN	FINISH	FIN	FINISH	LBR	LUMBER	STRUC	STRUCTURAL		
CNTR	COUNTER	FIN FLR	FINISH FLOOR	FIN FLR	FINISH FLOOR	LCR	LIGHT CONTROL	STWY	STAIRWAY		
CO	CLEANOUT	FIXT	FIXTURE	FIXT	FIXTURE	LD	LOAD	SUB FL	SUBFLOOR		
CO2	CARBON DIOXIDE	FJT	FLOOR JOINT	FJT	FLOOR JOINT	LDG	LOADING	SUSP	SUSPENDED		
COL	COLUMN	FL	FLASHING	FL	FLASHING	LH	LENGTH	SV	SHEET VINYL		
COM	COMMON	FLR	FLOOR	FLR	FLOOR	LH	LENGTH	SW	SWITCH		
COMB	COMBUSTION	FLX	FLEXIBLE	FLX	FLEXIBLE	LIN	LINEAR	SWBD	SWITCHBOARD		
COMP	COMPARTMENT	FLG	FLOOR PLATE	FLG	FLOOR PLATE	LKR	LOCKER	SYMM	SYMMETRICAL		
CONC	CONCRETE	FLR PL	FLOOR PLATE	FLR PL	FLOOR PLATE	LLD	LEAD-LINED DOOR	SYNTH	SYNTHETIC		
CONN	CONNECT	FLUOR	FLUORESCENT	FLUOR	FLUORESCENT	LLM	LUMEN	SYS	SYSTEM		
CONSTR	CONSTRUCTION	FN	FENCE	FN	FENCE	LMST	LIMESTONE	T	TREAD		
CONT	CONTINUE	FOC	FACE OF CONCRETE	FOC	FACE OF CONCRETE	LNLT	LINTEL	TAN	TANGENT		
CONTR	CONTRACTOR	FOF	FACE OF FINISH	FOF	FACE OF FINISH	LONG	LONGITUDINAL	TPM	TERRAZZO		
CORR	CORRIDOR	FOM	FACE OF MASONRY	FOM	FACE OF MASONRY	LP	LIGHTPROOF	TC	TERRAZZO		
COV	COVER	FOS	FACE OF STUD	FOS	FACE OF STUD	LPD	LIGHTPROOF DOOR	TEL	TELEPHONE		
CPRS	COMPRESSIBLE	FP	FIREPROOF	FP	FIREPROOF	PL	PLASTER	TEMP	TEMPERATURE		
CPT	CARPET	FPL	FIREPARTITION	FPL	FIREPARTITION	PLB	PLUMBING	TEMPRFD	TEMPERATURE		
CR	CROSS	FR	FIRE RESISTANT	FR	FIRE RESISTANT	PLF	POUNDS PER LINEAR FOOT	TER	TERRAZZO		
CRCS	CORROSIVE RESISTANT STEEL	FPM	FEET PER MINUTE	FPM	FEET PER MINUTE	PLG	PLUMBING	TERM	TERMINAL		
CRG	CROSS GRAIN	FR	FIRE RESISTANT	FR	FIRE RESISTANT	PLG	PLUMBING	T&G	TONGUE AND GROOVE		
CRS	COURSE(S)	FRG	FORGED	FRG	FORGED	PLGL	POLISHED PLATE GLASS	TH	TRUSS HEAD		



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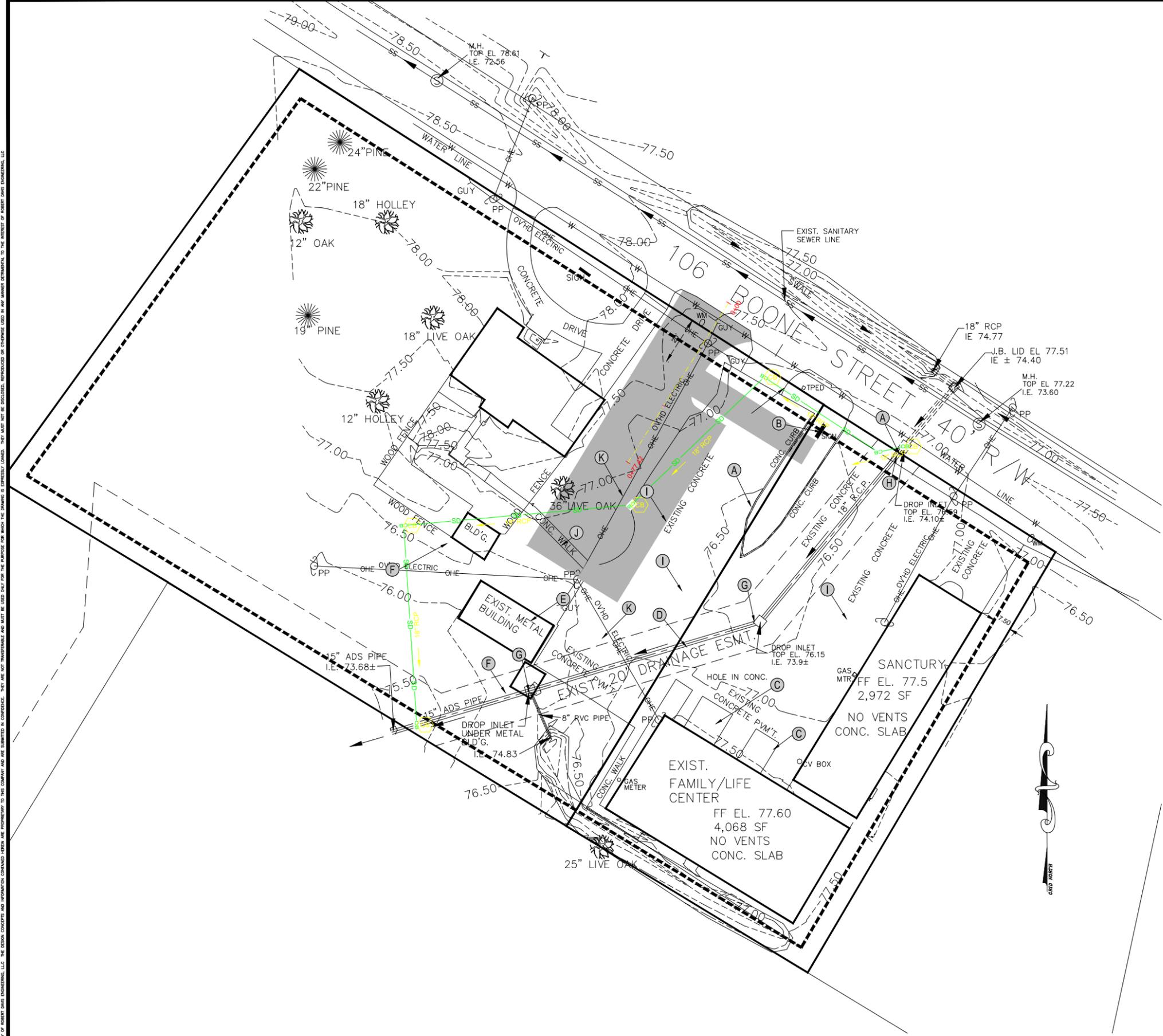
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EMANUEL BAPTIST CHURCH
NEW SANCTUARY
106 BOONE STREET
SUMMERVILLE, SC 29483

DEMO LEGEND

- (A) REMOVE CURB & GUTTER
 - (B) REMOVE SIGN
 - (C) REMOVE LANDSCAPING
 - (D) FILL EXISTING STORM DRAIN WITH FLOWABLE FILL. ONCE NEW STORM DRAIN IS INSTALLED.
 - (E) RELOCATE EXISTING BUILDING
 - (F) DEMO EXISTING BUILDING
 - (G) FILL EXISTING DROP INLET WITH FLOWABLE FILL
 - (H) CAP EXISTING PIPE.
 - (I) EXISTING CONCRETE TO BE REMOVED
 - (J) EXISTING CONCRETE WALK TO REMAIN
 - (K) RELOCATE EXISTING POWER LINES
- (ALL LABELS ARE TYPICAL UNLESS OTHERWISE NOTED)



DEMO PLAN
SCALE: 1" = 20'



Mark	Date	Description	Revisions

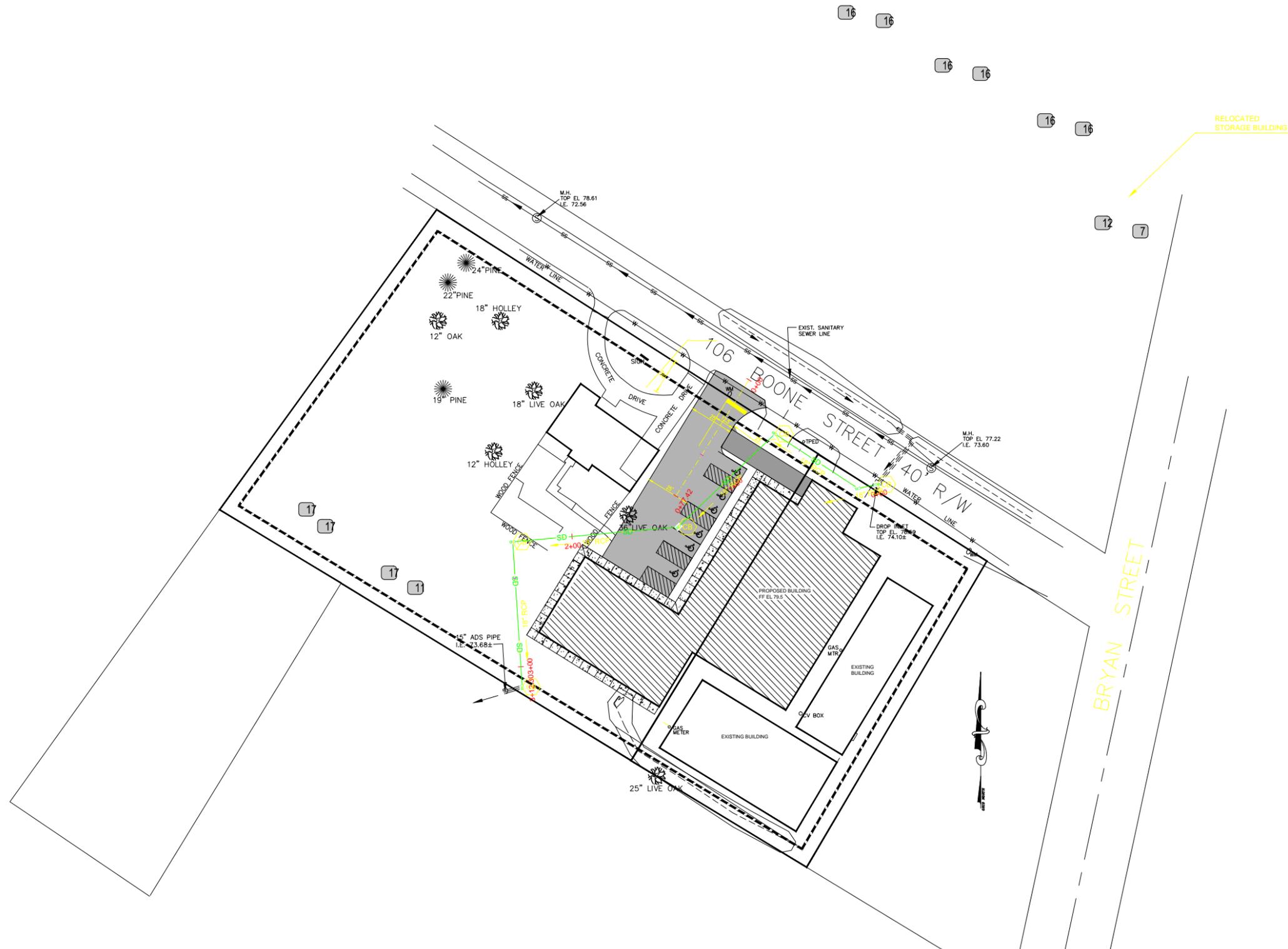
SHEET TITLE

DEMO PLAN

Drawn	AEB
Designed	RD
Checked	RD
Date	1/20/2019
Job No.	19078
Sheet No.	C102

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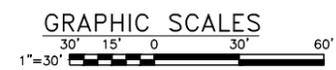
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SITE LEGEND

-  DENOTES GRASSED/LANDSCAPED AREAS
REFER TO C201
-  DENOTES ASPHALT PAVEMENT
REFER TO C201
-  DENOTES EXISTING PAVING
-  DENOTES PROPOSED 4' WIDE x 4" THICK SIDEWALK
-  DENOTES NUMBER OF PARKING STALLS IN A ROW

SITE PLAN
SCALE: 1" = 30'

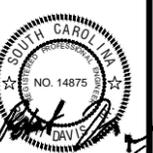


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**EMANUEL BAPTIST CHURCH
NEW SANCTUARY
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SUMMERVILLE, SC 29483**

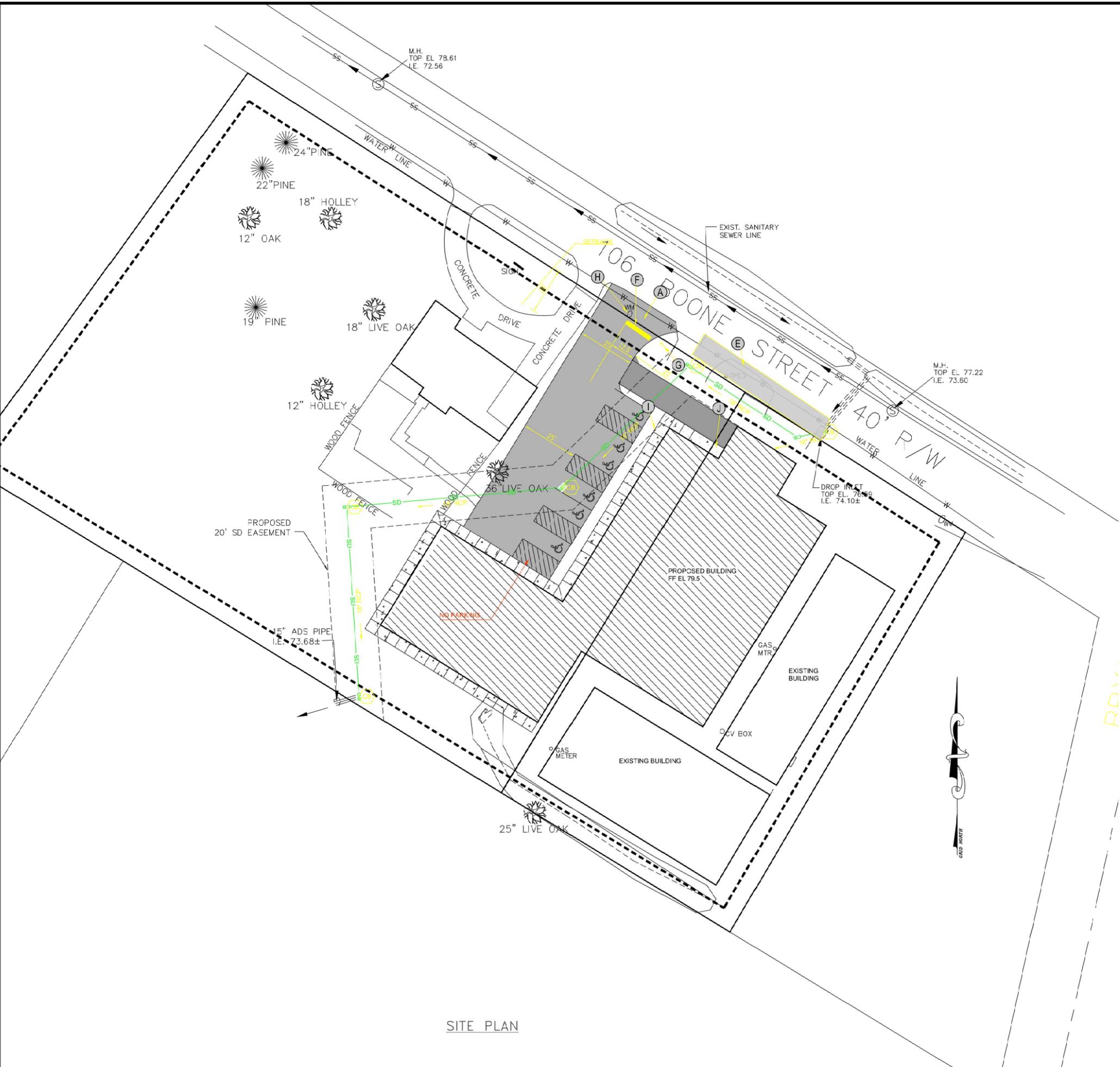
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SHEET TITLE

**PARKING
PLAN**

Drawn	AEB
Designed	RD
Checked	RD
Date	1/20/2019
Job No.	19078
Sheet No.	C103

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SITE NOTES

- EXISTING SITE CONDITIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPORT ANY DIFFERENCES FROM THE PLAN THAT WILL AFFECT CONSTRUCTION, IN WRITING, TO THE ENGINEER AND AWAIT FURTHER INSTRUCTIONS.
- DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF BUILDING OR PROPERTY LINE.
- R DENOTES EDGE OF PAVEMENT RADIUS. ALL RADI ARE 5' UNLESS NOTED OTHERWISE.
- ALL WORK IN THE R/W SHALL BE VERIFIED WITH THE APPROVED ENCROACHMENT PERMIT PRIOR TO COMMENCING WORK.
- TOTAL AREA OF SITE = 1.25 ACRES
TOTAL AREA DISTURBED = 0.5 ACRES
- AN ELECTRONIC FILE OF THE SITE PLAN SHALL BE MADE AVAILABLE FOR STAKING PURPOSES.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE CONTRACTOR.

ZONING CODE SUMMARY

PROJECT NAME: EMANUEL BAPTIST CHURCH NEW SANCTUARY
 PLANS PREPARED BY: ROBERT DAVIS ENGINEERING LLC PHONE# (843)536-0896
 TAX PARCEL ID: 130-14-06-008, 130-24-15-001
 STREET ADDRESS: 106 BOONE ST, SUMMERVILLE, SC
 ZONING: NC
 PROPOSED USE: RELIGIOUS
 BUILDING HEIGHT: 18'
 BUILDING COVERAGE: 12099 SF±
 LOT SIZE: 1.25 ACRES
 JURISDICTION: DORCHESTER COUNTY, SC
 YARD REQUIREMENTS:
 FRONT YARD (EAST): 10'
 REAR YARD (WEST): 10'
 SIDE YARD (SOUTH): 10'

REQUIRED BUFFERS:
 BUFFER YARD "E" PER BERKELEY COUNTY ZONING ORDINANCE
 REQUIRED SCREENING:
 SETBACK (FRONT): N/A SIDE YARD (EAST): N/A
 REAR YARD: N/A SIDE YARD (WEST): N/A
 PARKING AND SERVICE ONLY: N/A

OPEN SPACE SUMMARY

PARCEL AREA: 1.25 ACRES
 TOTAL IMPERVIOUS AREA (PAVEMENT, WALKS, AND BUILDING): 0.7 ACRES
 IMPERVIOUS RATIO: 56%

OPEN SPACE:
 REQUIRED: NONE
 PROVIDED: NONE

PARKING SUMMARY

CURRENT BUILDING: RELIGIOUS
 NEW BUILDING: RELIGIOUS
 NONE
 PARKING REQUIRED: NONE
 ACCESSIBLE PARKING REQUIRED: NONE
 PARKING PROPOSED: 6 SPACES - 6 H/C, 6 VAN
 TOTAL PARKING PROVIDED: 6 SPACES

DETAIL LEGEND

- (A) SCDOT STANDARD DUTY ASPHALT PAVEMENT (SEE SITE DETAIL SHEETS)
 - (B) ACCESSIBLE PARKING AND SIGNAGE (SEE SITE DETAIL SHEETS)
 - (C) VAN ACCESSIBLE PARKING AND SIGNAGE (SEE SITE DETAIL SHEETS)
 - (D) CONCRETE WHEEL STOPS AT ALL SPACES(SEE SITE DETAIL SHEETS)
 - (E) RESURFACE ROAD PER SCDOT STANDARDS
 - (F) STOP BAR
 - (G) STOP SIGN
 - (H) RELOCATED EXISTING WATER METER
 - (I) PROPOSED SIDEWALK
 - (J) PROPOSED ACCESSIBLE RAMP SLOPE 1:12
- (ALL LABELS ARE TYPICAL UNLESS OTHERWISE NOTED)

SITE LEGEND

- DENOTES GRASSED/LANDSCAPED AREAS REFER TO C201
- DENOTES ASPHALT PAVEMENT REFER TO C201
- DENOTES EXISTING PAVING
- DENOTES PROPOSED 4'WIDEx4" THICK SIDEWALK
- DENOTES NUMBER OF PARKING STALLS IN A ROW



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Mark	Date	Description	Revisions

SHEET TITLE

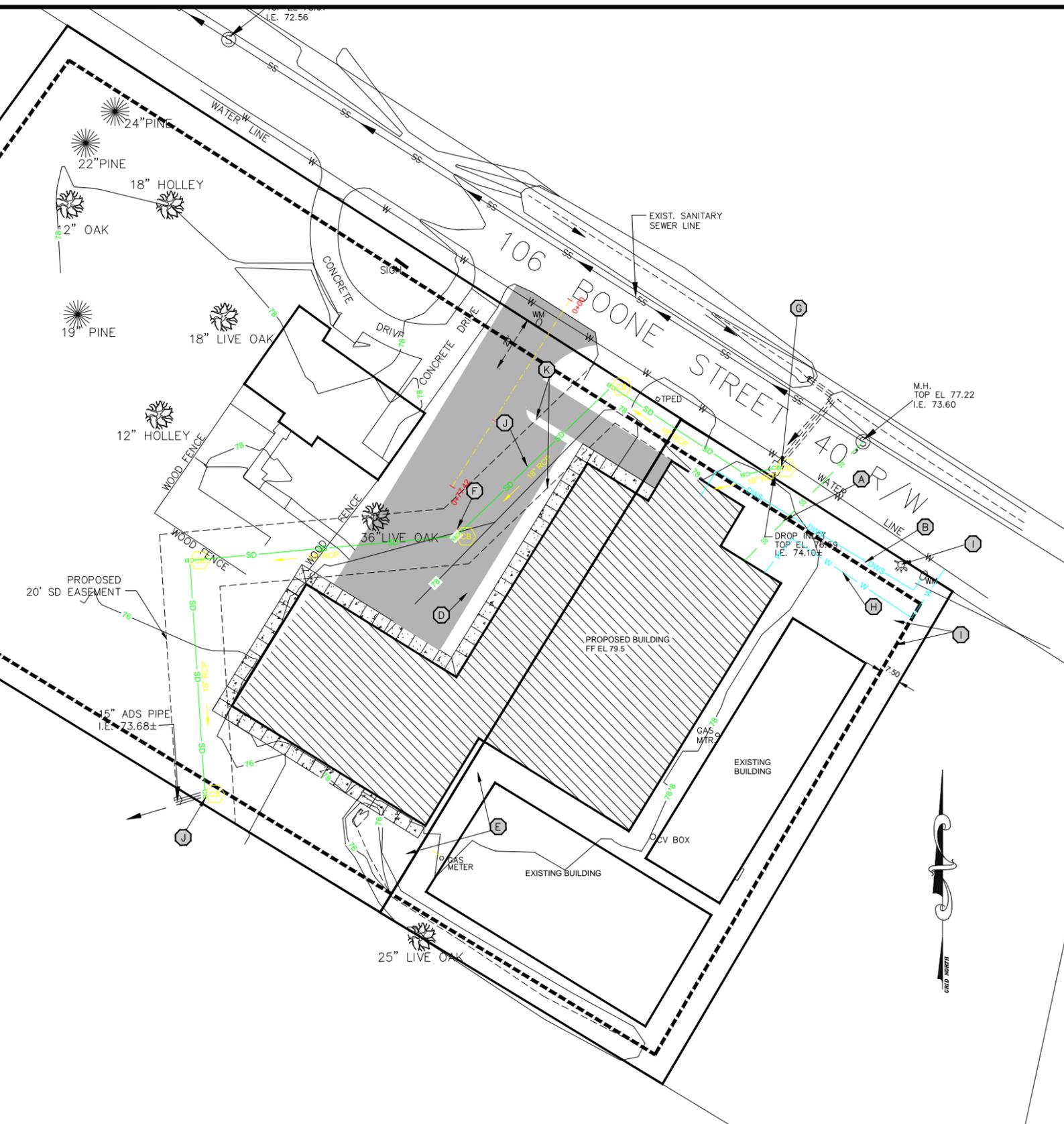
SITE PLAN

Drawn	AEB
Designec	RD
Checked	RD
Date	1/20/2019
Job No.	19078

Sheet No. **C104**



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GRADING & UTILITY PLAN
SCALE: 1"=20'



WATER NOTES:

1. CP DENOTES COPPER PIPE. CP SHALL BE TYPE "K" SOFT COPPER TO COMPLY WITH ASTM B 88 LATEST EDITION AND INSTALLED WITH WROUGHT COPPER (95-5 TIN ANTIMONY SOLDER JOINT) FITTINGS IN ACCORDANCE WITH WITH ASME B16.22.
2. ALL WATER LINES SHALL HAVE A MINIMUM COVER OF 3'-0".
3. WHERE POTABLE WATER LINES AND SANITARY SEWER LINES CROSS WITH LESS THAN 18" OF VERTICAL CLEARANCE OR WHERE THE SEWER LINE IS ABOVE THE WATER LINE, THE SEWER LINE SHALL BE PRESSURE RATED PVC PIPE MEETING THE AWWA C900-DR18 OR C905-DR18 WITH A MINIMUM VERTICAL CLEARANCE OF 12" SPECIFICATION FOR A MINIMUM LENGTH OF 20', CENTERED ON THE POINT OF CROSSING. A MINIMUM HORIZONTAL SEPARATION OF 10" (EDGE TO EDGE) BETWEEN POTABLE WATER LINES AND SEWER LINES SHALL BE MAINTAINED WHEN AT ALL POSSIBLE. WHEN THE 10" HORIZONTAL SEPARATION CANNOT BE MAINTAINED THE WATER LINE SHALL BE INSTALLED IN A SEPARATE TRENCH OR AN UNDISTURBED EARTH SHELVE AT LEAST 12" ABOVE THE SEWER LINE. ALTERNATIVELY, THE SEWER LINE SHALL BE ENCLOSED IN A WATER TIGHT CARRIER PIPE, OR PRESSURE RATED PVC PIPE (MEETING AWWA C-900 OR C905 SPECIFICATION) AND PRESSURE TESTED.
4. CONNECT TO EXISTING COUNTY WATER SYSTEM IN COMPLIANCE WITH THE UTILITY REQUIREMENTS FOR NEW SERVICE CONNECTIONS.
5. THRUST BLOCKS SHALL BE USED AT ALL BENDS AND TEES.
6. ALL DOMESTIC WATER LINES SHALL BE DISINFECTED PER AWWA REQUIREMENTS OR STATE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
7. WATER INSTALLATION SHALL CONFORM TO ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.

GRADING & DRAINAGE NOTES:

1. GRADES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CLEARING. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES FROM THE PLAN THAT WILL AFFECT CONSTRUCTION IN WRITING, TO THE ENGINEER AND AWAIT FURTHER INSTRUCTIONS.
2. PROPOSED CONTOURS AND SPOT ELEVATIONS ARE FINISHED SURFACE ELEVATIONS. THE GRADING CONTRACTOR SHALL DEDUCT PAVEMENT AND TOPSOIL THICKNESS FOR SUBGRADE ELEVATIONS. REFER TO C2.1 FOR FURTHER DETAILS.
3. CLEAR AND GRUB THE SITE WITHIN THE LIMITS OF CONSTRUCTION. CLEARING AND GRUBBING SHALL CONSIST OF REMOVING PAVEMENT, BRUSH, ROOTS, ETC. TO A MINIMUM OF 18" BELOW THE EXISTING SURFACE.
4. TOPSOIL SHALL BE STOCKPILED IN A LOCATION THAT WILL NOT IMPEDE CONSTRUCTION. THE STOCKPILE SHALL HAVE A SILT FENCE INSTALLED ON THE DOWNSTREAM SIDE OF THE STOCKPILE.
5. A SOILS ENGINEER SHALL BE EMPLOYED BY THE CONTRACTOR TO DETERMINE THE SUITABILITY OR INSUITABILITY OF SOILS DURING EARTHWORK OPERATIONS, CONDUCT TESTS AND MAKE RECOMMENDATIONS.
6. SOILS SHALL BE TESTED, PER THE SOILS REPORT, OR EVERY 5,000 SF OR LESS PER LIFT FOR EMBANKMENT AND BUILDING PAD CONSTRUCTION. THE CONTRACTOR SHALL FURNISH ALL TEST REPORTS IN A TIMELY MANNER.
7. FILL SOIL SHALL BE PLACED IN 8" LIFTS, LOOSE, AND COMPACTED TO 95% STANDARD PROCTOR UNLESS NOTED OTHERWISE.
8. HANDICAP PARKING STALLS SHALL HAVE A MAXIMUM SLOPE OF 2%.
9. RCP DENOTES REINFORCED CONCRETE PIPE. RCP SHALL BE CLASS III AND COMPLY WITH ASTM C76 SPECIFICATIONS.
10. HDPE DENOTES A CORRUGATED HIGH DENSITY POLYETHYLENE PIPE WITH SMOOTH WALLS THAT COMPLIES WITH ASTM F687 SPECIFICATIONS. HDPE CAN BE USED IN LIEU OF RCP.
11. FLARED END SECTIONS SHALL BE CLASS I.

SEWER NOTES:

1. PVC DENOTES POLYVINYL CHLORIDE PIPE. PVC SHALL BE SDR 35 AND COMPLY WITH ASTM D3034 SPECIFICATIONS.
2. ALL PIPES, FITTINGS, AND ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C 12, ASTM C 14, MANUFACTURER'S PUBLISHED INSTRUCTIONS AND STATE OR LOCAL REQUIREMENTS. JOINTS SHALL BE WATER TIGHT.
3. ALL PIPE SHALL HAVE A MINIMUM COVER OF 3'-0".
4. CONNECT TO EXISTING SANITARY SEWER LATERAL IN COMPLIANCE WITH CITY OF FLORENCE SEWER DISTRICT REQUIREMENTS.
5. SANITARY SEWER CLEAN-OUTS SHALL BE SPACED A MAXIMUM 50' O.C. AND AT ALL BENDS GREATER THAN 45°.
6. ALL 90° TURNS SHALL BE ACCOMPLISHED BY 45° ELBOWS.
7. SEWER INSTALLATION AND TESTING SHALL CONFORM TO COUNTY STANDARDS.

GRADING LEGEND

	EXISTING	PROPOSED
CONTOURS	--- 98 ---	--- 98 ---
REFER TO NOTES		
SPOT ELEVATION	x 99.40	x 99.4
REFER TO NOTES		
STORM PIPE	-----	-----
REFER TO NOTES		

DETAIL LEGEND

- (A) PROPOSED 4" SANITARY SEWER LATERAL AT MINIMUM 0.6% SLOPE. SEE PLUMBING DRAWINGS SHEET P1.1
- (B) PROPOSED 2" PVC WATER SERVICE SEE PLUMBING DWG. SHEET P1.2
- (C) EXISTING DROP INLET
- (D) PROPOSED GAS LINE
- (E) RELOCATE EXISTING GAS LINE
- (F) PROPOSED CATCH BASIN
- (G) TIE TO EXISTING CATCH BASIN
- (H) PROPOSED 6" FIRE LINE
- (I) PROPOSED 6" FIRE HYDRANT
- (J) PROPOSED STORM DRAIN
- (K) PROPOSED 20' EASEMENT
- (L) SETBACK LINE
- (M) BUILDING DROP INLET OVER EXISTING LINE

UTILITY LEGEND

	EXISTING	PROPOSED
WATER LINE	W	W
REFER TO NOTES		
SEWER LINE	SS	SS
REFER TO NOTES		
TELEPHONE	T	T
STORM PIPE	-----	-----
REFER TO C1.2		
STORM INLET	⊠	⊠
REFER TO C1.2		
SANITARY MANHOLE	⊕	⊕
FIRE HYDRANT	⊗	⊗
REFER TO C2.3		
UTILITY POLE	⊘	⊘
THRUST BLOCK	▽	▽
REFER TO C2.3		
BACKFLOW PREVENTER	N	N
WATER VALVE	X	X

*****CAUTION*****

ALL EXISTING UTILITIES SHOWN ARE THE BEST INFORMATION AVAILABLE. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, AND MAKE ALL NECESSARY ARRANGEMENTS WITH PRIVATE AND PUBLIC UTILITY COMPANIES TO AVOID ANY POSSIBLE DAMAGE TO, OR INTERRUPTION OF, UTILITY EQUIPMENT OR SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INQUIRIES CONCERNING LOCATION OF UTILITY LINES. REPAIR OF ANY DAMAGE TO UTILITY LINES DUE TO THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



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Seals:



**EMANUEL BAPTIST CHURCH
SANCTUARY
NEW SANCTUARY
106 BOONE STREET
SUMMERVILLE, SC 29483**

Mark	Date	Description	Revisions

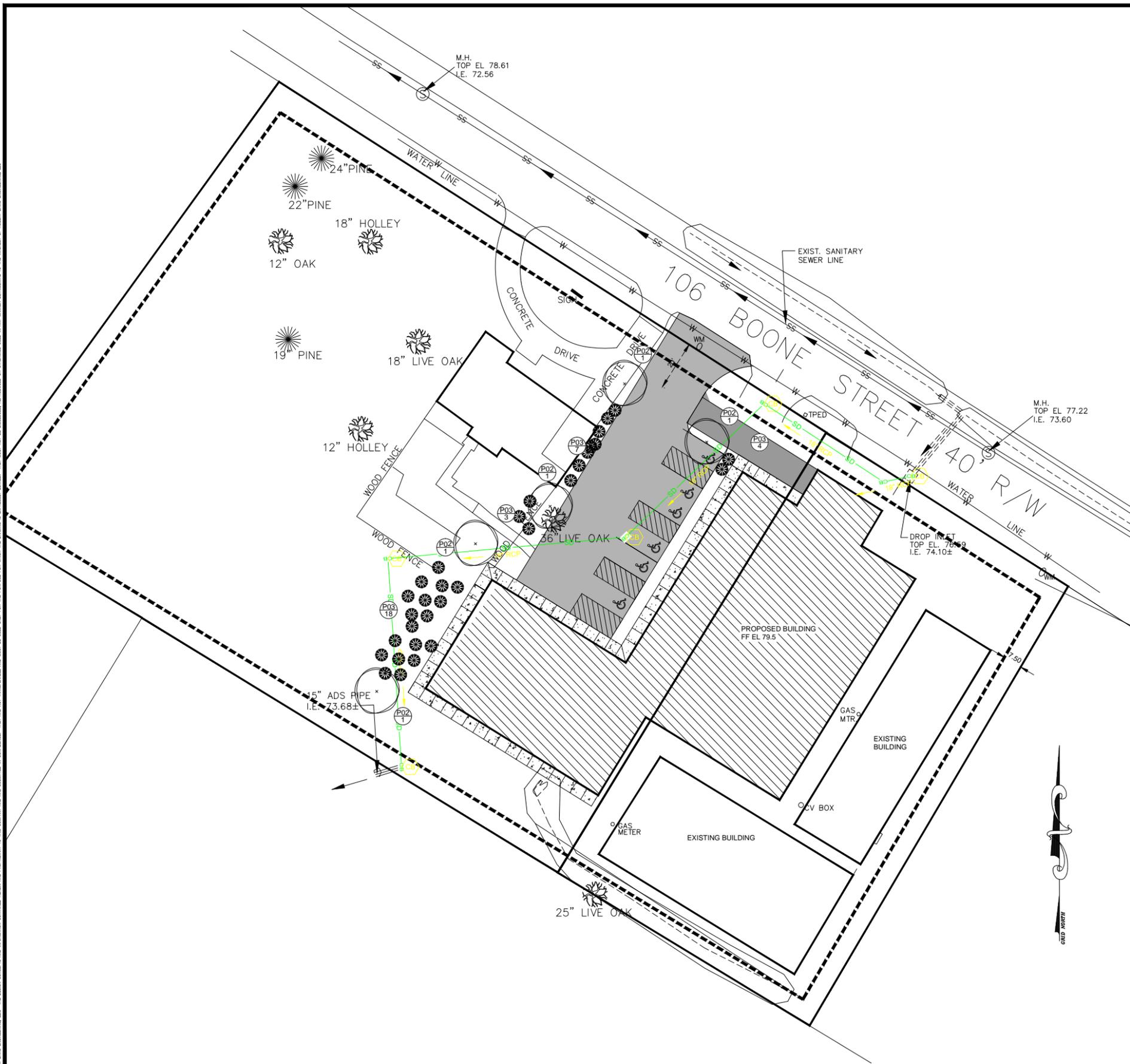
SHEET TITLE

UTILITY & GRADING PLAN

Drawn	AEB
Designed	RD
Checked	RD
Date	1/20/2019
Job No.	19078
Sheet No.	C106



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LANDSCAPING PLAN
SCALE: 1"=20'

PLANT SCHEDULE					
NUMBER	QTY	COMMON NAMES	SCIENTIFIC NAME	FLOWER COLOR	PLANTING HEIGHT
P01	NONE	HIGHTOWER WILLOW OAK	QUERCUS PHELLOS 'HIGHTOWER'		8'-10'
P02	4	GRAPE MYRTLE, CREPE MYRTLE	LAGERSTROEMIA INDICA	BLUE/VIOLET/LAVENDER, PINK/ROSE, WHITE	8'-10'
P03	32	ENGLISH COMMON BOXWOOD	BUXUS SEMPERVIRENS	GREEN	12"-24"

NOTE:
REFER TO SHEET C204 FOR LANDSCAPING NOTES AND DETAILS.



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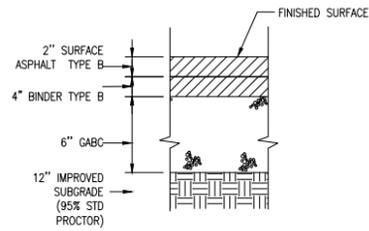
Seals:

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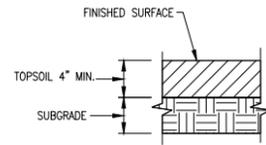
Mark	Date	Description	Revisions

SHEET TITLE
LANDSCAPING PLAN

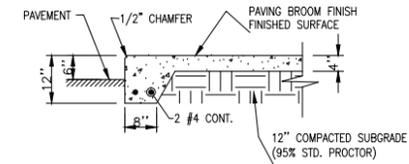
Drawn	AEB
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Checked	RD
Date	1/20/2019
Job No.	19078
Sheet No.	C107



1. THE SURFACE ASPHALT SHALL CONFORM TO SECTION 403, TYPE 3 ASPHALT, IN THE S.C.D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAYS LATEST EDITION.
2. BASE COURSE SHALL CONFORM TO SECTION 305 IN THE S.C.D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAYS LATEST EDITION.



GRASSED/LANDSCAPED AREA DETAIL



1. CONCRETE SHALL HAVE A MINIMUM ULTIMATE 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH 4" MAXIMUM SLUMP.
2. AIR ENTRAINING AGENTS SHALL BE USED TO PRODUCE 3% TO 6% AIR BY VOLUME IN ALL CONCRETE EXPOSED TO WEATHER.
3. WHERE MONOLITHIC WALK ABUTS BUILDING OR OTHER CONCRETE PAVING, INSTALL 1/2" PREMOULDED EXPANSION JOINT.

1 SCDOT PAVEMENT DETAIL

NOT TO SCALE

2 GRASSED/LANDSCAPED AREA DETAIL

NOT TO SCALE

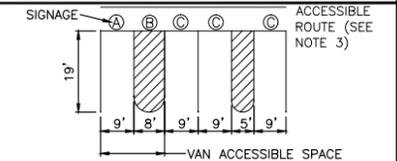
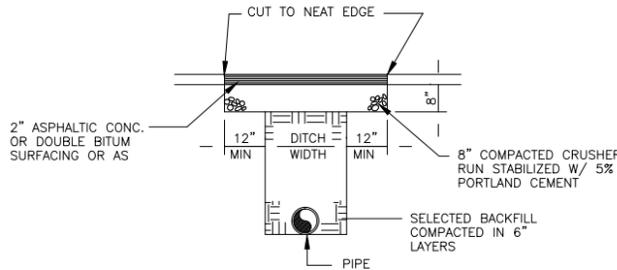
3 MONOLITHIC SIDEWALK

NOT TO SCALE



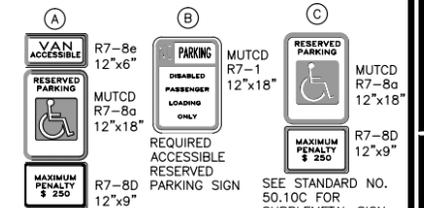
NOTE: CHECK DAMS SHALL BE USED TO CONTROL EROSION UNTIL CHANNEL HAS BEEN STABILIZED WITH PERMANENT VEGETATION. REFER TO CHECK DAM DETAIL.

GRASSED CHANNEL
NTS



ONE OUT OF EVERY EIGHT (8) ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, IS REQUIRED TO BE VAN ACCESSIBLE.

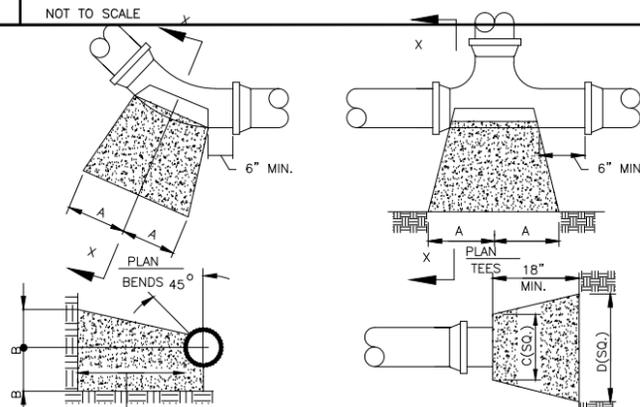
PARKING SPACE PAVEMENT MARKINGS



SHALL BE MOUNTED AT 7 FEET FROM MOUNTING HEIGHT CAN BE REDUCED TO SIDEWALK AND BUILDING FACE IN WHICH

4

NOT TO SCALE

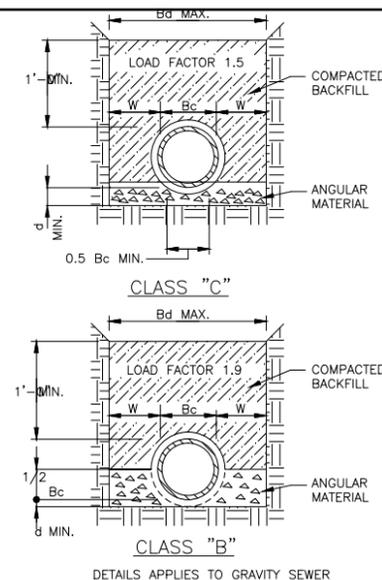


PIPE SIZE	1/4 BENDS		1/8 BENDS		1/16 BENDS		TEES & PLUGS			
	A	B	A	B	A	B	A	B	C	D
JP TO 6"	16"	10"	9"	10"	6"	8"	10"	12"	10"	21"

- NOTES:
1. SIZED ON 2000 PSF SOIL AND 100 PSI STATIC PRESSURE PLUS A.W.W.A. WATER HAMMER.
 2. ALL BEARING SURFACES TO BE CARRIED TO UNDISTURBED GROUND.
 3. CONCRETE SHALL BE 3,000 P.S.I. COMPRESSIVE STRENGTH AFTER 28 DAYS.

5 CUTTING & REPLACING PAVEMENT DETAIL

NOT TO SCALE



DETAILS APPLIES TO GRAVITY SEWER

6 ACCESSIBLE PARKING AND SIGNAGE STANDARDS

NOT TO SCALE

NOTES:

1. FRAME & COVER CONTACT SURFACES SHALL BE MACHINED TO PROVIDE EVEN BEARING OF COVER ON FRAME.
2. STANDARD FRAME & COVER SHALL BE MH-RCR-2001 BY DEWEY, OR COVER MC-18 & FRAME MF-11 BY SUMTER, OR EQUAL. (TOTAL WT. = 310 LBS.)
3. MANHOLES SHALL CONFORM TO ASTM C478.

IMPROVED DITCH BEDDING DIMENSIONS FOR CLASS "B" & CLASS "C"				
PIPE I. D.	Bc OUT. DIA.	W MAX. WORK SPACE	Bd MAX. DITCH WIDTH	d DEPTH OF BEDDING UNDER PIPE
UP TO 8"	10"	8"	2'-4"	4"

NOTES:

- 1.) DITCH WIDTH NOT TO EXCEED Bd MAX. AT 1'-0" OVER TOP OF PIPE.
- 2.) ALL PIPE TO BE INSTALLED IN CLASS "B" DITCH BEDDING UNLESS NOTED OTHERWISE.
- 3.) CLASS "B" DITCH BEDDING TO BE USED AS NOTED ON PLANS OR AS DIRECTED BY ENGINEER.

7 THRUST BLOCKS FOR WATER MAINS

NOT TO SCALE

8 IMPROVED DITCH BEDDING

NOT TO SCALE

9 IMPROVED DITCH BEDDING NOTES

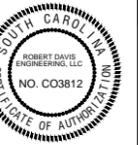
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Mark	Date	Description	Revisions

SHEET TITLE

SITE DETAILS

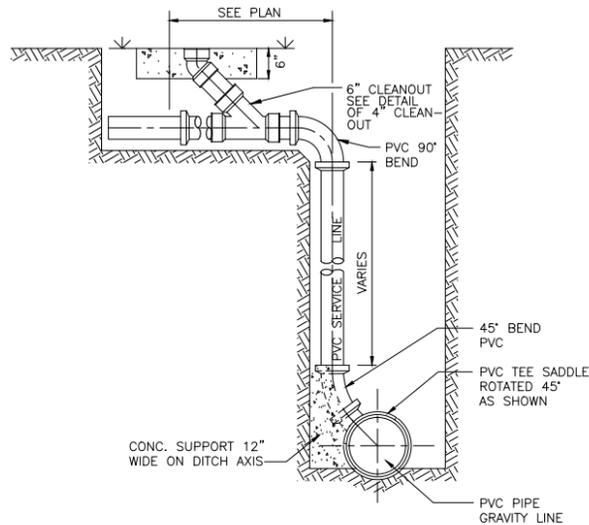
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Sheet No.

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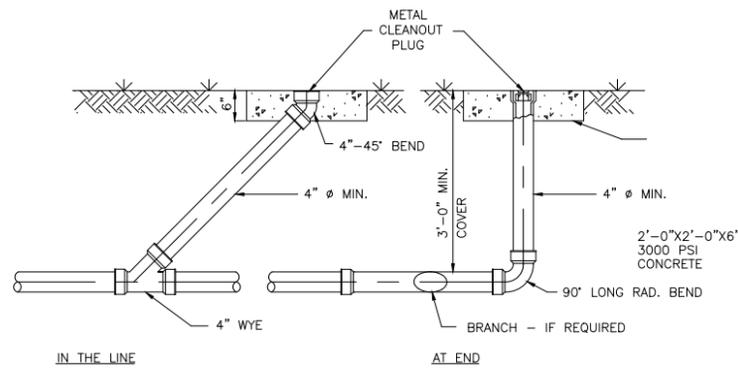
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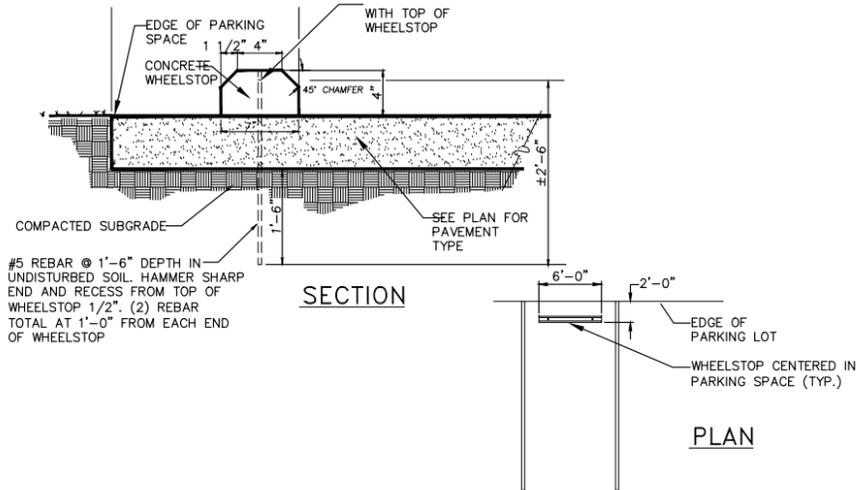
1 SEWER SERVICE CONNECTION

NOT TO SCALE N.T.S.



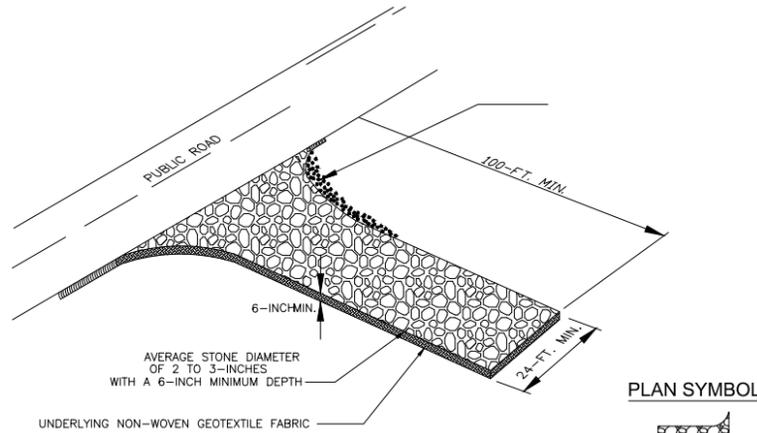
2 CLEANOUT DETAIL

NOT TO SCALE



3 CONCRETE WHEELSTOP DETAIL

NOT TO SCALE



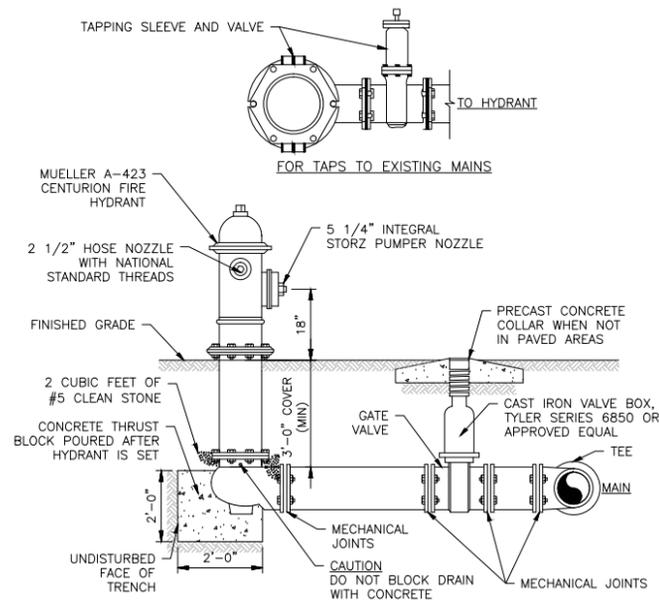
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE D	= 2-3 INCHES

GENERAL NOTES

1. STABILIZED CONSTRUCTION ENTRANCES SHOULD BE USED AT ALL POINTS WHERE TRAFFIC WILL CROSS/INGRESS A CONSTRUCTION SITE ONTO A PUBLIC ROAD OR ANY IMPERVIOUS SURFACES, SUCH AS PARKING LOTS.
2. INSTALL A NON-WOVEN GEOTEXTILE FABRIC PRIOR TO PLACING ANY STONE.
3. INSTALL A CULVERT PIPE ACROSS THE ENTRANCE WHEN NEEDED TO PROVIDE POSITIVE DRAINAGE.
4. THE ENTRANCE SHALL CONSIST OF 2-INCH TO 3-INCH D50 STONE PLACED AT A MINIMUM DEPTH OF 6-INCHES.
5. MINIMUM DIMENSIONS OF THE ENTRANCE SHALL BE 24- FEET WIDE BY 100- FEET LONG, AND MAY BE MODIFIED AS NECESSARY TO ACCOMMODATE SITE CONSTRAINTS.
6. THE EDGES OF THE ENTRANCE SHALL BE TAPERED OFF TOWARDS THE ROAD TO PREVENT TRACKING AT THE EDGE OF THE ENTRANCE.
7. DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN OR OTHER SEDIMENT TRAPPING STRUCTURE.
8. LIMESTONE MAY NOT BE USED FOR THE STONE PAD.

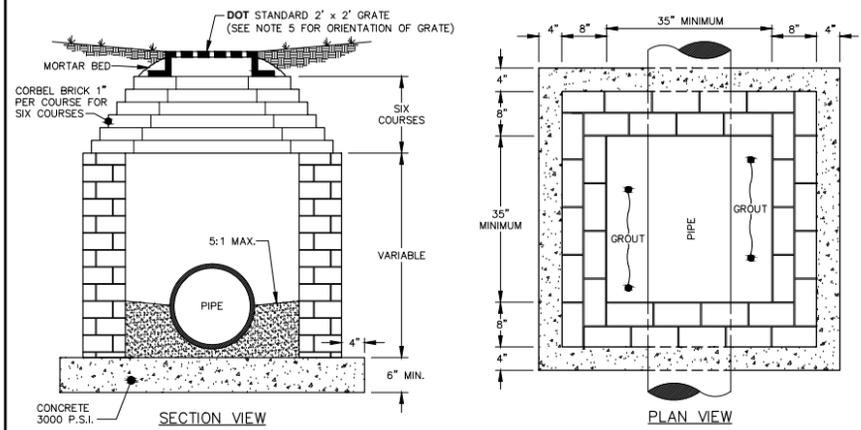
INSPECTION & MAINTENANCE

1. THE KEY TO FUNCTIONAL CONSTRUCTION ENTRANCES IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
2. REGULAR INSPECTIONS OF CONSTRUCTION ENTRANCES SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS AFTER EACH RAINFALL EVEN THAT PRODUCES 1/2-INCH OR MORE OF PRECIPITATION.
3. DURING REGULAR INSPECTIONS, CHECK FOR MUD AND SEDIMENT BUILDUP AND PAD INTEGRITY. INSPECTION FREQUENCIES MAY NEED TO BE MORE FREQUENT DURING LONG PERIODS OF WET WEATHER.
4. RESHAPE THE STONE PAD AS NECESSARY FOR DRAINAGE AND RUNOFF CONTROL.
5. WASH OR REPLACE STONES AS NEEDED AND AS DIRECTED BY SITE INSPECTOR. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE THE AMOUNT OF MUD BEING CARRIED OFF-SITE BY VEHICLES. FREQUENT WASHING WILL EXTEND THE USEFUL LIFE OF STONE PAD.
6. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO ADJACENT IMPERVIOUS SURFACES BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED WHEN THE WATER CAN BE DISCHARGED TO A SEDIMENT TRAP OR BASIN.
7. DURING MAINTENANCE ACTIVITIES, ANY BROKEN PAVEMENT SHOULD BE REPAIRED IMMEDIATELY.
8. CONSTRUCTION ENTRANCES SHOULD BE REMOVED AFTER THE SITE HAS REACHED FINAL STABILIZATION. PERMANENT VEGETATION SHOULD REPLACE AREAS FROM WHICH CONSTRUCTION ENTRANCES HAVE BEEN REMOVED, UNLESS AREA WILL BE CONVERTED TO AN IMPERVIOUS SURFACE TO SERVE POST-CONSTRUCTION.



NOTES:

1. ALL FIRE HYDRANT LEADS TO BE DUCTILE IRON WITH MECHANICAL JOINTS RESTRAINTS.
2. PROVIDE MECHANICAL JOINT DUCTILE IRON FITTINGS.
3. HYDRANTS SHALL BE NO LESS THAN 3' NOR MORE THAN 6' FROM THE CURB OR THE EDGE OF A HARD SURFACE STREET OR ACCESS ROAD, EXCEPT THAT ALONG RURAL ROADS THROUGH UNDEVELOPED AREAS THE MAXIMUM DISTANCE MAY BE INCREASED TO 10'.
4. HYDRANT MUST BE LOCATED SO AS TO BE UNOBSTRUCTED FOR 15' EITHER SIDE AS MEASURED ALONG THE CURB OR A HARD SURFACE STREET OR ACCESS ROAD. THE AREA MUST BE FREE OF GROWTH AND OTHER OBSTRUCTIONS WHICH WOULD HINDER THE ACCESS TO THE HYDRANT.
5. MINIMUM DISTANCE BETWEEN VALVE AND HYDRANT SHALL BE 3'.
6. BENDS MAY BE USED IN HYDRANT LEAD TO FACILITATE HYDRANT LOCATION.
7. HYDRANT VALVES TO OPEN COUNTERCLOCKWISE.
8. HYDRANT COLOR SHALL BE A YELLOW BARREL WITH ORANGE BONNET AND NOZZLE CAPS.



4 STANDARD YARD INLET WITH GRATE AND FRAME

NOT TO SCALE

5 GRAVEL CONSTRUCTION ENTRANCE

NOT TO SCALE

6 TYPICAL HYDRANT DETAIL

NOT TO SCALE

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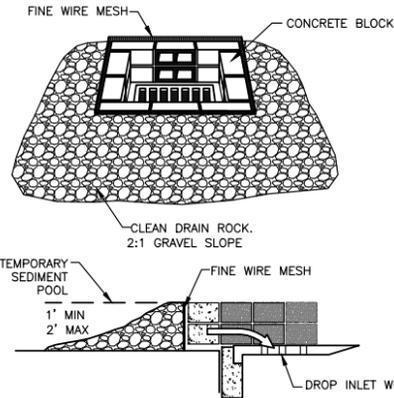
Mark	Date	Description	Revisions

SHEET TITLE

**SITE
 DETAILS**

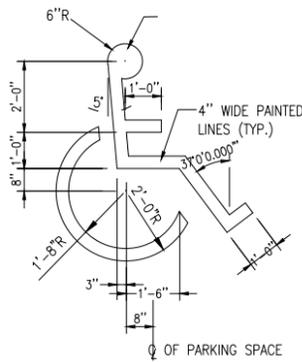
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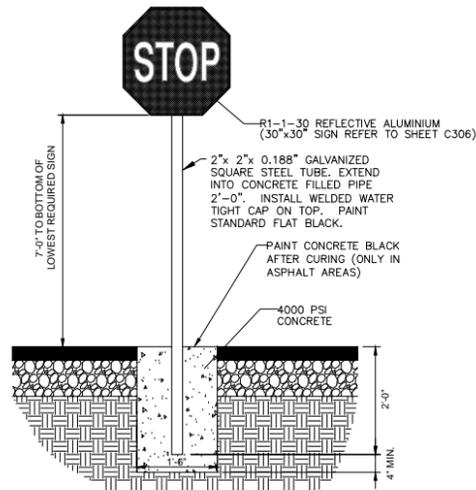


THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY FLOWS ARE EXPECTED AND WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE. AS SHOWN IN DETAIL ONE BLOCK IS PLACED ON EACH SIDE OF THE STRUCTURE ON ITS SIDE IN THE BOTTOM ROW TO ALLOW POOL DRAINAGE. THE FOUNDATION SHOULD BE EXCAVATED AT LEAST 2 INCHES BELOW THE CREST OF THE STORM DRAIN. THE BOTTOM ROW OF BLOCKS ARE PLACED AGAINST THE EDGE OF THE STORM DRAIN FOR LATER SUPPORT AND TO AVOID WASHOUTS WHEN OVERFLOW OCCURS. IF NEEDED, LATERAL SUPPORT MAY BE GIVEN TO SUBSEQUENT ROWS BY PLACING 2" X 4" WOOD STUDS THROUGH BLOCK OPENINGS. HARD WARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2 INCH OPENINGS SHALL BE FITTED OVER ALL BLOCK OPENINGS TO HOLD GRAVEL IN PLACE. CLEAN GRAVEL SHOULD BE PLACED 2 INCHES BELOW THE TOP OF THE BLOCKS ON A 2:1 SLOPE OR FLATTER AND SMOOTHED TO AN EVEN GRADE. DOT #57 WASHED STONE IS RECOMMENDED.

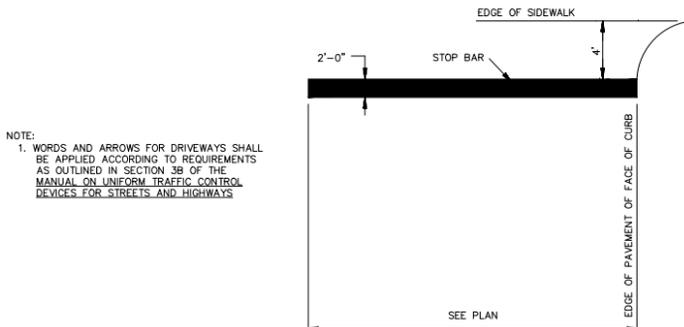
1 BLOCK AND GRAVEL DROP INLET PROTECTION
NOT TO SCALE



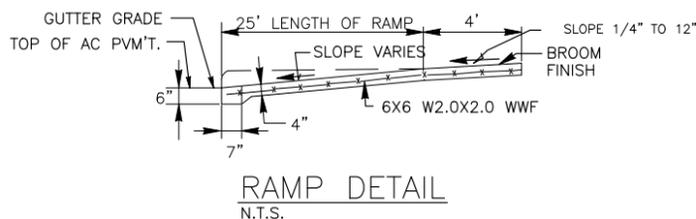
2 PAINTED HANDICAP SYMBOL
NOT TO SCALE



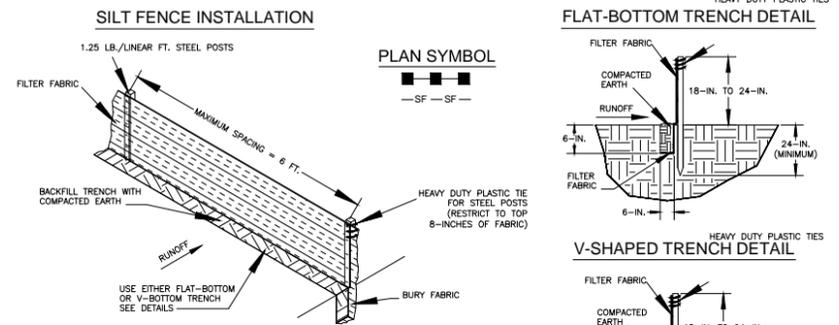
3 STOP SIGN DETAIL
NOT TO SCALE



4 STOP BAR DETAIL



6 RAMP DETAIL
NOT TO SCALE



- SILT FENCE - GENERAL NOTES**
- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
 - Maximum sheet or overlaid flow path length to the silt fence shall be 100-feet.
 - Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
 - Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap; Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or,
 - Overlap entire width of each silt fence roll from one support post to the next support post.
 - Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
 - Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
 - Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

- SILT FENCE - POST REQUIREMENTS**
- Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weigh 1.25 pounds per foot ($\pm 8\%$)
 - Posts shall be equipped with projections to aid in fastening of filter fabric.
 - Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
 - Install posts to a minimum of 24-inches. A minimum height of 1- to 2- inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
 - Post spacing shall be at a maximum of 6-feet on center.

- SILT FENCE - FABRIC REQUIREMENTS**
- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
 - Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
 - 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
 - Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
 - Filter Fabric shall be installed at a minimum of 24-inches above the ground.

- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
- Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
- Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

5 CONSTRUCTION OF SILT FENCE DETAILS
NOT TO SCALE

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Phone (843) 536-0896
Fax (843) 536-0901

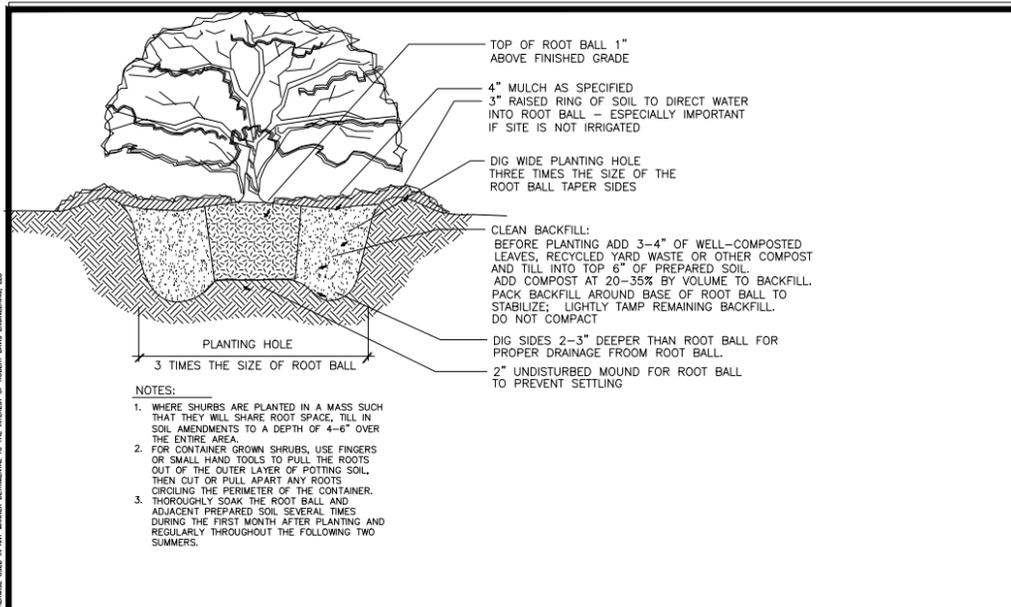
Seals:

EMANUEL BAPTIST CHURCH
NEW SANCTUARY
106 BOONE STREET
SUMMERVILLE, SC 29483

Mark	Date	Description	Revisions

SHEET TITLE
LANDSCAPING
DETAILS

Drawn	AEB
Designed	RD
Checked	RD
Date	1/20/2019
Job No.	19078
Sheet No.	C203



NOTES & SPECIFICATIONS:

1. THIS PLAN IS FOR PLANTING PURPOSES ONLY.
2. VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
3. ALL PLANTS AND PLANTING PROCEDURES SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN LATEST EDITION.
4. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
5. ALL TREES AND SHRUBS SHALL BE FULL WELL BRANCHED PLANTS WHICH ARE CHARACTERISTIC OF THE SPECIES.
6. ALL GRASS IS TO BE BERMUDA SOD, OR BETTER QUALITY.
7. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
8. REMOVE ALL STRING AND WIRE FROM BASE OF ALL PLANT MATERIAL.
9. MULCH ALL BEDS WITH 3" OF CLEAN PINE NEEDLES, UNLESS OTHERWISE NOTED.
10. IF SHRUB PLANTING BEDS DO NOT HAVE A MIN. 6" TOPSOIL THEN AMENDED WITH 3" PINE BARK TILLED INTO THE SOIL TO A DEPTH OF 8".
11. ALL AREAS NOT COVERED WITH PAVING, GRAVEL, BUILDINGS OR PLANTING BEDS SHALL BE SODDED.
12. LAWN AREAS SHALL BE RAKED TO REMOVE ROCKS, STICKS, ROOTS AND OTHER TRASH AND DEBRIS AND SHALL BE SMOOTH FOR EASE OF MOWING.
13. ALL PLANTINGS OF TREES AND SHRUBS SHALL BE A MINIMUM OF 4' BEHIND ALL CURBS. WHERE NO CURB AND GUTTER IS PROPOSED BORDERING PARKING SPACES, WHEEL STOPS MUST BE PROVIDED TO PREVENT DAMAGE TO PLANT MATERIAL.
14. FOUR CHERRY LAUREL AND 47 WAX MYRTLE LOCATED AROUND THE RETENTION AREA SHALL BE PLANTED ON THE RETENTION AREA SLOPE TO SCREEN THE RETENTION WALL AND PREVENT VEHICULAR SIGHT-DISTANCE PROBLEMS.
15. ALL EXISTING VEGETATION ON THE SITE SHALL BE REMOVED EXCEPT WHERE NOTED.
16. WORK PLANTS AROUND TRANSFORMER AND F.D.C.

SHRUB PLANTING DETAIL

NO SCALE

1

GRID & PIN CONNECTION

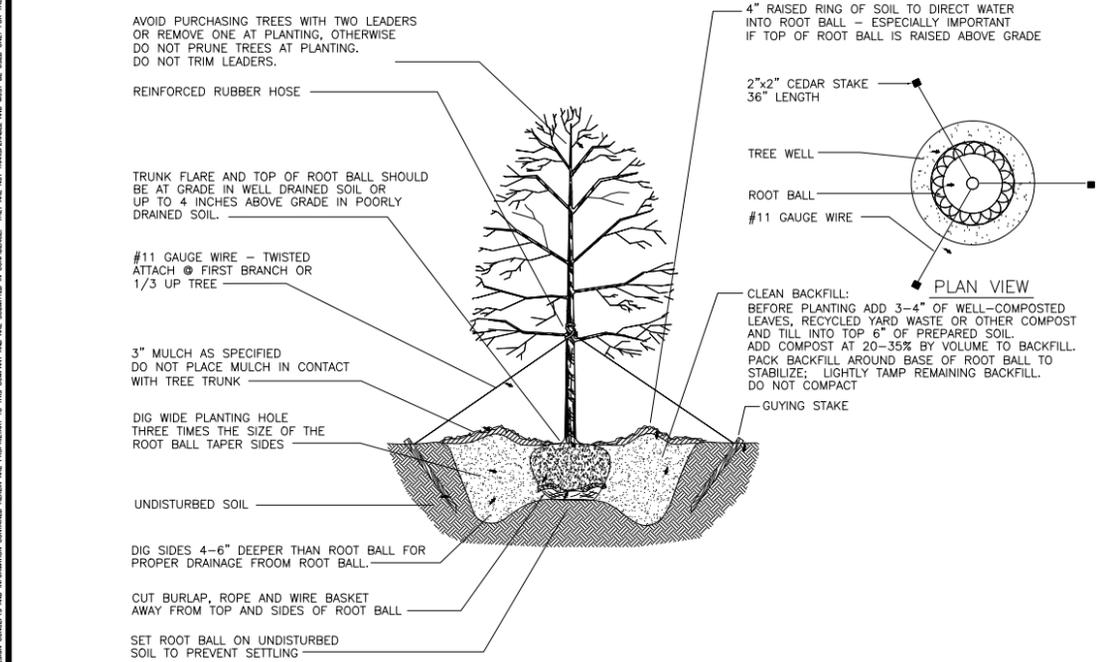
NO SCALE

2

NOT USED

NO SCALE

3



NOTES:

1. WHERE SEVERAL TREES ARE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 4-6" OVER THE ENTIRE AREA.
2. FOR CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
3. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.

TREE PLANTING DETAIL

NO SCALE

4

NOT USED

NO SCALE

6

NOT USED

NO SCALE

Robert Davis ENGINEERING, LLC
 181 E. Evans Street, BTC 024
 Suite C1
 Florence, SC 29506
 Phone (843) 536-0896
 Fax (843) 536-0901

Seals:

**EMANUEL BAPTIST CHURCH
 NEW SANCTUARY
 106 BOONE STREET
 SUMMERVILLE, SC 29483**

Mark	Date	Description	Revisions

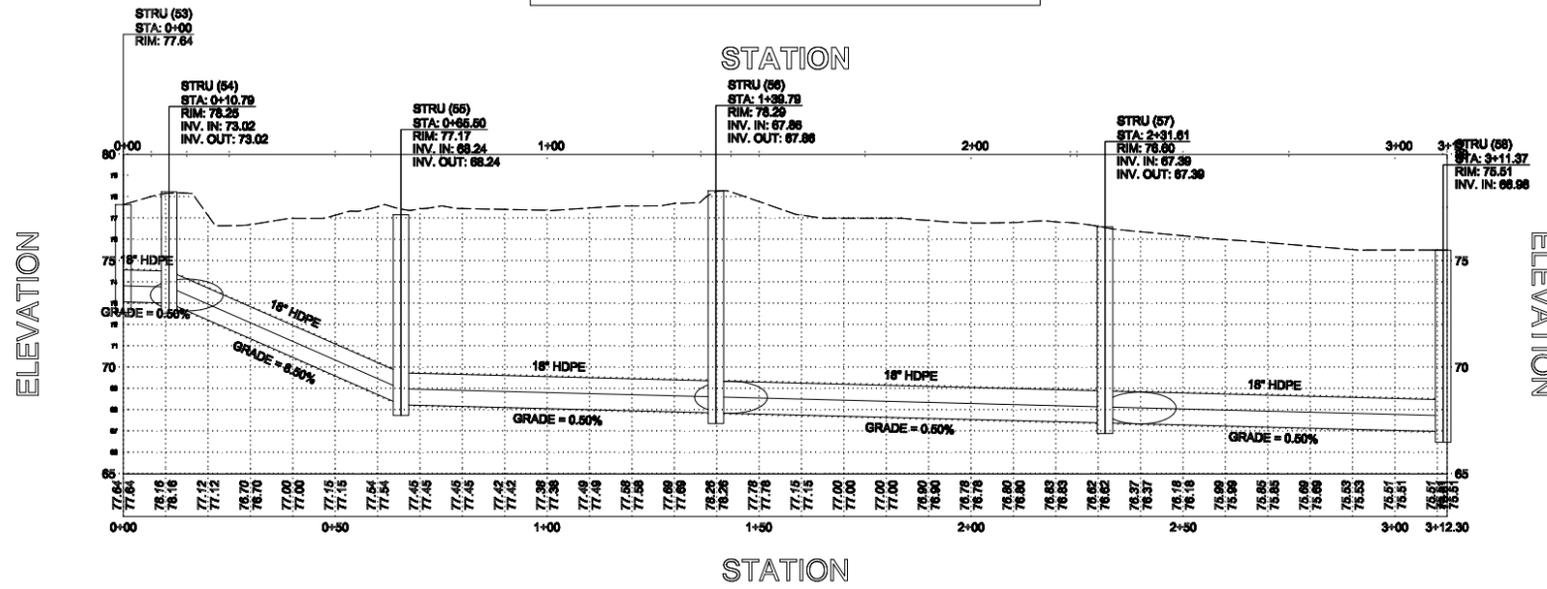
SHEET TITLE
**LANDSCAPING
 DETAILS**

Drawn	AEB
Designed	RD
Checked	RD
Date	1/20/2019
Job No.	19078
Sheet No.	C204

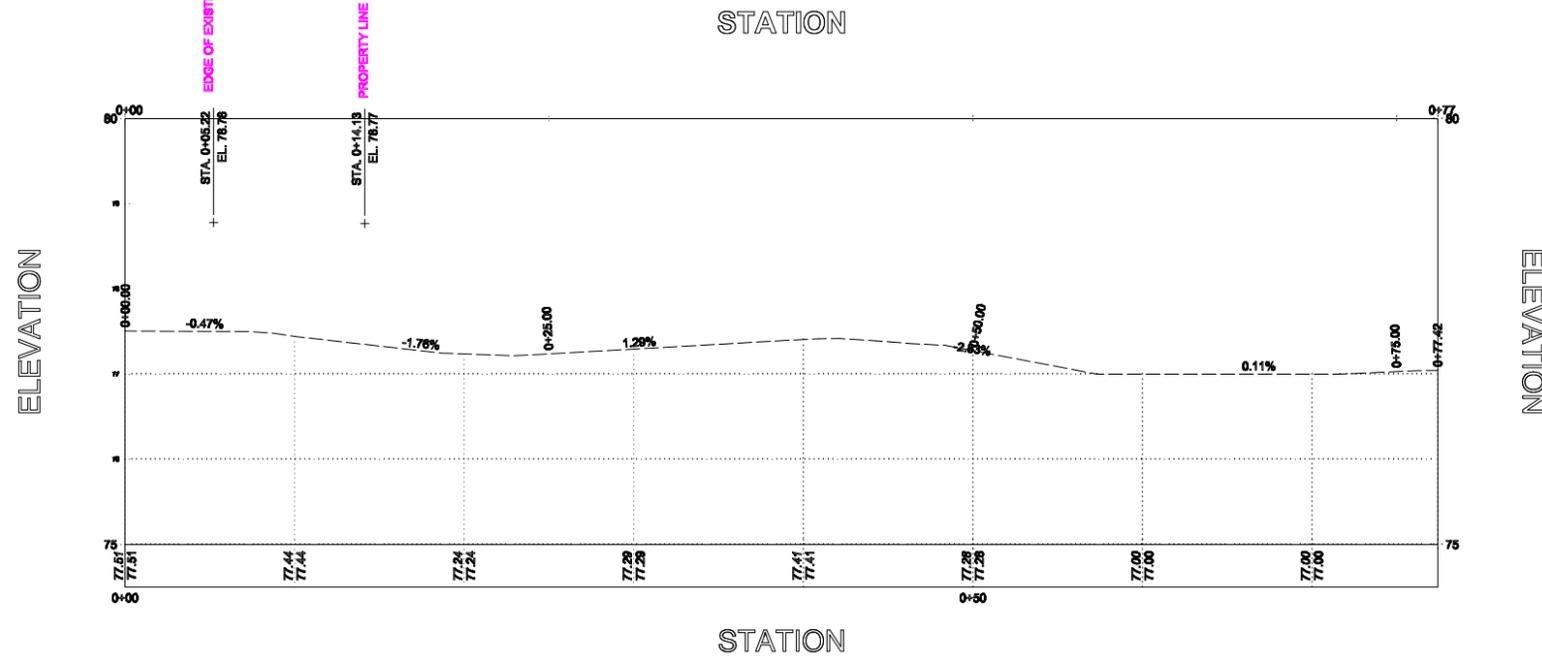
C204

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Profile View of PROPOSED STORM DRAIN



Profile View of DRIVEWAY



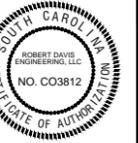
THIS DRAWING IS THE PROPERTY OF ROBERT DAVIS ENGINEERING, LLC. THE DESIGN CONCEPTS AND INFORMATION CONTAINED HEREIN ARE PROPRIETARY TO THIS COMPANY AND ARE SUBMITTED IN CONFIDENCE. THEY ARE NOT TRANSFERABLE AND MUST BE USED ONLY FOR THE PURPOSE FOR WHICH THE DRAWING IS EXPRESSLY LOANED. THEY MUST NOT BE REPRODUCED OR OTHERWISE USED IN ANY MANNER DETRIMENTAL TO THE INTEREST OF ROBERT DAVIS ENGINEERING, LLC.



Robert Davis
ENGINEERING, LLC

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Seals:



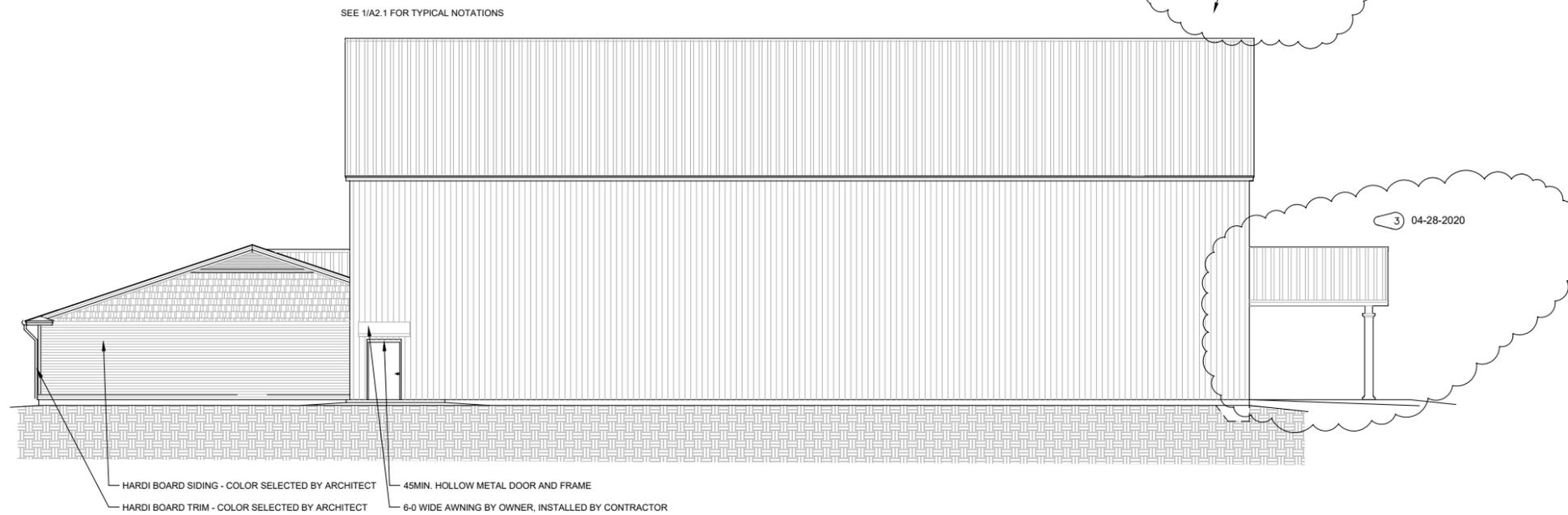
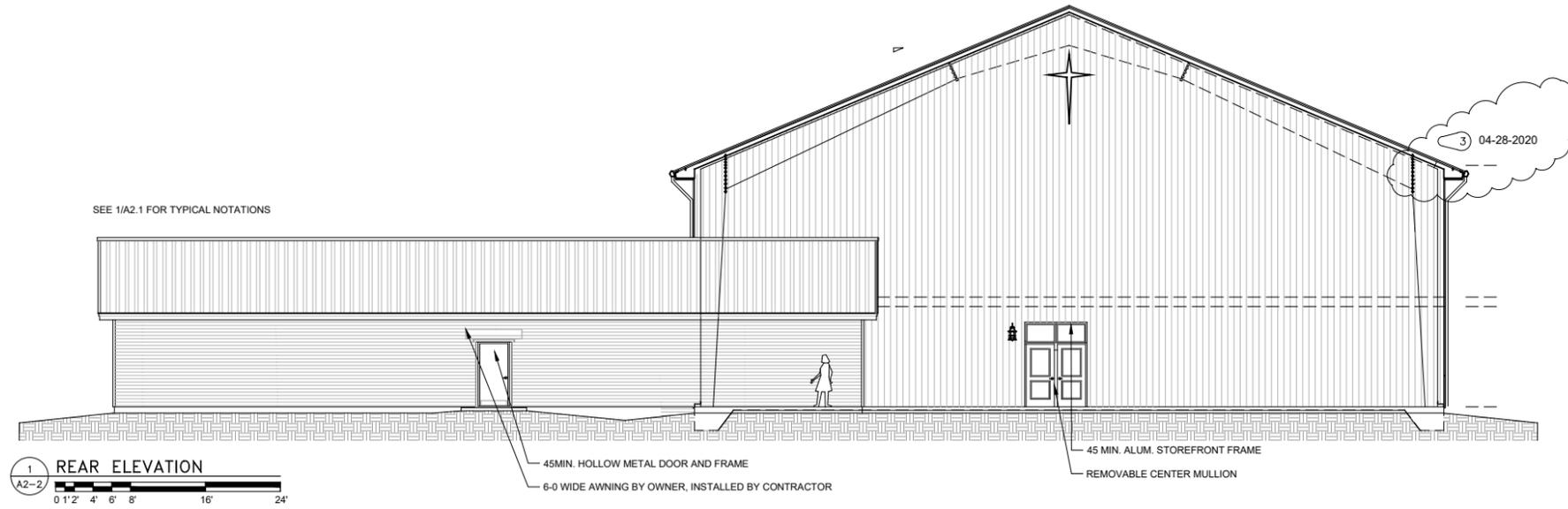
EMANUEL BAPTIST CHURCH
NEW SANCTUARY
106 BOONE STREET
SUMMERVILLE, SC 29483

Mark	Date	Description	Revisions

SHEET TITLE

STORM
DRAIN
PROFILE

Drawn	AEB
Designed	RD
Checked	RD
Date	1/20/2019
Job No.	19078
Sheet No.	C301



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Darby W. McCloskey, AIA
 Registered Architect, Florida, Georgia & South Carolina
 1700 FREDERICA ROAD SUITE #203, St. Simons GA. 31522 - 912-996-7942
 Email : darby@darbyarchitect.com - Web : darbyarchitect.com

A NEW CAMPUS FOR
EMANUEL BAPTIST CHURCH
 106 BOONE STREET SUMMERVILLE SOUTH CAROLINA 29483
 OWNER CONTACT - ROBERT DAVIS JR.
 181 E EVANS STREET - SUITE 210 - FLORENCE, SC 29506
 1-846-538-0886 - robert@robertdavisengineering.com

1921	02-28-2020
3	04-28-2020

PERMIT AND PRICING

A2-2

**STAFF REPORT
CDRB Meeting
June 18, 2020 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: June 11, 2020

GENERAL INFORMATION

Applicant: Parkers Gas Station
Property Owner: The Parker Companies
Requested Action: The applicant is requesting Final Approval of proposed new gas station
Requested Approval: Final Approval
Existing Zoning: UC-MX Urban Corridor Mixed Use
Adjacent Zoning: **North:** UC-MX Urban Corridor Mixed Use
South: UC-MX Urban Corridor Mixed Use
East: UC-MX Urban Corridor Mixed Use
West: Out - Dorchester County R-2
Location: Corner of Ladson Road and Limehouse Drive
Existing Land Use: Vacant
Prior Approvals: DRB – Conceptual Review 10/17/2019
BZA – Maximum Side Setback Increase from 15 feet to 43 feet – DENIED 02/11/2020
DRB – Preliminary Approval 4/16/2020

Ordinance Reference:
Sec. 13.3.5. Design Review Board.

- A. *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Parker's has changed the layout of the property again. Due to the changes to the plan the tree removal permit will have to be reexamined. Moving the detention pond off the side and making "Lot 2" bigger. All travel ways and parking spaces must be screened by an eight foot wide perimeter screen, containing Canopy trees every 40 feet on center, and a continuous row of evergreen shrubs, minimum three feet at maturity, and every six feet on center (Section 8.5.2). This perimeter landscaping will be required along the edge of the drive leading out to Ladson Road. The photo metric Plan does not meet the requirements of Section 9.3.3, and must be revised. The average maintained foot candles exceed the permitted 3 for the parking area.

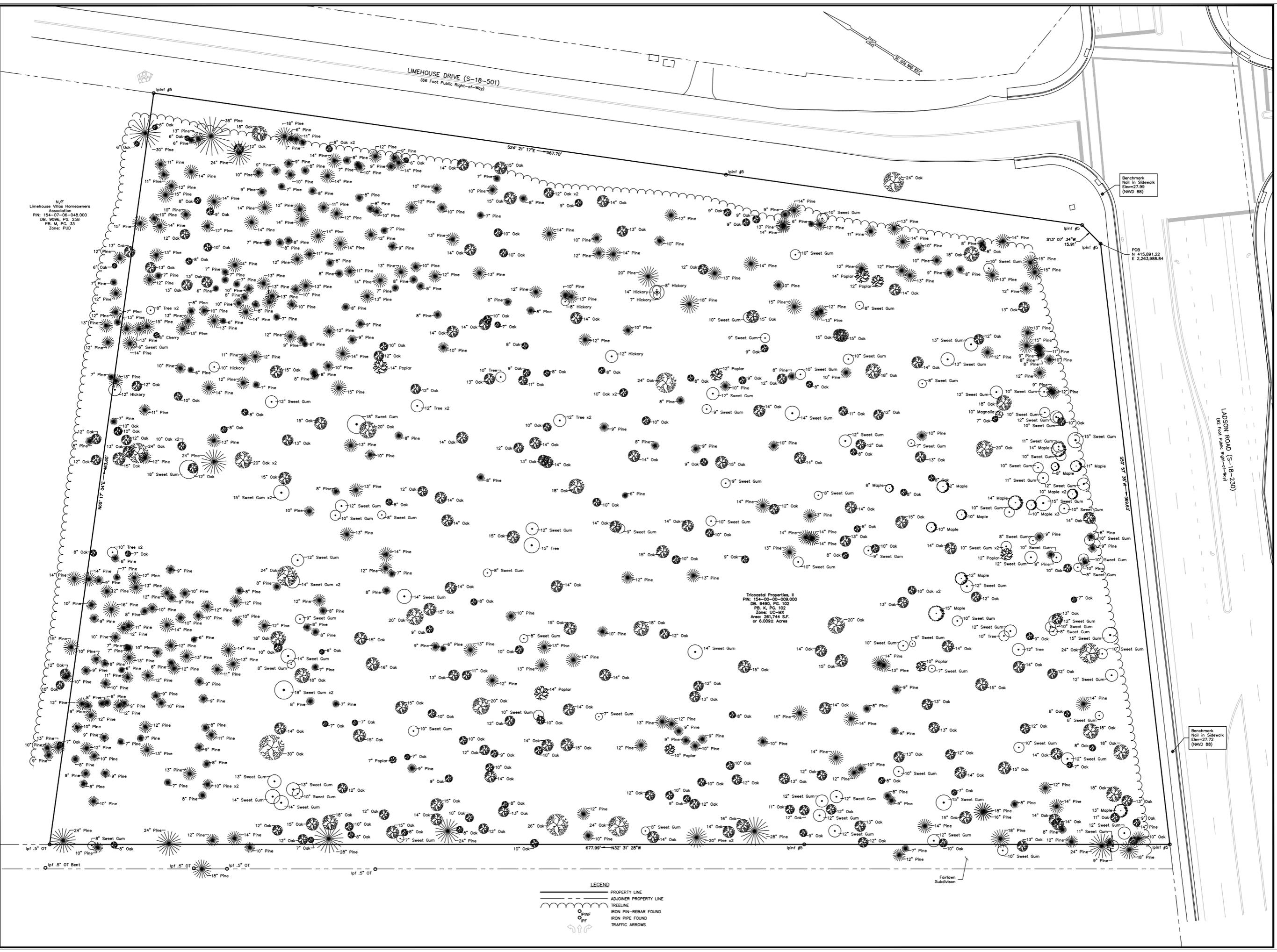
Previous Meeting Comments: Based upon preliminary staff review, the following are staff comments regarding the plans. A new plat will be required to be recorded prior to issuance of any building permits. A sidewalk will be required to be extended the length of the property on Limehouse Drive. Parking exceeds 200% of the parking minimum, a parking justification letter will be required, and all excess parking must to be constructed with pervious pavers. The proposed sign must maintain a minimum of a 10 foot setback from any property line. All proposed mulch should be Pine Straw.



Location Information

This property is in the Town of Summerville.
TMS: 154-00-00-009.000
Owner: TRICOASTAL PROPERTIES II
Second Owner:
Zoning: UC-MX
Council District: 6
Representative: Bob Jackson

Basemap



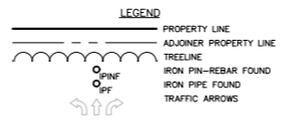
N/F
Limehouse Villas Homeowners
Association
P/N: 154-07-06-048.000
DB: 9096, PG: 258
P/B: M, PG: 33
Zone: PUD

Tricoastal Properties, II
P/N: 154-00-00-009.000
DB: 9490, PG: 102
P/B: K, PG: 102
Zone: UC-MX
Area: 261,744 S.F.
or 6.0092 Acres

Benchmark
Nail in Sidewalk
Elev=27.99
(NAVD 88)

POB N 415.891.22
E 2.263.988.84

Benchmark
Nail in Sidewalk
Elev=27.72
(NAVD 88)



↑ SURVEY MATTERS
LAND SURVEYING SERVICES
107 Hillcrest Avenue
Simpsonville, South Carolina 29681
(864) 451-0176
nick@survey-matters.com

REVISIONS

TREE SURVEY
PREPARED FOR:
DRA YTON-PARKER COMPANIES, LLC.
PROPERTY OF:
TRICOSTAL PROPERTIES, II
LADSON ROAD & LIMEHOUSE DRIVE
TOWN OF SUMMERSVILLE, DORCHESTER COUNTY, SOUTH CAROLINA

DRAWN NMR	CHECKED NLM
SCALE: 1" = 20'	
DATE OF SURVEY: OCT. 15, 2019	
DATE OF PLOT: NOV. 26, 2019	
PROJECT NO. 19-143	
2 of 2	
SHEET NO.	

GRADING & DRAINAGE NOTES

- ALL SITE WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE PLANS PREPARED BY FREELAND & KAUFFMAN, INC. THE CURRENT REQUIREMENTS OF THE TOWN OF SUMMERVILLE, APPLICABLE SECTIONS OF THE SCOOT STANDARD SPECIFICATIONS, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- ALL EXISTING STRUCTURES, FENCINGS, TREES, ETC. WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE, UNLESS OTHERWISE NOTED TO REMAIN. BURNING ON-SITE SHALL NOT BE ALLOWED.
- ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST AND SHALL MEET SCOOT MINIMUM REQUIREMENTS.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC 4000 LB LOADING AND BE INSTALLED ACCORDINGLY.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT 811. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND THE EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVI, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) UNLESS NOTED OTHERWISE.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES AND STORM DRAIN LINES MUST BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE TOPSOILED, SEEDED AND MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS, OR INSTRUCTED BY THE OWNER.
- CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT.
- IF ANY EXISTING STRUCTURES OR SITE FEATURES TO BE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER-TIGHT.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE NPDES, GENERAL PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY SURVEY MATTERS, LLC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- ALL SIDEWALKS TO HAVE 2.00% MAXIMUM CROSS SLOPE AND 5.00% MAX LONGITUDINAL SLOPE.
- SLOPES STEEPER THAN 3:1 SHALL BE INSTALLED WITH AN EROSION CONTROL BLANKET (COULEX® OR APPROVED EQUAL).
- INSURE THAT ALL SIDEWALK CURBS LESS THAN 6" HEIGHT OR LESS ARE PAINTED YELLOW.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING, OR MODIFYING AS NEEDED, ALL ITEMS/FEATURES IN CONFLICT WITH PROPOSED IMPROVEMENTS AND FOR INCLUDING ALL COSTS IN BASE BID.

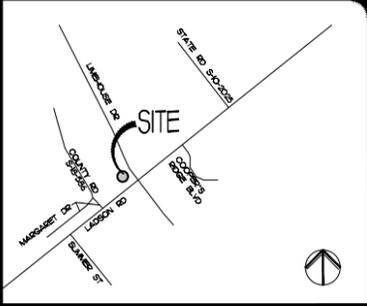
STORM DRAIN PIPE SPECIFICATION:
TYPE I: REINFORCED CONCRETE PIPE (RCP) CLASS III, WALL B PER ASTM C-76 (ASTM C-76M PER SPECIFICATIONS).
TYPE II: HIGH PERFORMANCE POLYETHYLENE PIPE (HPPE) PER ASTM F2736 & F2881 AND AASHTO M830 WITH BELL WITH WATER TIGHT BELL AND SPIGOT JOINTS PER ASTM D322. AND FITTINGS PER ASTM F949. PERMITTED DIAMETER IS 12" THROUGH 36".
TYPE III: HIGH DENSITY POLYETHYLENE PIPE (HDPE) SMOOTH INTERIOR/ANNULAR EXTERIOR PER AASHTO M252, M254 AND/OR ASTM F2306 WITH BELL AND SPIGOT WATER-TIGHT JOINTS PER ASTM D322. PERMITTED DIAMETER IS 12" THROUGH 36".
 ALL PIPES IN PUBLIC RIGHTS-OF-WAY TO BE CLASS III RCP, UNLESS OTHERWISE NOTED

PRIOR TO STARTING WORK, CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS. ALL ITEMS TO REMAIN THAT ARE IN CONFLICT WITH PROPOSED IMPROVEMENTS ARE TO BE RELOCATED/REMOVED AS NOTED & CONTRACTOR IS RESPONSIBLE FOR INCLUDING ALL COSTS IN BASE BID.

PARKER'S KITCHEN PROJECT

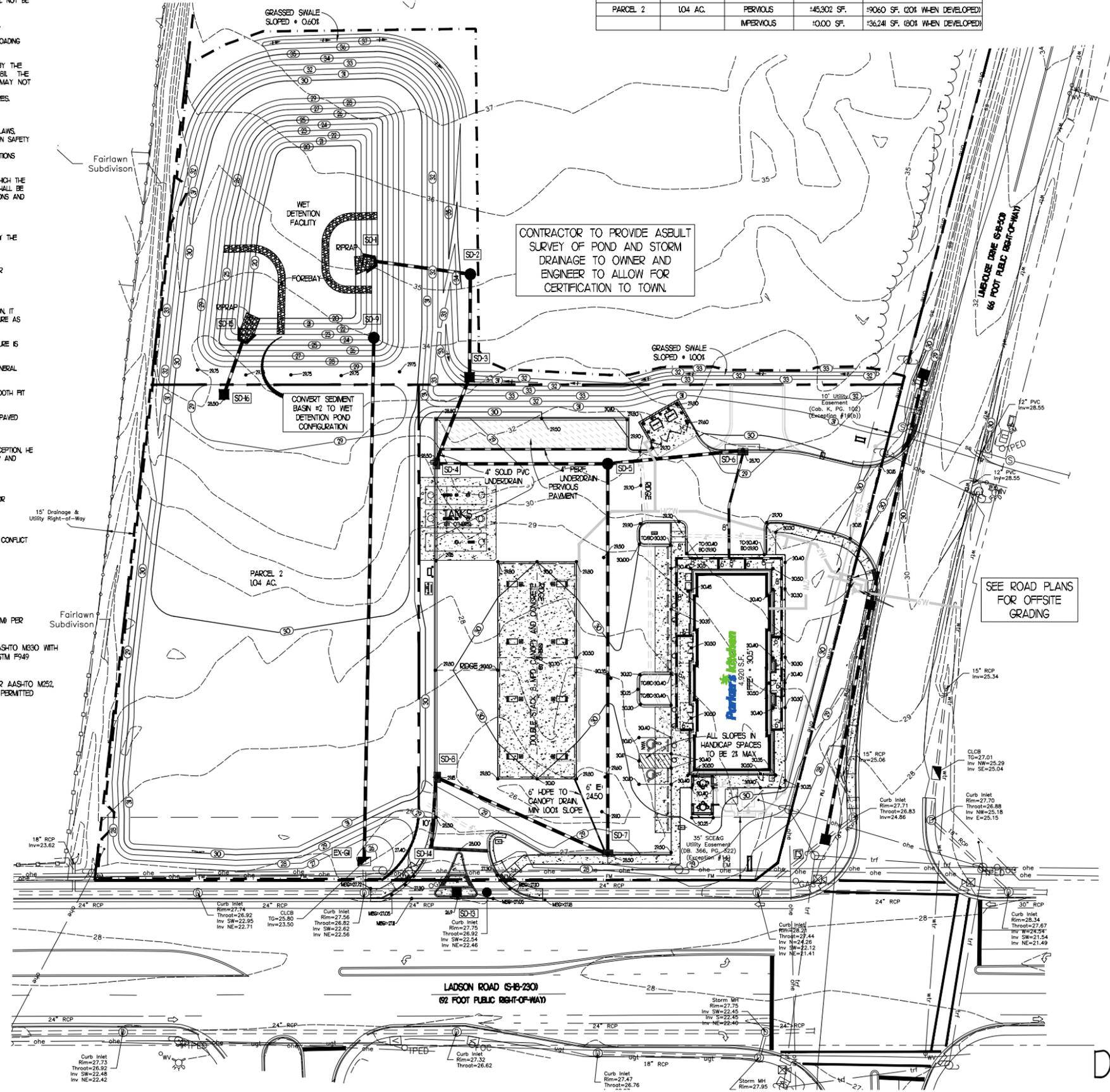
PARCEL	SIZE	SURFACE TYPE	EXISTING CONDITIONS	PROPOSED CONDITIONS
PARKER'S KITCHEN	148 AC.	PERVIOUS	164,475 SF.	15,565 SF.
		IMPERVIOUS	10,000 SF.	148,910 SF.
PARCEL 2	104 AC.	PERVIOUS	145,302 SF.	190,600 SF. (20% WHEN DEVELOPED)
		IMPERVIOUS	10,000 SF.	136,241 SF. (80% WHEN DEVELOPED)

CONTRACTOR TO POTHOLE EXISTING UTILITIES PRIOR TO ORDERING ANY MATERIALS. NOTIFY OWNER & ENGINEER OF ANY CONFLICTS



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	LIMITS OF DISTURBANCE
---	---	CONTOUR LINE
●	●	SPOT ELEVATION
---	---	STORM DRAIN INLET
---	---	STORM DRAIN PIPE
---	---	UNDERDRAINS
---	---	UNDERGROUND TELE. / FIBER OPTIC
---	---	ELECTRIC OVER-HEAD ELECTRIC/ TELE.
---	---	GAS
---	---	SANITARY SEWER
---	---	WATER
□	□	LIGHT POLE
---	---	TREE PROTECTION



Storm Pipe Table

STORM DRAIN PIPE	SIZE	LENGTH	SLOPE	IN. I	IN. O
EX-G - SD-9	18"	292'	0.34%	23.57'	24.50'
SD-1 - SD-2	30"	54'	0.30%	23.46'	23.57'
SD-2 - SD-3	30"	57'	0.30%	23.67'	23.84'
SD-3 - SD-4	24"	52'	0.30%	23.94'	24.09'
SD-4 - SD-5	18"	97'	0.30%	24.89'	24.48'
SD-5 - SD-6	18"	76'	0.30%	24.58'	24.8'
SD-6 - SD-7	18"	285'	0.30%	24.56'	25.23'
SD-7 - SD-8	18"	105'	0.30%	25.33'	25.65'
SD-8 - SD-14	12"	40'	0.63%	25.75'	26.00'
SD-6 - SD-16	18"	3'	0.50%	24.34'	24.50'

STORM DRAIN STRUCTURE TABLE

STR. #	TYPE	RIM/THROAT	IN. I	IN. O
EX-G	EX. GRATE INLET	25.80	23.50	SD-9
SD-1	HEADWALL	27.00	23.4	SD-2
SD-2	MANHOLE	25.23	23.67	SD-3
SD-3	STORM STRUCTURE	30.75	23.94	SD-4
SD-4	COMB. INLET	28.50	24.89	SD-5
SD-5	MANHOLE	29.73	24.58	SD-7
SD-6	COMB. INLET	28.70	25.33	SD-8
SD-7	COMB. INLET	28.50	25.33	SD-9
SD-8	COMB. INLET	29.5	25.75	SD-14
SD-9	OUTFALL STRUCTURE	27.25	24.50	EX-G
SD-14	NEENAH R-4999-ANTYPE CI	28.01	24.34	SD-6
SD-16	HEADWALL	26.87	24.34	SD-14
SD-16	AREA INLET	28.50	24.50	SD-16

REVISIONS

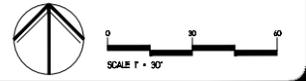
NO.	DATE	BY

FREELAND and KAUFFMAN, INC.
 Engineers & Landscape Architects
 209 West Stone Avenue
 Greenville, South Carolina 29609
 864-233-5497



Parker's kitchen
 17 W. MCCONOUGH STREET
 SAVANNAH, GA 31401
STORE #84 - LADSON RD & LINEHOUSE DR

GRADING AND DRAINAGE PLAN



DRAWN: DAC
 CHECKED: BTS
 DATE: 05/27/2020
 SCALE: AS NOTED
 DRAWING



SITE LEGEND

- (A) 18" CURB & GUTTER
- (B) STOP BAR WITH "STOP" SIGN (RH), SEE DETAILS
- (C) TAPER CURB TO FLUSH
- (D) DUMPSTER ENCLOSURE (RE: ARCH)
- (E) STANDARD-DUTY CONCRETE PAVEMENT
- (F) WHEEL STOP
- (G) SIDEWALK TO BE FLUSH
- (H) CONCRETE TRANSFORMER PAD
- (I) 2" CONCRETE CURB BACKING AT ENTRANCES
- (J) AIR / VACUUM EQUIPMENT
- (K) 30" DIAMETER CONCRETE SPHERE BOLLARD, CONTRACTOR TO COORDINATE EXACT LOCATION WITH OWNER
- (L) TWO (2) 46" WIDE X 32" DEEP PROPANE CAGES WITH TWO (2) 48" TALL STEEL BOLLARDS PLACED THREE (3) FEET IN FRONT OF PROPANE CAGES, SEE ARCHITECTURAL DRAWINGS FOR DETAILS, CONTRACTOR TO PROVIDE & COORDINATE EXACT LOCATION WITH OWNER
- (M) 48" TALL STEEL BOLLARD, SEE ARCHITECTURAL DRAWINGS FOR DETAILS, CONTRACTOR TO PROVIDE & COORDINATE EXACT LOCATION WITH OWNER
- (N) GREASE TRAP, 1500 GAL. MIN.
- (O) OIL TANK, TO BE SECURED
- (P) FUEL VENTS
- (Q) ACCESSIBLE RAMP PER SCODT 720-99H
- (R) 6" WIDE CROSSWALK PER SCODT 625-305-00
- (S) 5" CONCRETE SIDEWALK
- (T) TE PROPOSED SIDEWALK TO EXISTING
- (U) TAPER GUTTER PAN TO SCODT WIDTH
- (V) TE PROPOSED CURB TO EXISTING
- (W) SITE LIGHTING
- (X) FUTURE ACCESS LOCATION
- (Y) EXISTING CURB TO BE REMOVED
- (Z) ONSITE HANDICAP RAMP
- (AA) ACCESSIBLE PARKING SPACE, TYPICAL, SEE DETAIL SHEET FOR ACCESSIBLE SPACE WALL MOUNTED SIGN AND SYMBOL, VAN INDICATES VAN ACCESSIBLE SPACE.
- (BB) SITE SIGNAGE

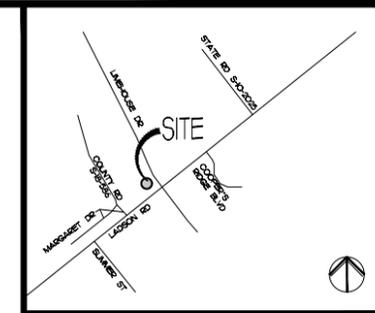
CONTRACTOR TO REFER TO THE MOST CURRENT EDITION OF THE SCODT STANDARD DRAWINGS

CONSTRUCTION SIGNING SHALL BE PLACED ACCORDINGLY. SEE DETAIL SHEET FOR SCODT STANDARD DRAWING 606-010-02 WITH SCHEME C FOR BOTH DIRECTIONS ON CENTRAL AVENUE & ORANGEBURG ROAD BUT MODIFIED TO ONLY USE ROAD WORK AHEAD SIGN AND END CONSTRUCTION SIGN. CONSTRUCTION SIGNING ADJUSTED AS REQUIRED FOR INTERSECTION.

ANY WORK REQUIRING A SHOULDER CLOSURE IS TO BE DONE USING SCODT STANDARD DRAWING 60-205-00 FOR SHOULDER CLOSURE. ALL SHOULDER CLOSURE IS TO BE DONE DURING DAYLIGHT HOURS BETWEEN 9:00 AM TO 3:00 PM

PARKING CALCULATIONS

TENANT	AREA SF	MIN. REQUIRED RATIO	MIN. REQUIRED PARKING	MAX. REQUIRED RATIO	MAX. REQUIRED PARKING	PARKING PROVIDED
PARKER'S	4,920 SF	2 SPACES PER 1000 SF	10	20% OF MINIMUM	20	32



VICINITY MAP (NOT TO SCALE)

SITE LEGEND

EXISTING	PROPOSED	DESCRIPTION
(3)	(3)	NUMBER OF SPACES PER ROW
—	—	CURB & GUTTER
—	—	FENCE
—	—	SIGN
—	—	HANDICAP SYMBOL
—	—	CONCRETE PAVEMENT
—	—	STANDARD DUTY PAVING
—	—	SCODT PAVEMENT WIDENING
—	—	HEAVY DUTY PAVING
—	—	PERVIOUS CONCRETE
—	—	LIGHT POLE

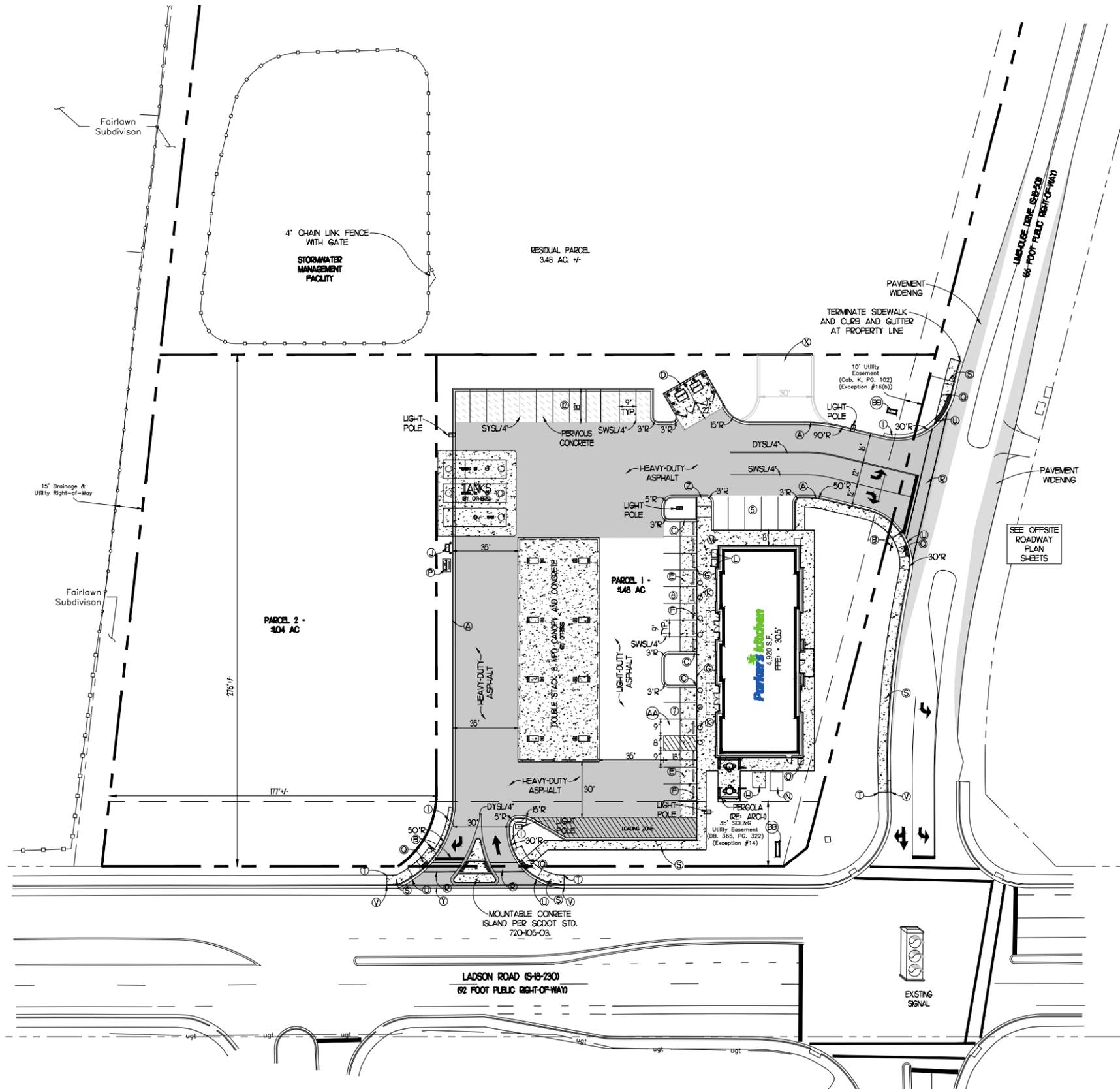
PAINT STRIPING LEGEND

- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

NOTE: REF. GEOTECHNICAL REPORT BY OTHERS FOR PAVEMENT SECTION INFORMATION

SITE PLAN NOTES

1. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
2. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB, EDGE OF ASPHALT OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
4. ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STOPES 4" WIDE AT 45° AND 2 FEET O.C.
5. ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE SITE SIGNS WITH PARKER'S CONSTRUCTION MANAGER.
7. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
8. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF SUMMERVILLE REGULATIONS AND CODES AND OSHA STANDARDS.
9. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED, UNLESS OTHERWISE NOTED.
10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM UTILITY COMPANY AND TOWN OF SUMMERVILLE FOR THE LOCATION AND HEIGHT OF ALL SIGNAGE BEFORE CONDUIT AND WIRING IS INSTALLED.
11. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID. (RE: DEMOLITION PLAN)
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
13. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY SURVEY MATTERS, LLC.
14. CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL ITEMS/FEATURES IN CONFLICT WITH PROPOSED IMPROVEMENTS AND FOR INCLUDING ALL COSTS IN BASE BID.



SITE PLAN



REVISIONS BY

NO.	DATE	BY

FREELAND and KAUFFMAN, INC.
 Engineers & Landscape Architects
 209 West Stone Avenue
 Greenville, South Carolina 29609
 864-233-5497

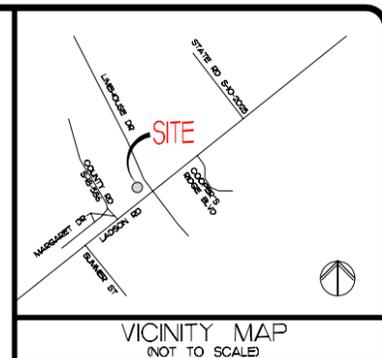


Parker's kitchen
 17 W. MCCONOUGH STREET
 SAVANNAH, GA 31401
STORE #84 - LADSON RD & LINEHOUSE DR

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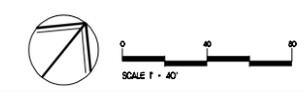




LEGEND

EXISTING TREE CONDITION GRADE	
	B - GOOD
	C - FAIR
	D - POOR
	F - POOR

TREE OVERLAY PLAN



REVISIONS	BY

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209 West Stone Avenue
Greenville, South Carolina 29609
864-233-5497



Parker's kitchen
17 W. MCCONOUGH STREET
SAVANNAH, GA 31401
STORE #84 - LADSON RD & LIMEHOUSE DR

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SITE UTILITY NOTES

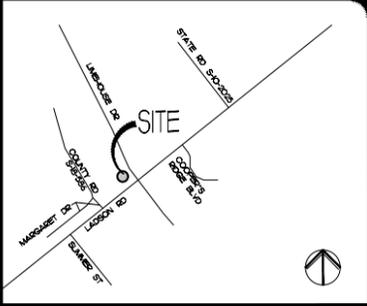
1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY FREELAND & KAUFFMAN, INC. THE CURRENT REQUIREMENTS OF THE TOWN OF SUMMERVILLE, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT PUBLIC LAW 91-504, FEDERAL REGISTER, CHAPTER VIII, PART 192 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT 811 THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
7. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE BUILDING.
8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
9. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
10. UTILITY COMPANIES AND CONTACTS ARE LISTED ON COVER SHEET.
11. CONDUIT LOCATIONS TO SITE SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH THE OWNER.
12. CONTRACTOR SHALL COORDINATE WITH THE OWNER ON CONDUIT ROUTE TO BUILDING FROM THE TRANSFORMER AND/OR SERVICE UTILITY POLE FOR TELEPHONE AND ELECTRICAL SERVICES.
13. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
14. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
15. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE. UTILITY COMPANIES AND CONTACTS ARE LISTED ON THE COVER SHEET.
16. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
6" PVC SDR-26
17. WATER LINES SHALL BE AS FOLLOWS:
2" AND LARGER - POLYVINYLCHLORIDE (PVC) OR DUCTILE IRON (DI) WATER PIPE, ASTM D2241, D1784, D399, F477 SMALLER THAN 2" - POLYVINYLCHLORIDE (PVC) OR POLYETHYLENE (PE) WATER PIPE, ASTM D2241, SDR 21 CLASS 200. PE 3406 IS PERMITTED FOR 1" DIAMETER SERVICES.
PVC WATER PIPE SMALLER THAN 4" IN DIAMETER SHALL BE SDR 26, CLASS 160 OR SCHEDULE 40 (ASTM D1785) PVC WATER PIPE LARGER THAN 4" IN DIAMETER SHALL BE SDR 15, CLASS 150 CONFORMING TO AWWA C900 DI WATER PIPE SHALL BE CLASS 50 AND SHALL COMPLY WITH AWWA/CES/ASCE/ANSI C900.
18. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
19. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING.
20. WATER & SEWER SHALL BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING BY VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
21. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-0" COVER ON ALL WATERLINES.
22. IN THE EVENT OF A VERTICAL CROSSING LESS THAN 18" BETWEEN WATERLINES AND SANITARY LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED, MEETING REQUIREMENTS OF ANSI A210 OR ANSI A211 AWWA C-900 CLASS 50.
23. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
24. TOPS OF EXISTING MANHOLES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
25. ALL CONCRETE FOR ENCASMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 PSI.
26. REFER TO INTERIOR PLUMBING DRAWINGS FOR TEN OF ALL UTILITIES.

PRIOR TO STARTING WORK, CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS. ALL ITEMS TO REMAIN THAT ARE IN CONFLICT WITH PROPOSED IMPROVEMENTS ARE TO BE RELOCATED/REMOVED AS NEEDED & CONTRACTOR IS RESPONSIBLE FOR INCLUDING ALL COSTS IN BASE BID.

CONTRACTOR IS RESPONSIBLE FOR ALL FEES TO UTILITY COMPANIES (INCLUDING RELOCATION COSTS), FOR COORDINATION OF ALL APPLICABLE WORK, AND FOR INCLUDING ALL FEES IN BASE BID.

PRIOR TO STARTING WORK CONTRACTOR IS RESPONSIBLE FOR POT-HOLING ALL EXISTING UTILITIES AND FOR NOTIFYING DESIGN ENGINEER OF ANY CONFLICTS

PROPOSED UTILITY CONNECTIONS SHOWN ARE TO TERMINATE 5' OUTSIDE OF BUILDING



REVISIONS	BY

- LEGEND**
- (A) 6" SANITARY SEWER EXT. (IE = 27.00'), RE: ARCH FOR EXACT LOCATION
 - (B) 7" DOMESTIC WATERLINE ENTRY, RE: ARCH FOR EXACT LOCATION
 - (C) 7" TAP ON EXISTING WATERLINE
 - (D) 1/2" DOMESTIC WATER METER SERVICE PER DORCHESTER COUNTY WATER & SEWER DEPT. STANDARDS. METER TO BE PLACED ON THE RIGHT-OF-WAY LINE.
 - (E) 1" IRRIGATION WATER METER SERVICE PER DORCHESTER COUNTY WATER & SEWER DEPT. STANDARDS FOR DESIGN BUILD IRRIGATION SYSTEM. METER TO BE PLACED ON THE RIGHT-OF-WAY LINE.
 - (F) 1/2" ABOVE GROUND RPZ BACKFLOW PREVENTER IN INSULATED ENCLOSURE FOR DOMESTIC WATER SERVICE PER DORCHESTER COUNTY WATER & SEWER DEPT. STANDARDS
 - (G) 1" RPZ BACKFLOW PREVENTER IN INSULATED ENCLOSURE FOR DESIGN BUILD IRRIGATION SYSTEM PER DORCHESTER COUNTY WATER & SEWER DEPT. STANDARDS
 - (H) PAD MOUNTED TRANSFORMER BY CONTRACTOR PER SCESG STANDARDS & SPECIFICATIONS
 - (I) ELECTRIC ENTRY, RE: ARCH FOR EXACT LOCATION
 - (J) TELEPHONE ENTRY, RE: ARCH FOR EXACT LOCATION
 - (K) SANITARY SEWER CLEAN-OUT * 100' O.C. MAX SPACING (TYP). SEE DETAILS
 - (L) GREASE TRAP, 1500 GALLON MIN. (RE: ARCH)
 - (M) 6" SANITARY SEWER LINE * MIN. 1.00% SLOPE PER DORCHESTER COUNTY WATER & SEWER DEPT. STANDARDS (TYP)
 - (N) UNDERGROUND ELECTRIC/TELEPHONE EXTENSIONS, CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES. PROVIDE (2) 2" CONDUIT FOR EACH.
 - (O) 2" WATERLINE
 - (P) 1/2" IRRIGATION WATERLINE
 - (Q) 6" DOMESTIC WATERLINE
 - (R) GLOBE VALVE IN VALVE BOX
 - (S) FROST-PROOF YARD HYDRANT
 - (T) TWO 4" PVC IRRIGATION CHASES (TYP)
 - (U) CONNECT TO EXISTING MANHOLE
 - (V) COORDINATE WITH SCOTD BEFORE DIGGING AND INSTALLING STORM DRAIN STRUCTURE. CALL SCOTD 1-843-740-6668. THERE ARE TRAFFIC SIGNAL CABLES BURIED IN THIS AREA.

FREELAND and KAUFFMAN, INC.
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 864-233-5497

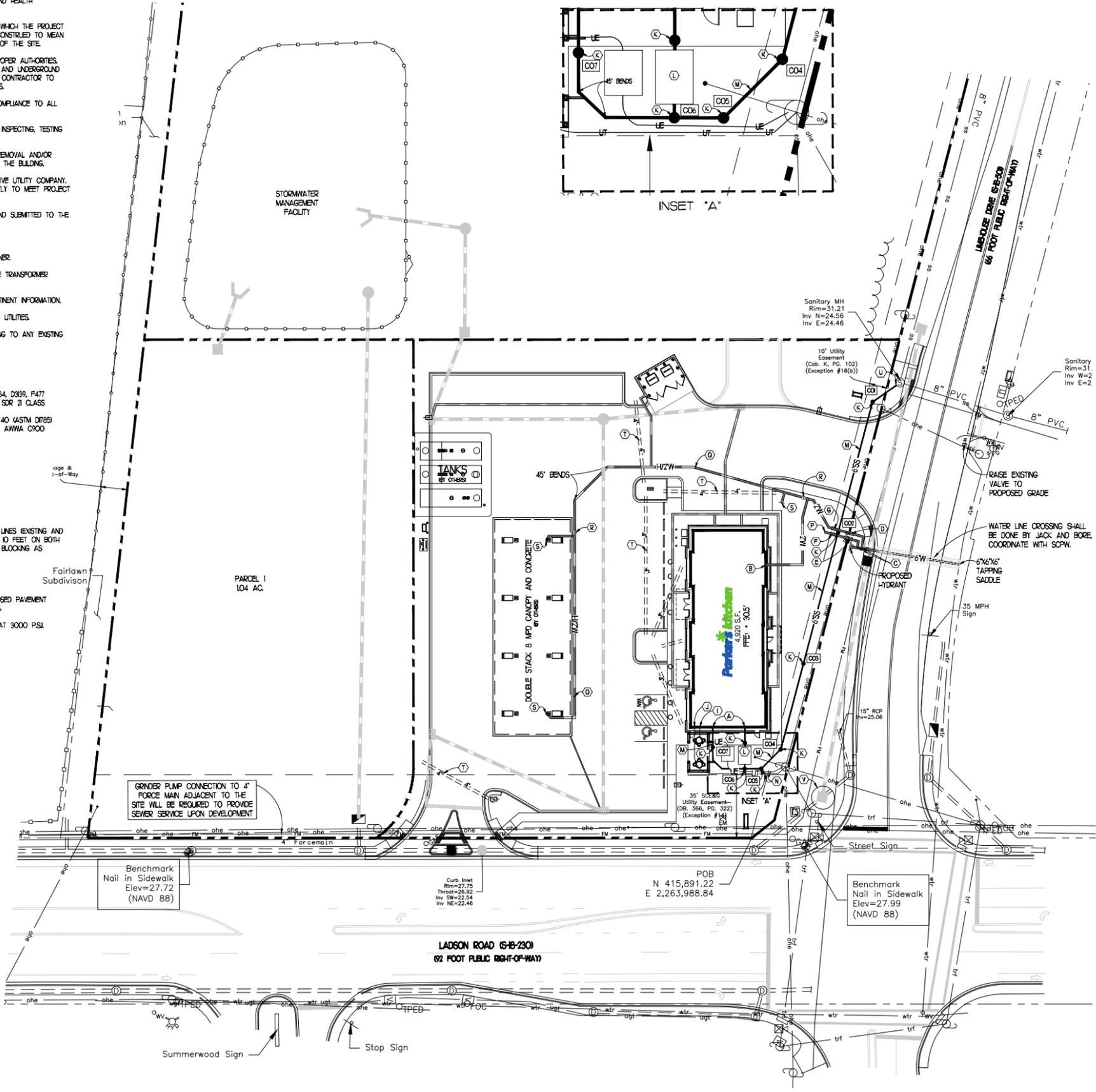


Parker's kitchen
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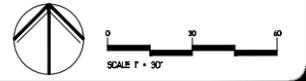
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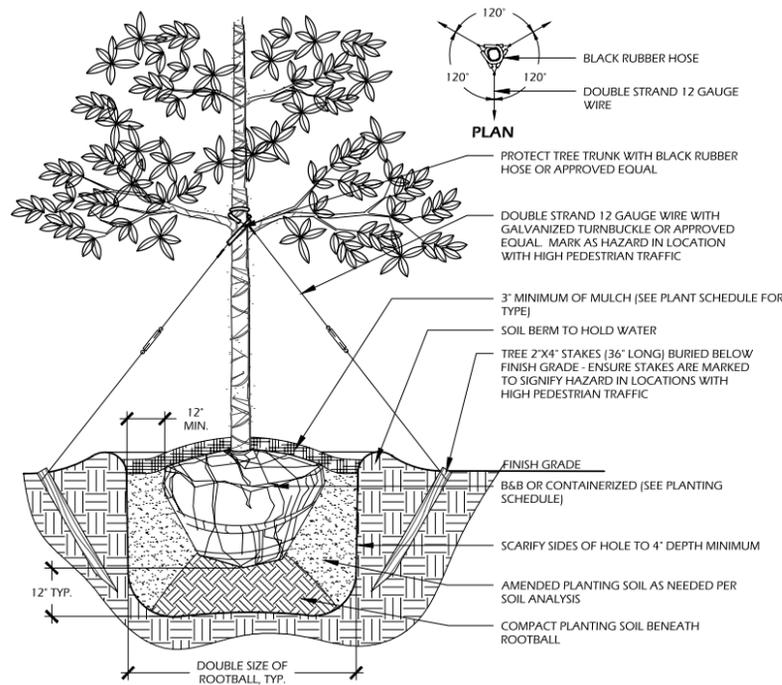
19

EXISTING	PROPOSED	DESCRIPTION
(T)	(T)	TELEPHONE MANHOLE
(D)	(D)	DRAINAGE MANHOLE
(I)	(I)	INLET
(SS)	(SS)	STORM DRAINAGE PIPE
(FM)	(FM)	SANITARY SEWER LINE
(S)	(S)	FORCEMAIN SEWER
(WTR)	(WTR)	SANITARY SEWER MANHOLE
(W)	(W)	WATER LINE
(GAS)	(GAS)	GAS LINE
(UT)	(UT)	UNDERGROUND TELEPHONE
(UE)	(UE)	UNDERGROUND ELECTRIC
(OHE)	(OHE)	OVERHEAD ELECTRIC
(WM)	(WM)	WATER METER
(WV)	(WV)	WATER VALVE
(HYD)	(HYD)	HYDRANT
(GV)	(GV)	GAS VALVE
(LP)	(LP)	LIGHT POLE
(UP)	(UP)	UTILITY POLE
(S)	(S)	SIGN
(PR)	(PR)	PAVEMENT REPAIR



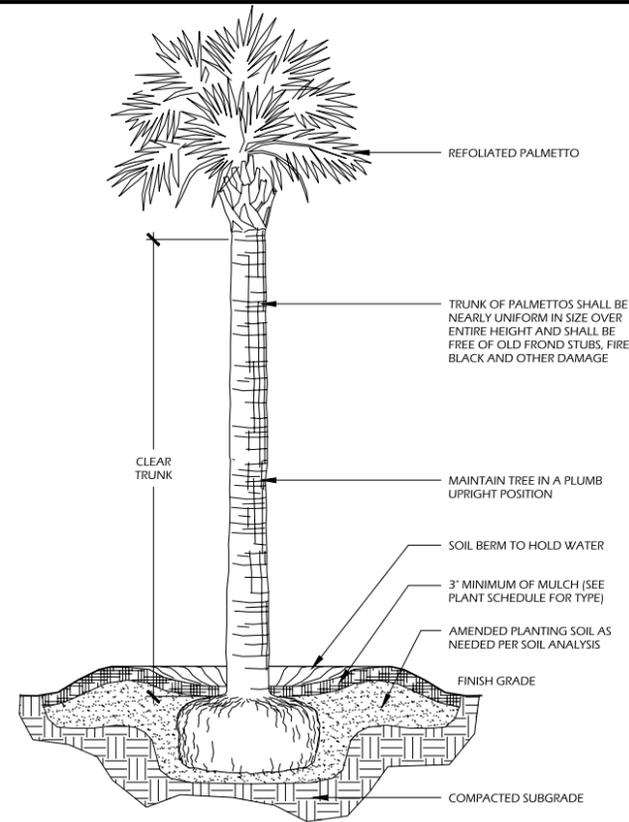
UTILITY PLAN





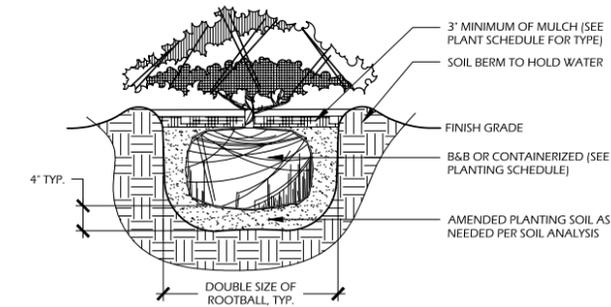
- NOTES:**
1. TREE STAKING OPTIONAL HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2' ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L3 TREE PLANTING
SCALE: N.T.S.



- NOTES:**
1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L3 PALM TREE PLANTING
SCALE: N.T.S.



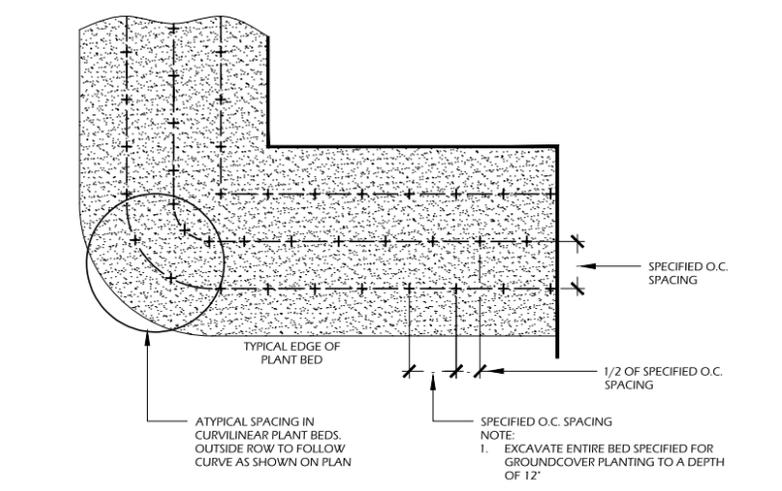
- NOTES:**
1. WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2' ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L3 SHRUB PLANTING
SCALE: N.T.S.

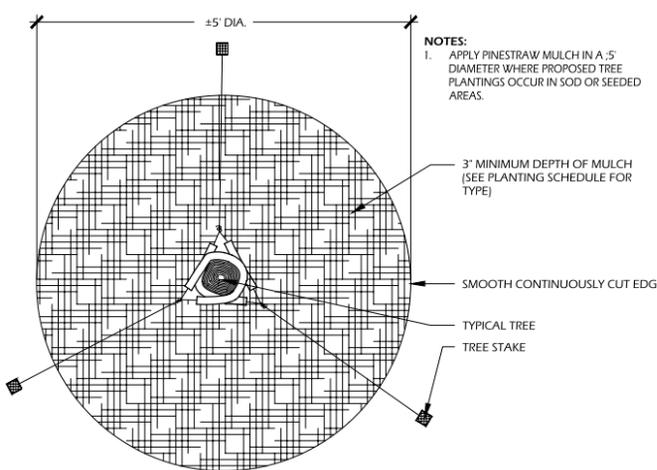
- PLANTING NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS, INCLUDING UTILITIES, AND PROMPTLY REPORTING ANY DISCREPANCIES OR CONFLICTS WITH PLANTING AREAS. REPORT INFORMATION TO OWNER, OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
 2. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
 3. LANDSCAPE PLANTING AND / OR MULCHED AREAS TO BE FINE GRADED, HAND RAKED SMOOTH AND FREE OF DEBRIS.
 4. CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO ASSURE PLANT HEALTH AND GROWTH.
 5. MULCH ALL PLANTING BEDS TO A MIN. 3" DEPTH WITH MULCH SPECIFIED IN PLANT SCHEDULE.
 6. CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID / PROPOSAL IS SUBMITTED.
 7. PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
 8. GALLON SIZES ARE FOR PRICING PURPOSES ONLY. PLANT MUST MEET HEIGHTS AND WIDTHS SPECIFIED IN PLANT SCHEDULE.
 9. ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
 10. ANY SIGNIFICANT ROOTS ENCOUNTERED 2" DIA. AND LARGER SHALL BE DUG OUT BY HAND AND CLEANLY CUT BACK IN THE FOOTING / FOUNDATION AREA TO PROMOTE ROOT RE-GROWTH AND HELP PREVENT ROOT DIEBACK.
 11. ALL PLANT MATERIAL (EXCEPT SEASONAL COLOR) SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
 12. ALL SEASONAL COLOR SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR THREE MONTH TIME FRAMES.

- SOIL AMENDMENT NOTES:**
1. TOPSOIL SHALL CONSIST OF THE NATURAL LOAM, SANDY LOAM, SILT LOAM, OR CLAY LOAM HUMUS BEARING SOILS, ADAPTED TO THE SUSTENANCE OF PLANT LIFE, WITH THE FOLLOWING TEXTURE:
 - 1.1. ORGANIC MATERIAL - TWO (2) TO TWENTY (20) PERCENT BY MASS
 - 1.2. SAND CONTENT - TWENTY (20) TO SIXTY (60) PERCENT BY MASS
 - 1.3. CLAY-SILT CONTENT - THIRTY FIVE (35) TO SEVENTY (70) PERCENT BY MASS.
 - 1.4. TOPSOIL PH SHALL BE BETWEEN FIVE (5) AND SEVEN (7).
 2. TOPSOIL SHALL BE OF UNIFORM QUALITY AND FREE FROM FOREIGN MATERIAL SUCH HARD CLODS, SOD, STIFF CLAY, HARD PAN, STONES LARGER THAN ONE (1) INCH DIAMETER, LIME CEMENT, ASHES, SLAG, CONCRETE, TAR RESIDUES, TARRED PAPER, BOARDS, CHIPS, STICKS, OR OTHER UNDESIRABLE MATERIALS. IT SHALL ALSO BE REASONABLY FREE FROM WEEDS AND OBJECTIONABLE PLANT MATERIAL.
 3. AFTER ALL DEMOLITION, CLEARING AND DISPOSAL IS COMPLETED, THE CONTRACTOR SHALL STRIP FROM THE TOP OF THE EXISTING GROUND ALL TOPSOIL IN ALL AREAS TO BE GRADED.
 4. PRIOR TO STOCKPILING OF TOPSOIL, TOPSOIL SHALL BE SCREENED WITH A ONE HALF (1/2) INCH SIZE SIEVE. STOCKPILE TOPSOIL IN DESIGNATED OR APPROVED LOCATIONS WITH PROPER DRAINAGE AND WHERE IT WILL NOT INTERFERE WITH THE WORK. AFTER TOPSOIL HAS BEEN STOCKPILED, CONTRACTOR SHALL QUANTIFY THE AMOUNTS AT NO ADDITIONAL COST TO THE OWNER. QUANTITIES SHALL BE GIVEN TO THE ARCHITECT, OWNER AND SITE DESIGN PROFESSIONAL.
 5. IF AMOUNT OF SCREENED TOPSOIL STOCKPILED FROM STRIPING OPERATIONS IS INSUFFICIENT TO PROVIDE THE NECESSARY AMOUNTS (4" MINIMUM DEPTH), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN (FROM OFF-SITE SOURCE) THE NECESSARY AMOUNT OF SCREENED TOPSOIL TO COMPLETE THE PROJECT.
 6. SCREENED TOPSOIL SHALL BE DISTRIBUTED WITH A MINIMUM DEPTH OF FOUR (4) INCHES TO ALL GRADED AREAS (NOT INCLUDING BUILDING, PAVED, SYNTHETIC TURF, PERVIOUS PAVEMENT, ETC.) AND / OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. GROUND SHALL BE SCARIFIED BEFORE PLACING TOPSOIL. AREAS WHERE SCREENED TOPSOIL IS DISTRIBUTED SHALL BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATION (SEASON DEPENDENT) OR TEMPORARY MULCH WITHIN FOURTEEN (14) CALENDAR DAYS OF DISTRIBUTION.

- TURF AND GRASSING NOTES:**
1. AFTER TOPSOIL HAS BEEN INSTALLED, AND BEFORE ANY SOD IS LAID, CORRECT ALL SOFT SPOTS AND IRREGULARITIES IN GRADE. THE SOD SHALL BE LAID BY BUTTING THE ENDS AND SIDES UP EVENLY AND STAGGERING THE ROLLS OF SOD. CONTRACTOR SHALL NOT OVERLAP SOD. AS SOON AS THE SOD IS LAID OR AS IT IS BEING LAID ROLL OVER WITH A LIGHT ROLLER, MAKING CERTAIN THAT ALL OF THE SOD IS IN CONTACT WITH THE SOIL. THE COMPLETED SODDED AREAS SHALL BE TRUE TO FINISH GRADE, EVEN AND FIRM AT ALL POINTS.
 2. UPON COMPLETION OF PLANTINGS ALL EXCESS SOIL STONES AND DEBRIS WHICH HAS NOT PREVIOUSLY BEEN CLEANED UP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 3. ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN (18) DAYS AFTER PLANTING SHALL BE RE-PLANTED AND RE-FERTILIZED AS SPECIFIED UNTIL A SATISFACTORY LAWN IS ESTABLISHED. THE LAWN SHALL BE CONSIDERED ESTABLISHED WHEN ITS REASONABLY FREE FROM WEED, GREEN IN APPEARANCE AND THE SPECIFIED GRASS IS VIGOROUS AND GROWING WELL ON EACH SQ. FT. OF LAWN AREA.
 4. LAWN SHALL BE PROTECTED AND MAINTAINED BY WATERING, MOWING, AND REPLANTING, OVERSEEING, AS NECESSARY FOR AS LONG AS IS NECESSARY TO ESTABLISH A UNIFORM STAND. SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE SQ. FT., WILL BE ALLOWED UP TO MAXIMUM OF THREE PERCENT OF ANY LAWN AREA. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ANY EROSIONAL DAMAGE TO THE LAWN AREA. FULL COVERAGE IS REQUIRED IN SIXTY DAYS.
 5. MAINTENANCE OF GRASSED AREAS SHALL CONSIST OF MOWING, WATERING AND FERTILIZING. ALL GRASSED AREAS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6" ABOVE FINISHED GRADE.
 6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRASSED AREAS UNTIL ACCEPTANCE BY OWNER AT END OF PROJECT. LAWN MAINTENANCE SHALL OCCUR AT A MINIMUM OF ONCE PER SEVEN CALENDAR DAYS.



4 // L3 GROUND COVER PLANTING
SCALE: N.T.S.



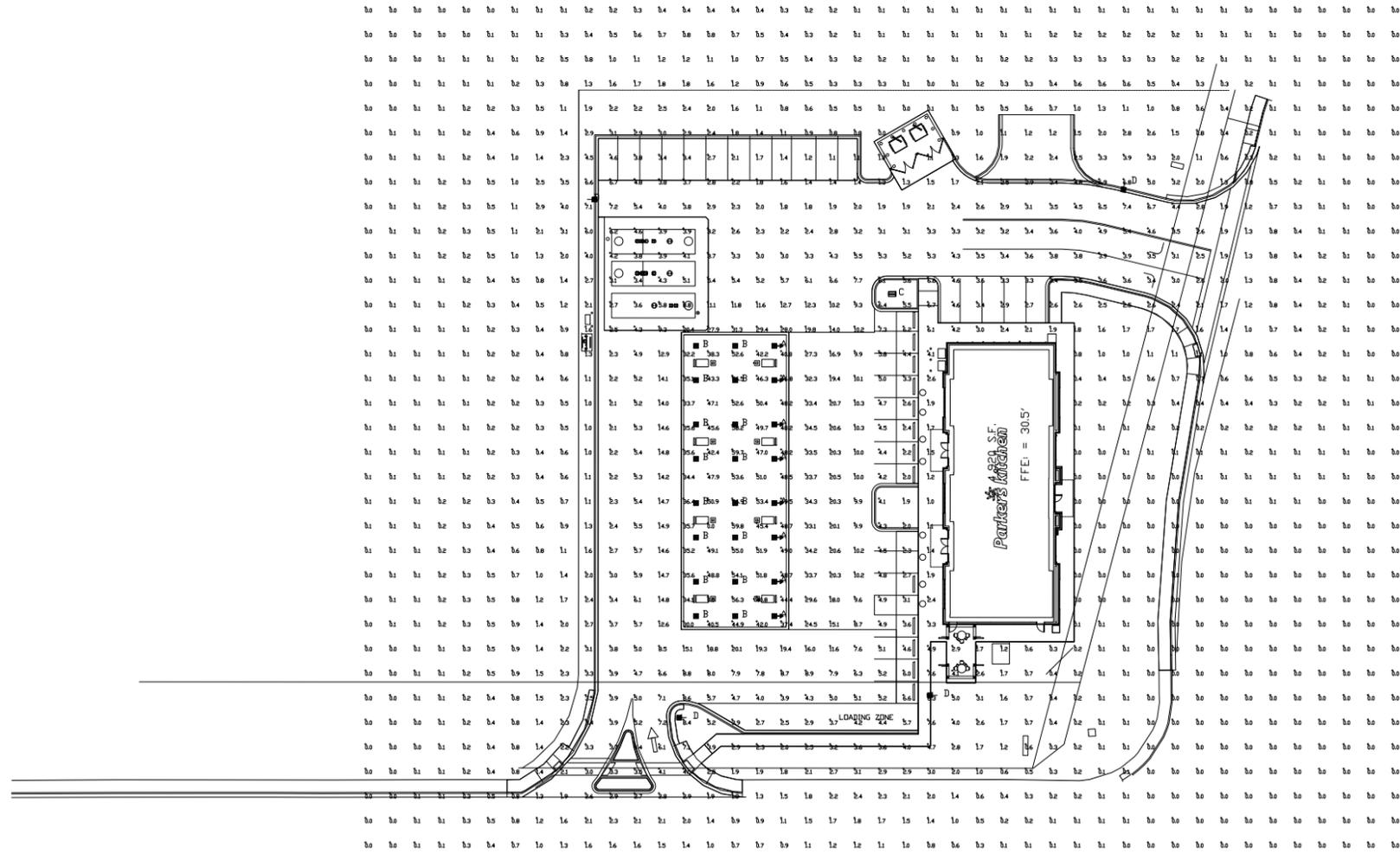
5 // L3 TREE STAKING
SCALE: N.T.S.

DATE:	MAY 27, 2020
PROJECT NO.:	15051.28
DRAWN BY:	CB
CHECKED BY:	DK

REVISIONS:

DRAWING TITLE
PLANTING NOTES AND DETAILS

DRAWING NUMBER



LADSON ROAD (S-18-230)
(92 FOOT PUBLIC RIGHT-OF-WAY)

Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts
	8	A	SINGLE	SCV-LED-23L-SCFT-50 MTD @ 15'	1.000	1.000	1.000	24361	191.5
	16	B	SINGLE	SCV-LED-15L-SC-50 MTD @ 15'	1.000	1.000	1.000	15410	103
	1	C	SINGLE	MPH-LED-35L-SIL-5W-50-70CRI-22'POLE+2'BASE	1.000	1.000	1.000	38036	294
	4	D	SINGLE	MRM-LED-30L-SIL-FT-50-70CRI-SINGLE-24'POLE+2'BASE	1.000	1.000	1.000	32656	247

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
ALL CALC POINTS	Illuminance	Fc	3.94	59.8	0.0	N.A.	N.A.	
CANDPY	Illuminance	Fc	44.30	59.8	0.0	N.A.	N.A.	
INSIDE CURB	Illuminance	Fc	7.40	34.5	1.1	6.73	31.36	



SCV



MPH



MRM

[Click image to open Product Page](#)

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 4462



LIGHTING PROPOSAL		LD-151365	
PARKERS #84			
LADSON RD & LIMEHOUSE DR			
BY: MVE	DATE: 01-20	REV:	SHEET 1 OF 1
SCALE: 1"=30'		0 30	



121 OAKDENE ROAD
 POOLER, GEORGIA 31322
 P 912.695.3111
 WWW.WISSMACHARCHITECTS.COM

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PARKERS STORES
 DRAYTON-PARKERS, LLC
 17 WEST McDONOUGH STREET
 SAVANNAH, GEORGIA 31401



PARKER'S
 STORE #84

ELEVATIONS

NO.	DESCRIPTION	DATE	INITIAL

DO NOT SCALE FROM DRAWINGS
 SCALE AS INDICATED
 DATE 05-28-20
 PROJECT NO. 20006.00

A201



N.T.S.
PERSPECTIVE VIEW



N.T.S.
PERSPECTIVE VIEW



N.T.S.
PERSPECTIVE VIEW



N.T.S.
PERSPECTIVE VIEW



**WISSMACH
ARCHITECTS**

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PARKERS STORES

DRAYTON-PARKERS, LLC
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SAVANNAH, GEORGIA 31401



**PARKER'S
STORE #84**

**PERSPECTIVE
VIEWS**

NO.	DESCRIPTION	DATE	INITIAL

DO NOT SCALE FROM DRAWINGS

SCALE AS INDICATED
DATE 05-28-20
PROJECT NO. 20006.00

A202



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 SAVANNAH, GEORGIA 31401



PARKER'S STORE #84

ELEVATIONS

NO.	DESCRIPTION	DATE	INITIAL

DO NOT SCALE FROM DRAWINGS
 SCALE AS INDICATED
 DATE 05-28-20
 PROJECT NO. 20006.00

A201



N.T.S.
PERSPECTIVE VIEW



N.T.S.
PERSPECTIVE VIEW



N.T.S.
PERSPECTIVE VIEW



N.T.S.
PERSPECTIVE VIEW



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PARKERS STORES

DRAYTON-PARKERS, LLC
17 WEST MCDONOUGH STREET
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**PARKER'S
STORE #84**

**PERSPECTIVE
VIEWS**

NO.	DESCRIPTION	DATE	INITIAL

DO NOT SCALE FROM DRAWINGS
SCALE AS INDICATED
DATE 05-28-20
PROJECT NO. 20006.00

A202



A large blue billboard with white and orange text. The top left features the Morningstar Storage logo, which is a circular icon containing a stylized figure with a storage unit. To the right of the logo, the words "morningstar" and "STORAGE" are written in white, with "morningstar" in a lowercase sans-serif font and "STORAGE" in an uppercase sans-serif font. Below this, the text "2 MONTHS FREE" is written in large, bold, white, uppercase letters. At the bottom of the billboard, the website "MORNINGSTARSUMMerville.COM" is written in white, uppercase letters on an orange background. The billboard is supported by four black posts and has "ADAMS" and "183420" visible on its top edge.

morningstar
STORAGE

2 MONTHS FREE

MORNINGSTARSUMMerville.COM

ADAMS 183420



A small white sign with blue text, partially obscured by a utility pole. The text on the sign includes the phone number "803.725.7398".

803.725.7398



A yellow utility pole with black text and symbols. The text includes "P", "R", "D", "S", "C", "E", "P", "T", "I", "O", "N", "S", "A", "N", "D", "S", "I", "N", "G", "L", "I", "N", "E", "S", "A", "R", "E", "P", "R", "O", "H", "I", "B", "I", "T", "E", "D", "H", "E", "R", "E". There are also several small symbols, including a circle with a slash and a circle with an 'X'.

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**STAFF REPORT
CDRB Meeting
June 18, 2020 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: June 11, 2020

GENERAL INFORMATION

Applicant: Hoover Dodge
Property Owner: Hoover Summerville Limited Partnership
Requested Action: The applicant is requesting Final Approval of a proposed new accessory overflow service building
Requested Approval: Final Approval
Existing Zoning: G-B General Business
Adjacent Zoning: **North:** G-B General Business
South: G-B General Business
East: G-B General Business
West: G-B General Business
Location: 195 Marymeade Drive
Existing Land Use: Existing Car Dealership
Prior Approvals: First Meeting

Ordinance Reference:
Sec. 13.3.5. Design Review Board.

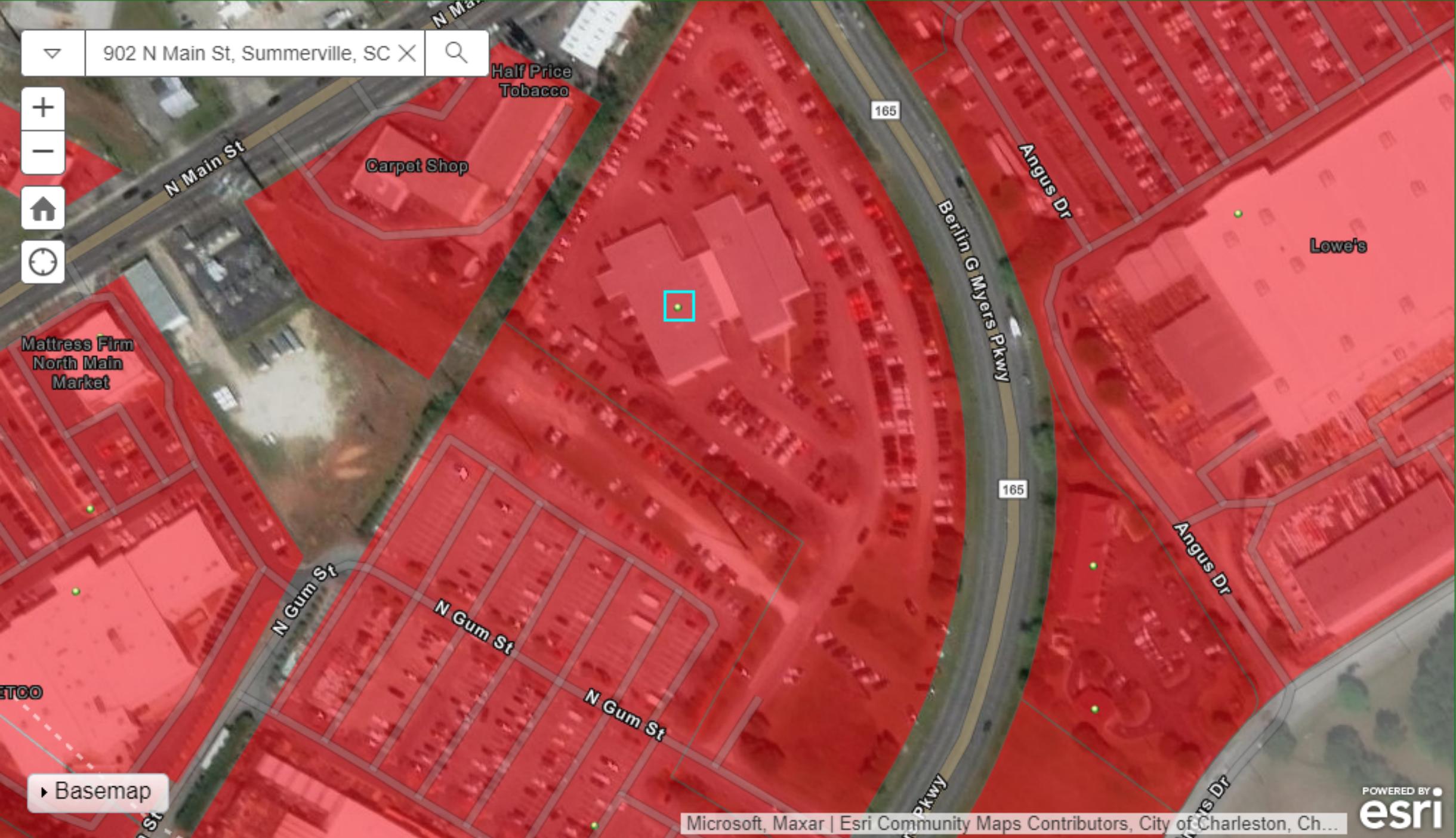
- A. *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Hoover Dodge is proposing to construct a 35' X 50' pre-engineered metal building at the rear of the property. The proposed structure meets the required setbacks for accessory structures. This is primarily a metal clad building, which will be nearly 400 feet from the nearest ROW. The exterior façade is consistent with the exterior finish of the dealership building's rear façade, but does not match the front façade.



902 N Main St, Summerville, SC



Location Information

This property is in the Town of Summerville.

TMS: 232-00-02-132

Owner: HOOVER SUMMERVILLE LIMITED PARTNERSHIP

Second Owner:

Zoning: G-B

Address: 195 MARYMEADE DR

Subdivision:

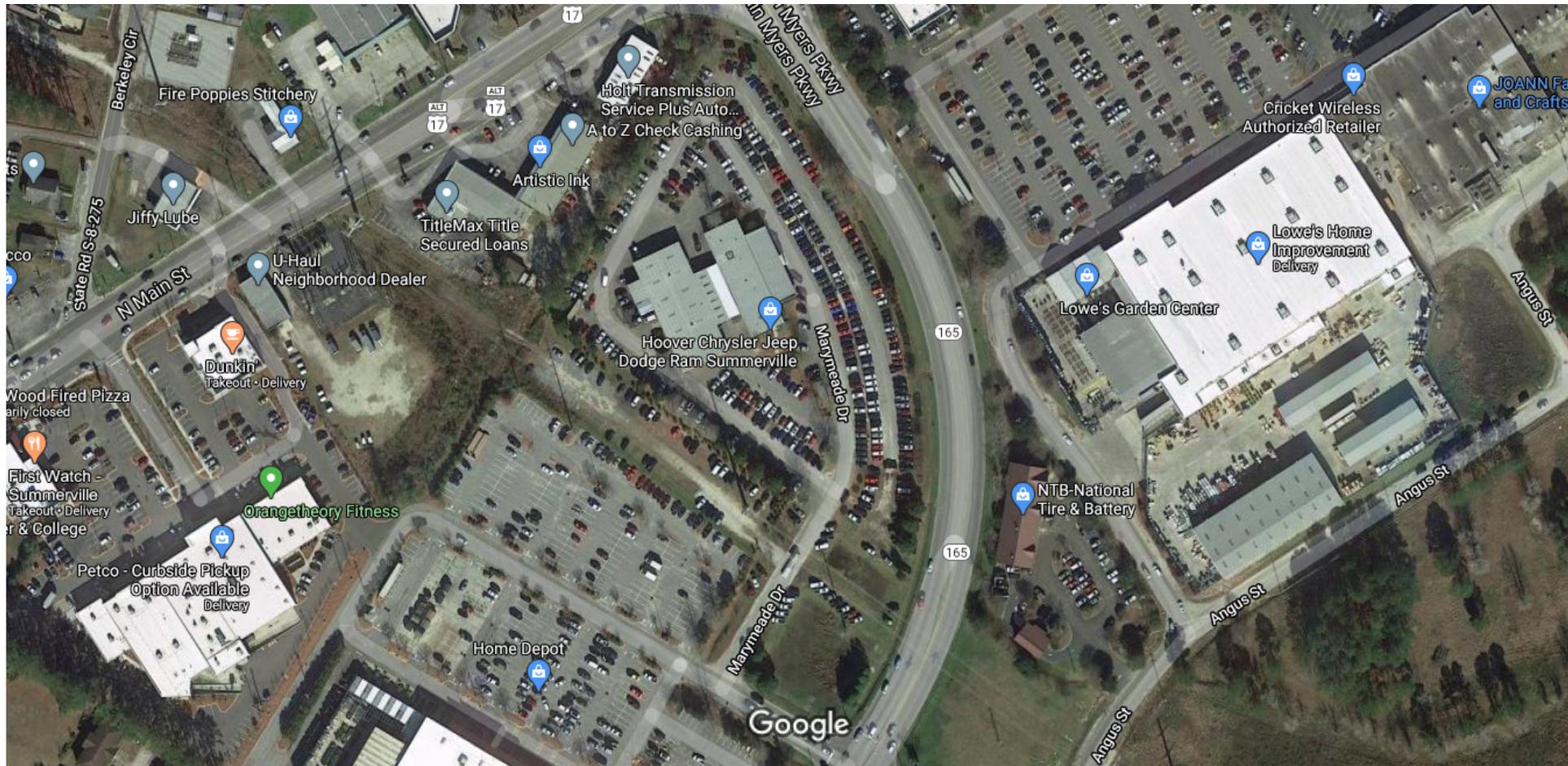
County: Berkeley

Council District: 2

Representative: Terry Jenkins

Basemap





- Q E K I V 1 E V I G B R S P S K M I W 9 7 2] S P S K E M G E Z M O V % K H F E G] H E X E k J X

Google Maps

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Google Maps

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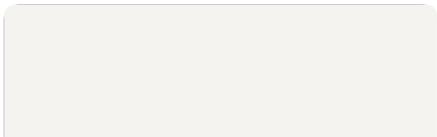


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 +SSKPI

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Google Maps

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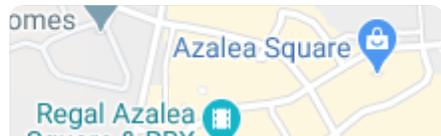


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+SSKPI

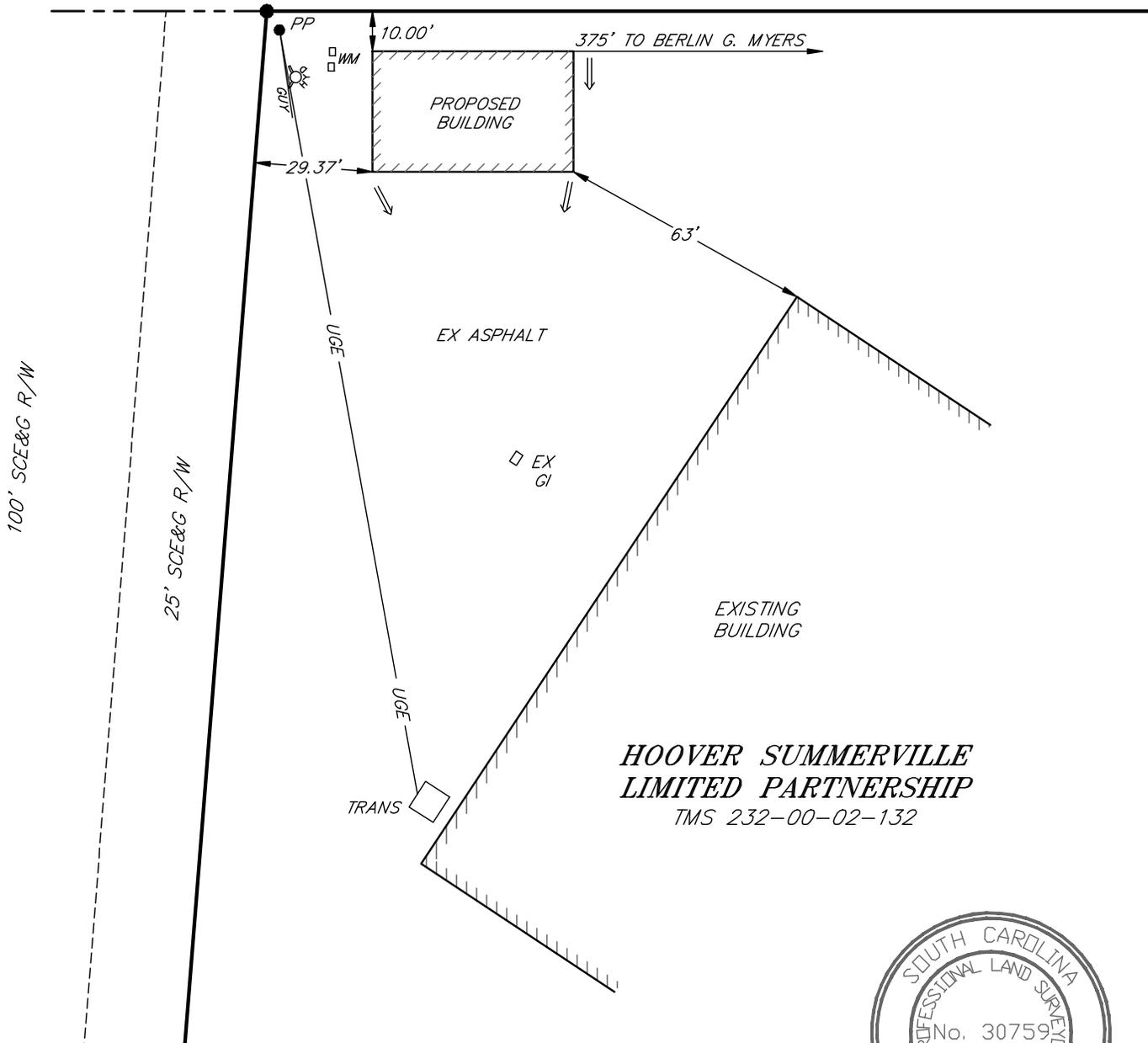
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KWWSV, JRZLOH FRP PDSV #

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GUM STREET (R/W VARIES)
UNIMPROVED ROAD



PLOT PLAN SHOWING 195 MARYMEADE DRIVE

LOCATED IN THE TOWN OF SUMMERVILLE, BERKELEY COUNTY, SC

DATE: MAY 12, 2020 SCALE: 1" = 40'

REFERENCE: CABINET M, PAGE 215
FLOOD ZONE: X F.I.R.M. COMMUNITY PANEL 45035 0345 E, EFFECTIVE JULY 7, 2017

NOTE: FOR PLANNING PURPOSES ONLY. NOT FOR RECORDING.

TIM ELMER RLS, LLC. TEL: (843) 482-0795
523 MAN O'WAR LANE
MONCK'S CORNER, SC 29461 CEImeR.TERLS@gmail.com

X:\20\Hoover Dodge\dwg\Hoover Dodge Plot Plan.dwg

20-HOOVER PLOT PLAN



Hoover Chrysler Dodge Jeep - Overflow Service

Construction Documents

May 15, 2020



GENERAL NOTES:

NOTE: DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY

1. ALL WORK SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE - LATEST EDITION AS ADOPTED BY THE LOCAL COUNTY AND AS APPLICABLE TO THE AREA IN WHICH THE BUILDING IS TO BE CONSTRUCTED WITH ALL APPLICABLE AMENDMENTS.

2. THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF WORK AND ARE THEREFORE PARTLY DIAGRAMMATIC.

3. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATIONS ELSEWHERE ON THE PROJECT WITH APPROPRIATE ADJUSTMENTS FOR THE PARTICULAR CONDITION.

4. THE SHEETS OF THE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY TO EACH OTHER. WHAT IS CALLED FOR ON ONE IS BINDING FOR ALL.

5. ANY DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS (DRAWINGS AND / OR SPECIFICATIONS), THE STRICTER / COSTLIER OF THE REQUIREMENTS SHALL GOVERN.

6. ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, STANDARDS, AND / OR RESTRICTIONS, WHETHER INDICATED ON THE PLANS OR NOT.

7. APPLY AND / OR INSTALL ALL PRODUCTS AND MATERIALS ACCORDING TO SPECIFICATIONS, MANUFACTURER'S PUBLISHED INSTRUCTIONS OR, IF NO INSTRUCTIONS EXIST, INSTALL PER STANDARD INDUSTRY PRACTICE.

8. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. USE FIGURED DIMENSIONS. (NOTIFY ARCHITECT IMMEDIATELY OF ANY VARIATIONS ON THE DRAWINGS AND / OR SPECIFICATIONS.)

9. ALL DIMENSIONS ARE TO ROUGH, FACE OF CMU, STUD, STEM WALL OR MONOLITHIC FOOTINGS, UNLESS OTHERWISE NOTED.

10. ALL WINDOW AND DOOR SIZES ARE NOMINAL. VERIFY MANUFACTURER'S ACTUAL AND ROUGH OPENING DIMENSIONS.

11. BUILDER TO VERIFY SOIL DENSITY AS PER GEO-TECHNICAL ENGINEERING REPORT PRIOR TO CONCRETE PLACEMENT.

12. CONCRETE EQUIPMENT PADS, STOOPS, WALKS AND DRIVES TO BE DETERMINED IN SIZE AND LOCATION ON SITE (IN FIELD).

13. ALL PRE-CAST LINTELS BY CAST-CRETE OR EQUAL

14. ELECTRICAL CONTRACTOR SHALL VERIFY DESIGNERS ELECTRICAL LAYOUT AND CALCULATIONS PRIOR TO CONSTRUCTION.

15. SHELVING, BUILT-INS, CABINETS, WOOD MOLDING AND TRIM TO BE SELECTED BY OWNER AND / OR BUILDER PRIOR TO CONSTRUCTION. IF CONSTRUCTION ADMINISTRATION IS PROVIDED, SHOP DRAWINGS ARE TO BE PROVIDED TO THE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.

16. STRUCTURAL FEATURES NOT DETAILED ON THESE PLANS ARE TO BE ADDRESSED BY A CERTIFIED ENGINEER, COMPLYING WITH LOCAL BUILDING CODES PRIOR TO CONSTRUCTION.

17. ALL WOOD FRAMING IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE PRESSURE TREATED AND SEPARATED WITH A MIN. 15# FELT.

18. CAULK AND SEAL ALL WINDOWS AND DOOR OPENINGS.

19. PROVIDE BARRIER BETWEEN DISSIMILAR MATERIALS AND SEAL JOINTS AS REQUIRED.

20. PROVIDE RECESSES AS REQUIRED FOR ALL EXTERIOR DOORS AND WINDOWS (VERIFY WITH MANUFACTURER)

21. ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED WITH 1/2" THICK FIBERGLASS PIPE INSULATION.

22. PLUMBING WORK SHALL CONFORM TO ALL CITY, COUNTY, HEALTH DEPARTMENT, IBC PLUMBING CODE CURRENT EDITION AND LOCAL BUILDING CODE REGULATIONS.

23. PLUMBING CONTRACTOR SHALL SUBMIT AS-BUILT RISER DIAGRAMS TO LOCAL BUILDING DEPARTMENT.

24. ALL CLEAN-OUTS TO BE PROVIDED PER CODE.

25. ANY OMISSIONS, ERRORS, OR CONFLICTS WITH CODES TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.

TYPE III CONSTRUCTION

602.3 TYPE III.
TYPES III CONSTRUCTION IS THAT TYPE OF CONSTRUCTION IN WHICH THE EXTERIOR WALLS ARE OF NONCOMBUSTIBLE MATERIALS AND THE INTERIOR BUILDING ELEMENTS ARE OF ANY MATERIAL PERMITTED BY THIS CODE. FIRE-RETARDANT-TREATED WOOD FRAMING COMPLYING WITH SECTION 2303.2 SHALL BE PERMITTED WITHIN EXTERIOR WALL ASSEMBLIES OF 2-HOUR RATING OR LESS.

ACCESSIBILITY NOTES:

CHAPTER 11 - ACCESSIBILITY

1101.2 DESIGN.
BUILDINGS AND FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO BE ACCESSIBLE IN ACCORDANCE WITH THIS CODE AND ICC A117.1.

1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN SHALL BE DISPLAYED AT ALL ACCESSIBLE RESTROOM FACILITIES AND AT ACCESSIBLE BUILDING ENTRANCES UNLESS ALL ENTRANCES ARE ACCESSIBLE. INACCESSIBLE ENTRANCES SHALL HAVE DIRECTIONAL SIGNS INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE.

2. ACCESSIBLE DRINKING FOUNTAINS SHALL HAVE A SPOUT HEIGHT NO HIGHER THAN 36 INCHES ABOVE THE FLOOR AND EDGE OF BASIN, NO HIGHER THAN 34 INCHES ABOVE THE FLOOR FOR INDIVIDUALS IN WHEELCHAIRS. ADDITIONALLY PROVISIONS SHALL BE MADE FOR INDIVIDUALS WHO HAVE DIFFICULTY IN BENDING.

3. WHERE STORAGE FACILITIES SUCH AS CABINETS, SHELVES, CLOSETS AND DRAWERS ARE PROVIDED AT LEAST ONE OF EACH TYPE PROVIDED SHALL CONTAIN STORAGE SPACE COMPLYING WITH THE FOLLOWING:

DOORS ETC. TO SUCH SPACES SHALL BE ACCESSIBLE (ie. TOUCH LATCHES, U-SHAPED PULLS), SPACES SHALL BE WITHIN 15 INCHES MINIMUM AND 48 INCHES MAXIMUM OF THE FLOOR FOR FORWARD REACH OR 9 INCHES MINIMUM AND 54 INCHES MAXIMUM, OF THE FLOOR FOR SIDE REACH.

CLOTHES RODS SHALL BE A MAXIMUM OF 54 INCHES ABOVE THE FLOOR (48 INCHES MAXIMUM WHEN DISTANCE FROM WHEELCHAIR TO ROD EXCEEDS 10 INCHES).

4. CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE NO HIGHER THAN 45 INCHES ABOVE THE FLOOR FOR SIDE APPROACH. RECEPTACLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15 INCHES ABOVE THE FLOOR.

EXCEPTION: HEIGHT LIMITATIONS DO NOT APPLY WHERE THE USE OF SPECIAL EQUIPMENT DICTATES OTHERWISE OR WHERE ELECTRICAL RECEPTACLES ARE NOT NORMALLY INTENDED FOR USE BY BUILDING OCCUPANTS.

5. WHERE EMERGENCY WARNING SYSTEMS ARE PROVIDED, THEY SHALL INCLUDE BOTH AUDIBLE AND VISUAL ALARMS. THE VISUAL ALARMS SHALL BE LOCATED THROUGHOUT, INCLUDING RESTROOMS AND PLACED 80 INCHES ABOVE THE FLOOR OR 6 INCHES BELOW CEILING, WHICHEVER IS GREATER.

6. DOORS TO ALL ACCESSIBLE SPACES SHALL HAVE ACCESSIBLE HARDWARE (ie. LEVER OPERATED, PUSH-TYPE, U-SHAPED) MOUNTED NO HIGHER THAN 48 INCHES ABOVE THE FLOOR. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES

7. FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP - RESISTANT. CHANGES IN LEVEL BETWEEN 0.25 INCH AND 0.5 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 0.5 INCH REQUIRE RAMPS. CARPET PILE THICKNESS SHALL BE 0.5 INCH MAX. GRATINGS IN FLOORS SHALL HAVE NO SPACE GREATER THAN 0.5 INCH WIDE IN ONE DIRECTION. DOORWAY THRESHOLDS SHALL NOT EXCEED 0.5 INCH IN HEIGHT.

8. ALL DOORS SHALL BE OPENABLE BY A SINGLE EFFORT. THE MAXIMUM FORCE REQUIRED TO OPEN A DOOR SHALL NOT EXCEED 8.5 LBS. FOR EXTERIOR SWINGING DOORS AND 5 LBS. FOR ALL SLIDING, FOLDING AND INTERIOR SWINGING DOORS.

9. ACCESSIBLE WATER CLOSETS SHALL BE 17 TO 19 INCHES FROM THE FLOOR TO THE TOP OF THE SEAT. GRAB BARS SHALL BE 36 INCHES LONG MINIMUM WHEN LOCATED BEHIND A WATER CLOSET AND 42 INCHES MINIMUM WHEN LOCATED ALONG SIDE OF WATER CLOSETS, AND SHALL BE MOUNTED AT 33 TO 36 INCHES FROM THE FLOOR TO THE CENTERLINE OF THE RAIL. FLUSH VALVE CONTROLS SHALL BE MOUNTED NO MORE THAN 44" A.F.F. AND LOCATED ON THE OPEN SIDE OF THE WATER CLOSET. BACKING TO BE PROVIDED WITHIN PLUMBING WALLS FOR FIXTURE ATTACHMENT.

10. ACCESSIBLE URINALS SHALL BE STALL-TYPE OR WALL HUNG WITH ELONGATED RIMS AT A MAXIMUM OF 17 INCHES ABOVE THE FLOOR.

11. ACCESSIBLE LAVATORIES SHALL BE MOUNTED WITH THE RIM NO HIGHER THAN 34 INCHES ABOVE THE FLOOR AND A CLEARANCE OF AT LEAST 29 INCHES ABOVE THE FLOOR TO THE BOTTOM OF APRON.

12. ACCESSIBLE LAVATORIES SHALL BE MOUNTED WITH THE RIM NO HIGHER THAN 34 INCHES ABOVE THE FLOOR AND A CLEARANCE OF AT LEAST 27 INCHES HIGH, 30 INCHES WIDE, AND 19 INCHES DEEP UNDERNEATH SINK. THE SINK DEPTH SHALL BE 6.5 INCHES MAXIMUM.

13. HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. INSULATION OR PROTECTION MATERIALS MAY BE SITE INSTALLED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER ACCESSIBLE LAVATORIES AND SINKS.

14. ACCESSIBLE LAVATORIES AND SINKS SHALL HAVE ACCESSIBLE FAUCETS (ie. LEVER-OPERATED, PUSH-TYPE, ELECTRONICALLY CONTROLLED).

15. WHERE MIRRORS ARE INSTALLED IN RESTROOMS, AT LEAST ONE SHALL BE PROVIDED WITH ITS EDGE MOUNTED NO HIGHER THAN 40 INCHES ABOVE THE FLOOR.

MIRRORS LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40 INCHES (1015 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND. MIRRORS NOT LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 35 INCHES (890 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND.

A SINGLE FULL-LENGTH MIRROR CAN ACCOMMODATE A GREATER NUMBER OF PEOPLE, INCLUDING CHILDREN. IN ORDER FOR MIRRORS TO BE USABLE BY PEOPLE WHO ARE AMBULATORY AND PEOPLE WHO USE WHEELCHAIRS, THE TOP EDGE OF MIRRORS SHOULD BE 74 INCHES (1880 MM) MINIMUM FROM THE FLOOR OR GROUND.

16. WHERE MEDICINE CABINETS ARE PROVIDED, AT LEAST ONE SHALL BE LOCATED WITH A USEABLE SHELF NO HIGHER THAN 44 INCHES ABOVE THE FLOOR.

17. GRAB BARS REQUIRED FOR ACCESSIBILITY SHALL BE 1.25 TO 1.5 INCHES IN DIAMETER WITH 1.5 INCHES OF CLEAR SPACE BETWEEN THE BAR AND THE WALL.

18. A TOWEL DISPENSER SHALL BE LOCATED NEXT TO ALL ACCESSIBLE LAVATORIES

PROJECT TEAM:

ARCHITECT:

TIDEWATER ARCHITECTS, LLC

158 MARIE DR
SUMMERVILLE, SC 29483

CONTACT: MICHAEL SMITH
PHONE: 843-285-8632
E-MAIL: Mike@TidewaterArch.com

ENGINEER:

WILLIAM H. BRANHAM III PE, LLC

PO BOX 147
MT. PLEASANT, SC 29465

CONTACT: WILLIAM H. BRANHAM III, PE
PHONE: 843-830-0418
E-MAIL: WHB3LLC@comcast.net

CONTRACTOR:

BRANKS GENERAL CONTRACTOR

5530 SAVANNAH HIGHWAY
RAVENEL, SC 29470

CONTACT: STEPHEN W. TUMBLESTON
PHONE: 843-564-1387
E-MAIL: SteveT@BranksGC.com

SHEET INDEX:

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G0.2	PROJECT DATA
G1.1	EXTERIOR PERSPECTIVES
G1.2	EXTERIOR PERSPECTIVES

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S1.1	FOUNDATION PLAN
S2.1	STRUCTURAL DETAILS

ARCHITECTURAL:

A0.1	LIFE SAFETY PLAN
A1.1	FLOOR PLAN
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A3.1	ROOF PLAN
A4.1	BUILDING ELEVATIONS
A5.1	CROSS SECTIONS
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M2.1	MECHANICAL DETAILS

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E1.1	LIGHTING PLAN
E2.1	POWER PLAN
E3.1	ELECTRICAL DETAILS

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Summerville, SC 29483
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E-Mail: Info@TidewaterArch.com

TIDEWATER ARCHITECTS, LLC
Summerville, SC
No. 101207

GREGORY G. HOVER
Charleston, SC
7532

5-15-2020

Project:

Hoover Chrysler Dodge Jeep
Overflow Service

Seals:

General Notes

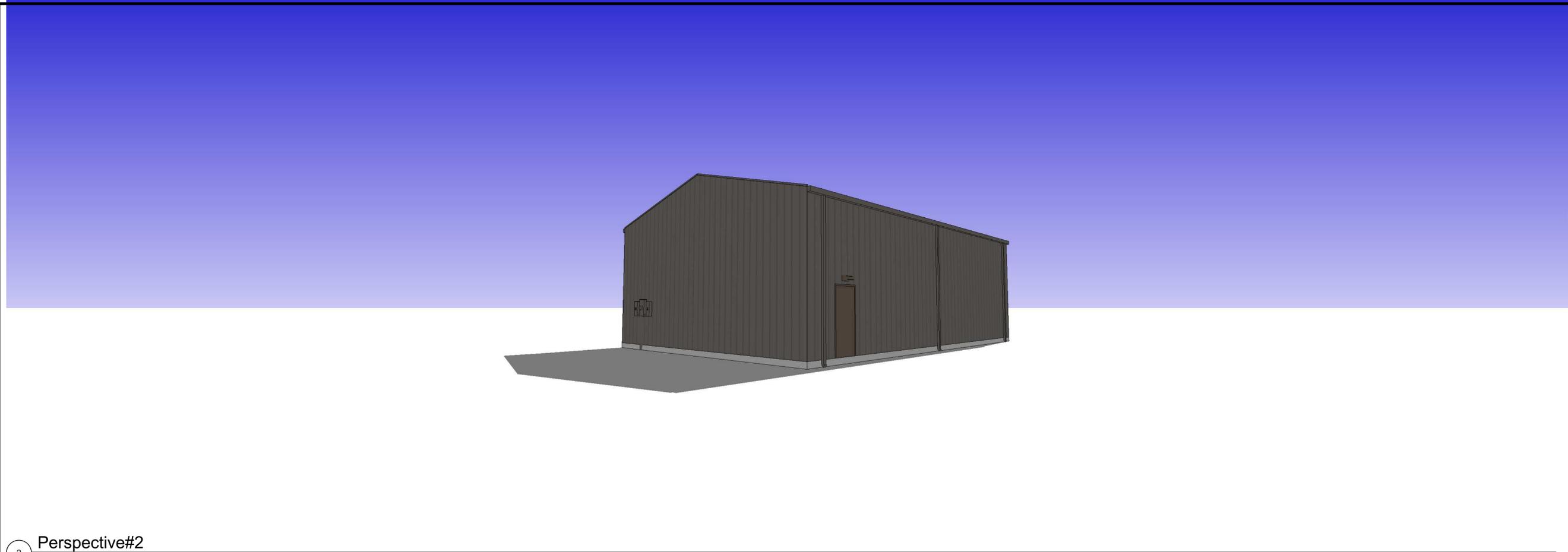
195 Maymeade Dr
Summerville, SC 29483

Project No:	TWA2013				
Date:	5-5-20				
Drawn By:	TWA				
Checked By:	TWA				

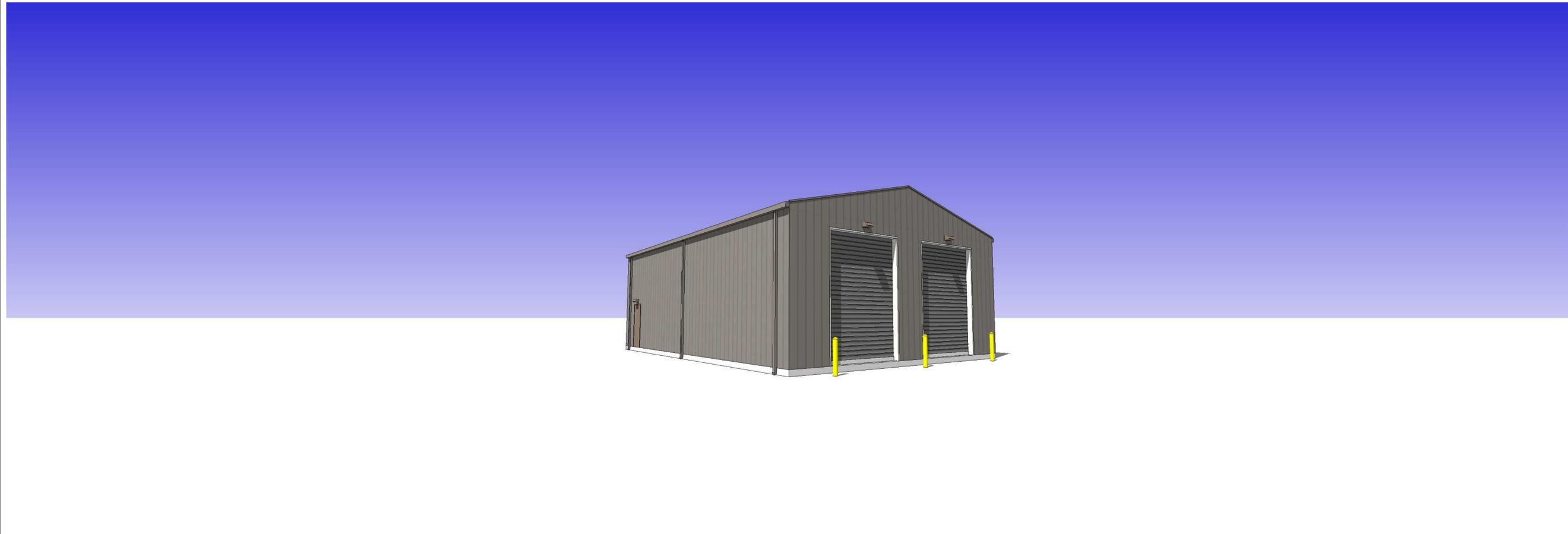
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SC Reg. 101207

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2 Perspective#2
NTS



1 Perspective #1
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SC Reg. 101207



Seals:

Project:
Hoover Chrysler Dodge Jeep
Overflow Service

195 Marymeade Dr
Summerville, SC 29483

Exterior Perspectives	
Project No:	TWA2013
Date:	5-5-20
Revisions	
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	-
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	-
Drawn By:	TWA
Checked By:	TWA

G1.1

ABBREVIATIONS LEGEND:

UNO = UNLESS NOTED OTHERWISE	O.C. = ON CENTER
TYP = TYPICAL	SYP = SOUTHERN YELLOW PINE
T.S. = TUBULAR STEEL	CONT = CONTINUOUS
T.O. = TOP OF	VERT = VERTICAL
B.O. = BOTTOM OF	WI = WITH
E.W. = EACH WAY	BTM / BOT = BOTTOM
MIN. = MINIMUM	C.L. = CLEAR
O.H. = OVERHANG	HSS = HOLLOW STRUCTURAL STEEL
W = WIDTH	
D = DEPTH	
GT = GIRDER TRUSS	
FGT = FLOOR GIRDER TRUSS	
FTG = FOOTING	
OWT = OPEN WEB TRUSS	
PT = PRESSURE TREATED	
FLR = FLOOR	

STRUCTURAL NOTES:

- THE GENERAL STRUCTURAL NOTES ARE INTENDED TO AUGMENT THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE DRAWINGS AND SPECIFICATIONS AND THE GENERAL STRUCTURAL NOTES, THE STRICTEST PROVISIONS SHALL GOVERN.
- STRUCTURAL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, CURRENT EDITION, AS ADOPTED AND SUPPLEMENTED BY LOCAL REGULATIONS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. HE/SHE SHALL VERIFY CONFORMANCE OF THESE PLANS WITH THE EXISTING CONDITIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- COORDINATE SIZES AND LOCATIONS OF OPENINGS IN FLOORS AND ROOF WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING REQUIREMENTS.
- NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED OR OTHERWISE ALTERED UNLESS APPROVED IN WRITING BY THE ENGINEER.
- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULL COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS, OR SHORING WHICH MIGHT BE NECESSARY.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
- ALL SUB CONTRACTORS SHALL COORDINATE THEIR WORK WITH THE GENERAL CONTRACTOR AND COOPERATE WITH ALL OTHER SUB CONTRACTORS IN ORDER TO EXPEDITE THE ORDERLY COMPLETION OF THE PROJECT AND ASSURE A QUALITY PRODUCT.
- ADEQUATE VERTICAL AND HORIZONTAL SHORING SHALL BE PROVIDED TO SAFELY SUPPORT ALL CONSTRUCTION LOADS.
- THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE ERECTION AND SAFE STABILITY OF THE FRAME UNTIL THE STRUCTURAL SYSTEM IS COMPLETE AND CAPABLE OF RESISTING ALL DESIGN FORCES. MAKE ADEQUATE PROVISIONS FOR ERECTION STRESSES AND FOR SUFFICIENT TEMPORARY BRACING TO KEEP THE STRUCTURAL SYSTEM PLUMB AND IN TRUE ALIGNMENT UNTIL COMPLETION, INCLUDING ALL THE ELEMENTS WHICH ARE A PART OF THE WIND RESISTING SYSTEM. ERECTION OPERATIONS, INCLUDING THE INSTALLATION OF TEMPORARY SHORING, SHALL BE CARRIED OUT WITHOUT LOADING PORTIONS OF THE STRUCTURAL FRAME AND NON-STRUCTURAL CONSTRUCTION IN EXCESS OF THEIR SAFE LOAD CARRYING CAPACITY. WHERE THE LOAD CAPACITY OF THE STRUCTURE MAY BE EXCEEDED, SHORE CONSTRUCTED PORTIONS OF THE STRUCTURE AS REQUIRED, TO POSITIVE FOUNDATION SUPPORTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD. ANY INSPECTIONS BY THE ENGINEER ARE IN THE FORM OF RANDOM SAMPLING QUALITY ONLY AND DO NOT RELIEVE THE GENERAL CONTRACTOR FROM HIS RESPONSIBILITY OF BUILDING ACCORDING TO THE REVIEWED DRAWINGS.
- ENGINEER SHALL HAVE 7 DAYS FOR SHOP DRAWING REVIEW PLUS TIME FOR RE-DRAWING OF CORRECTED ITEMS. SECURE WRITTEN REVIEW FROM ENGINEER PRIOR TO FABRICATION, ERECTION OR INSTALLATION. ANY REVIEW BY ENGINEER OF SUCH SHOP DRAWINGS DOES NOT RELIEVE THE GENERAL CONTRACTOR FROM HIS RESPONSIBILITY OF BUILDING ACCORDING TO CONTRACT DOCUMENTS UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE STEEL BUILDING STRUCTURE AND ANCHOR BOLTS SHALL BE BEENDESIGNEDBY THE MANUFACTURER.
- CONCRETE FOR MONOLITHIC FOOTINGS AND FLOOR SLABS SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
- FINAL SHOP DRAWINGS OF STEEL BUILDING SHALL BE REVIEWED AND APPROVED BY THE GENERAL CONTRACTOR, ARCHITECT AND ENGINEER
- SIZE AND LOCATION OF ALL ANCHOR BOLTS SHALL BE COORDINATED BETWEEN THE GENERAL CONTRACTOR AND THE STEEL BUILDING MANUFACTURER.
- APPLY AND/OR INSTALL ALL PRODUCTS AND MATERIALS ACCORDING TO SPECIFICATIONS, MANUFACTURER'S PUBLISHED INSTRUCTIONS OR, IF NO INSTRUCTIONS EXIST, INSTALL PER STANDARD INDUSTRY PRACTICE.
- THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE THEREFORE PARTLY DIAGRAMMATIC.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT WITH APPROPRIATE ADJUSTMENTS FOR THE PARTICULAR CONDITION.
- THE SHEETS OF THE CONSTRUCTION DOCUMENTS ARE COMPLIMENTARY TO EACH OTHER. WHAT IS CALLED FOR ON ONE IS BINDING FOR ALL.
- IF ANY OF THESE SPECIFICATIONS OR DRAWINGS OR NOTES ON THE PLANS CONFLICT WITH ANY CODE REQUIREMENTS, THEY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

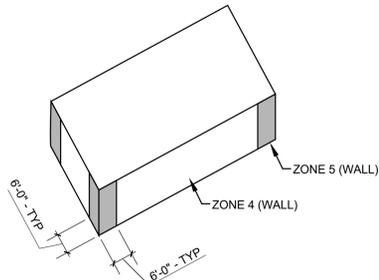
PRE-ENGINEERED BUILDING:

- BUILDING MANUFACTURER CERTIFIED FOR AISC'S QUALITY CERTIFICATION CATEGORY MB PROGRAM. ENGINEER AND FABRICATE TO MEET THE REQUIREMENTS OF THIS CERTIFICATION.
- DESIGN ALL STRUCTURAL MILL SECTIONS AND PLATE SECTIONS UNDER PROVISIONS OF THE AISC'S - MANUAL OF STEEL CONSTRUCTION.
- DESIGN ALL COLD - FORMED STEEL - STRUCTURAL MEMBERS UNDER PROVISIONS OF THE AISC'S - COLD - FORMED STEEL DESIGN MANUAL.
- DESIGN ALL ROOF PANELS UNDER PROVISIONS OF THE AISC'S - COLD - FORMED STEEL DESIGN MANUAL.
- WELDED CONNECTIONS: COMPLY WITH THE AMERICAN WELDING SOCIETY'S (AWS) - STANDARD CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION FOR WELDING PROCEDURES.
- THE BUILDING MANUFACTURER SHALL WARRANT THE MATERIALS MANUFACTURED BY IT, IF PROPERLY ERECTED UNDER PROVISIONS OF THE PLANS, SPECIFICATIONS AND ERECTION MANUAL FURNISHED BY IT, AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF 1 YEAR AFTER DELIVERY.
- MANUFACTURER SHALL BE AN AISC CATEGORY MB CERTIFIED.
- RIGID FRAMES
 - ENSURE STEEL FOR ALL BUILT - UP SECTIONS MEET AS APPLICABLE THE PHYSICAL AND CHEMICAL PROPERTIES OF THE ASTM A572 MODIFIED TO 55,000 PSI MINIMUM YIELD AND 70,000 PSI MINIMUM TENSILE STRENGTH, OR ASTM A607, GRADE 55 OR ASTM A572 MODIFIED TO 55,000 MINIMUM YIELD AND 70,000 PSI MINIMUM TENSILE STRENGTH, OR ASTM A570, GRADE 55.
 - ENSURE HOT - ROLLED STRUCTURAL SHAPES COMPLY WITH THE REQUIREMENTS OF ASTM A36. PIPES, COMPLY WITH THE REQUIREMENTS OF ASTM A500, ASTM A501, OR ASTM A53.
- SECONDARY FRAMING STEEL
 - STEEL USED TO FORM THE 'Z' AND 'C' SHAPED PURLINS, GIRTS, AND EAVE STRUTS SHALL BE AT LEAST 8 INCHES DEEP AND NOT LESS THAN 16 GAGE, 55,000 PSI MINIMUM YIELD STEEL, COMPARABLE TO OR EXCEEDING THE REQUIREMENTS OF ASTM A570. SECONDARY MEMBERS ROLLED FORMED OR BREAK FORMED G90 GALVANIZED COIL STOCK.
- STRUCTURAL PAINTING
 - CLEAN ALL STRUCTURAL STEEL AND LIGHT GAGE STEEL MEMBERS OF LOOSE MILL SCALE, DIRT AND OTHER FOREIGN MATERIAL BY THE PROCEDURES OF SSPC - SP2 AND THEN GIVE A 1 MIL COAT OF RED OXIDE PRIMER MEETING OR EXCEEDING THE PERFORMANCE REQUIREMENTS OF SPECIFICATION SSPC 15 - 687 (REPLACES AND IS EQUIVALENT TO FEDERAL SPECIFICATION TT -P-636D). THE PRIMER IS NOT INTENDED TO BE A FINISH COAT.
 - ABRASIONS CAUSED BY HANDLING AND ERECTION: TOUCHED-UP BY THE CONTRACTOR PERFORMING FIELD TOUCH-UP. USE THE SAME PRIMER USED BY THE BUILDING MANUFACTURER.
 - STRUCTURAL BOLTS: MAKE ALL FIELD CONNECTIONS WITH BLACK, UNPAINTED ASTM A325OR A307 BOLTS, NUTS AND WASHERS AS SHOWN ON THE BUILDING MANUFACTURER DRAWINGS. INSTALL ALL BOLTS AND TIGHTEN UNDER PROVISIONS OF THE "S" SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325, OR A490 BOLTS.
- ANCHOR BOLTS AND FOUNDATION DESIGN:
 - ANCHOR BOLTS: ASTM A307, AND SIZED, DETAILED AND INSTALLED UNDER PROVISIONS OF THE ANCHOR BOLT PLAN FURNISHED BY THE BUILDING MANUFACTURER.
- FRAMING
 - FACTORY PUNCH PRIMARY FRAMING AND COLUMNS, PURLINS GIRTS, EAVE STRUTS, OTHER STRUCTURAL MEMBERS AND CLIPS FOR EASY RAPID ERECTION BY FIELD BOLTING, EXCEPT WHERE SHOP CONNECTIONS ARE USED. FIELD WELDING WILL NOT BE PERMITTED UNLESS SPECIFIED BY THE BUILDING MANUFACTURER AND ALLOWED BY THE ARCHITECT OF RECORD OR ENGINEER OF RECORD.
 - RIGID FRAMES: COMPLETE WITH BASE PLATES AND SPLICE PLATES PREPARED FOR FIELD- BOLTED CONNECTIONS. THEY SHALL CONSIST OF BUILT-UP SIDEWALL, COLUMNS OF TAPERED OR CONSTANT WEB DEPTHS (SEE DRAWINGS FOR ALLOWABLE SHAPES) AND RAFTERS WITH TAPERED OR CONSTANT WEB DEPTHS AS REQUIRED BY THE BUILDING MANUFACTURER'S DESIGN.
- DESIGN THE RIGID FRAMES AS PINNED BASE, WITH NO MOMENT TRANSFERRED TO THE FOUNDATIO.
- WHEN DESIGNED AS CONTINUOUS BEAMS, CHECK THE PURLINS AND GIRTS FOR THE COMBINED BENDING AND SHEAR STRESSES AT THE FRAME CENTERLINE AND AT THE END OF THERE LAPS.
- LOCATE BRACING AS SHOWN ON THE DRAWINGS TO REMOVE HORIZONTAL BRACING. THE BRACING TO BE PORTAL FRAMES IN WALLS AND CABLES IN ROOF.
- PERFORM THE ERECTION OF THE METAL BUILDING AND THE INSTALLATION OF ACCESSORIES UNDER PROVISIONS OF THE BUILDING MANUFACTURER'S ERECTION DRAWINGS AND ERECTION MANUALS BY A QUALIFIED ERECTOR USING PROPER TOOLS, EQUIPMENT AND SAFETY PRACTICES.
- ERECTION PRACTICES: CONFORM TO SECTION 6, COMMON INDUSTRY PRACTICES FOUND IN THE "LOW RISE BUILDING SYSTEMS MANUAL" MBMA.
- NO FIELD MODIFICATIONS TO PRIMARY STRUCTURAL MEMBERS EXEPT AS AUTHORIZED AND SPECIFIED BY THE BUILDING MANUFACTURER.

COMPONENTS / CLADDING WINDOW & DOOR PRESSURES

OPENING AREA, FT ²	(+) PSF	(-) PSF	ZONE
10	49.4	53.5	4
20	47.2	51.4	4
50	44.2	48.4	4
100	42.0	46.2	4
500	36.8	41.0	4

OPENING AREA, FT ²	(+) PSF	(-) PSF	ZONE
10	49.4	66.1	5
20	47.2	61.6	5
50	44.2	55.7	5
100	42.0	51.4	5
500	36.8	41.0	5



CONCRETE NOTES:

- UNLESS SPECIFICALLY SHOWN OTHERWISE, ALL CONCRETE WORK, DETAILING, FABRICATION, AND PLACING OF BARS AND CONCRETE SHALL BE GOVERNED BY THE LATEST REVISIONS OF:
 - ACI 301, ACI 315, AND ACI 318
 - CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS
 - ACI 605 HOT WEATHER CONCRETING
- TO BE A MIX DESIGNED IN ACCORDANCE WITH ASTM C94-90 STRENGTH AS STATED BELOW, AT 28 DAYS, WITH A PLASTIC AND WORKABLE MIX. THE CONCRETE SUPPLIER SHALL FURNISH A CONCRETE DESIGN MIX TO BE APPROVED BY THE ARCHITECT AND ENGINEER OF RECORD. NO WATER TO BE ADDED AFTER TRUCK LEAVES PLANT WITHOUT APPROVAL OF ENGINEER OR PLANT ENGINEER. PLANT CONTROL IS REQUIRED. MAXIMUM MIX TIME AT POINT OF DEPOSIT IS 90 MINUTES.
- ALL CONCRETE EXCEPT AS SPECIFICALLY NOTED HEREIN, SHALL CONTAIN TYPE II CEMENT AND OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AFTER 28 DAYS. CONCRETE SLUMP SHALL BE 5" (+ - 1").

MASONRY FILL	4000 PSI
COLUMNS	4000 PSI
BEAMS	4000 PSI
- TEST CYLINDERS SHALL BE TAKEN FOR ALL STRUCTURAL SLABS AND BEAMS AND SHALL BE TESTED AS FOLLOWS:
 - TWO (2) AT 7 DAYS
 - TWO (2) AT 14 DAYS
 - TWO (2) AT 28 DAYS
 - HOLD TWO (2)
- REINFORCEMENT FOR REINFORCED CONCRETE ELEMENTS, UNLESS NOTED OTHERWISE, SHALL BE DEFORMED IN ACCORDANCE WITH ASTM-A615, GRADE 60 AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM 185
- MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE PER A.C.I. 318 (COMMON CONDITIONS LISTED BELOW):

SLAB--3/4" (REINFORCING #5'S OR SMALLER, INTERIOR SLABS.)
BEAMS AND COLUMNS--1-1/2"
FORMED CONCRETE BELOW GRADE--2"
UNFORMED CONCRETE BELOW GRADE--3"

NO CONCRETE SHALL BE POURED UNTIL THE REQUIRED CONTROLLED INSPECTIONS HAVE BEEN MADE AND APPROVED.
- BEFORE PLACING CONCRETE, ALL DEBRIS, WATER AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE PLACES TO BE OCCUPIED BY THE CONCRETE. THE PLACING OF ALL CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318 AND ASTM C94 REQUIREMENTS. PUMPING OF CONCRETE WILL BE PERMITTED ONLY WITH THE ENGINEER OF RECORD'S APPROVAL OF PROPOSED CONCRETE MIX AND METHOD OF PUMPING. CONCRETE SHALL BE RAPIDLY HANDLED FROM MIXER TO FORMS AND DEPOSITED AS NEARLY AS POSSIBLE TO ITS FINAL POSITION TO AVOID SEGREGATION DUE TO REHANDLING. CONCRETE TO BE SPADED AND WORKED BY HAND AND VIBRATED TO ASSURE CLOSE CONTACT WITH ALL SURFACES OF FORMS AND REINFORCING STEEL AND LEVELED OFF AT PROPER GRADE TO RECEIVE FINISH. ALL CONCRETE SHALL BE PLACED UPON CLEAN, DAMP SURFACES. VIBRATION SHALL BE APPLIED DIRECTLY TO THE CONCRETE AND SHALL BE SUFFICIENT TO CAUSE FLOW OF SETTLEMENT BUT NOT LONG ENOUGH TO CAUSE SEGREGATION OF THE MIX. OPERATION OF THE VIBRATOR SHALL BE SOLE RESPONSIBILITY OF ONE MAN DURING THE PLACING OF CONCRETE. CONCRETE MORE THAN 90 MINUTES OLD SHALL NOT BE USED UNLESS PRE-APPROVED RETARDERS HAVE BEEN USED IN DESIGN MIX.
- CONSTRUCTION JOINTS SHALL BE LOCATED IN ACCORDANCE WITH ACI 301. ALL REINFORCING STEEL SHALL BE CONTINUOUS ACROSS JOINTS. IN SLABS ON GRADE, CONTROL JOINTS SHALL NOT BE OVER TWENTY FEET CENTER TO CENTER EACH WAY (UNLESS NOTED OTHERWISE).
- CONCRETE, WHEN DEPOSITED, SHALL HAVE A TEMPERATURE NOT BELOW 50 DEGREE F AND NOT ABOVE 90 DEGREE F. THE METHODS AND RECOMMENDED PRACTICES AS DESCRIBED IN ACI 605 SHALL BE FOLLOWED FOR HOT WEATHER CONCRETING.
- FRESHLY PLACED CONCRETE SHALL BE PROTECTED FROM PREMATURE DRYING BY THE APPLICATION OF AN APPROVED CHEMICAL CURING COMPOUND.

THE CURING SHALL CONTINUE UNTIL THE CUMULATIVE NUMBER OF DAYS WHEN THE AMBIENT TEMPERATURE ABOVE 50 DEGREE F HAS TOTALED SEVEN. DURING CURING, THE CONCRETE SHALL BE PROTECTED FROM ANY MECHANICAL INJURY, LOAD STRESSES, SHOCK, VIBRATION OR DAMAGE TO FINISHED SURFACES.
- OUT OF LEVEL TOLERANCE FOR TOP OF SLABS IS 5/32" IN 10' AND 1/4" OVERALL.
- THE CONTRACTOR SHALL COOPERATE WITH OTHER TRADES AND WHERE REQUIRED, INSTALL ALL BUILT-IN-WORK, SLEEVES, OPENINGS, INSERTS, ETC. AS REQUIRED. LOCATION OF SLEEVES AND OPENINGS NOT SHOWN ON PLANS ARE SUBJECT TO APPROVAL BY STRUCTURAL ENGINEER.

MASONRY:

- MASONRY CONSTRUCTION SHALL CONFORM TO 2018 IBC With SC Modifications LATEST ADOPTED EDITION.
- CONTRACTOR SHALL OBTAIN A COPY OF THE MASONRY CODE AND SPECIFICATIONS FOR REFERENCE AT THE JOBSITE.
- USE TYPE "S" MORTAR WITH MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS. MASONRY GROUTING TO BE PER ASTM C 476-83 AND ASTM C 270-89 AND A.C.I. 530.1-95
- MASONRY UNITS SHALL CONFORM TO ASTM C90 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI ON NET SECTION, TO PROVIDE NET AREA COMPRESSIVE STRENGTH OF (F_m) OF 1500 PSI.
- PROVIDE 3000 PSI READY MIX IN ALL FILLED CELLS.
- DOWEL COLUMN AND WALL REINFORCING TO FOOTING WITH SAME SIZE AND NUMBER OF DOWELS AS VERTICAL BARS ABOVE.
- REINFORCING FOR FILLED CELLS SHALL CONFORM TO ASTM A615, GRADE 60. PROVIDE THE FOLLOWING LAP SPLICES FOR REINFORCING (J.N.O)

#3 BARS	18"
#4 BARS	24"
#5 BARS	30"
#6 BARS	38"
- REINFORCING IN U-BLOCKS SHALL BE CONTINUOUS WITH LAPS AS REQUIRED. VERTICAL REINFORCING SHALL END IN STANDARD 90 DEGREE BEND.

STRUCTURAL STEEL NOTES:

- ALL STEEL SHALL BE A-36 (OR A992 AT CONTRACTOR'S OPTION) PER AISC. ALL STEEL SHALL BE GALVANIZED THAT WILL BE EXPOSED TO THE ENVIRONMENT, AND PAINTED PER AISC GUIDELINES ON OTHER APPLICATIONS.
- ALL ANGLES AND PLATES ARE TO BE A36.
- ALL BOLTS OR LAG SCREWS USED SHALL BE GR A307
- ALL WELDING SHALL BE PER AWS GUIDELINES. ONLY AN AWS CERTIFIED WELDER SHALL BE USED.
- ALL SIMPSON FASTENERS FOR ACQ TREATED LUMBER SHALL BE SIMPSON "ZMAX" OR "HDG" (HOT DIPPED GALVANIZED). THESE CONNECTORS REQUIRE FASTENERS GALVANIZED PER ASTM A153.
- WHEN INSTALLING STAINLESS STEEL CONNECTORS, ONLY STAINLESS STEEL FASTENERS SHALL BE USED (A304 OR A316 ONLY.)
- CONNECTORS ATTACHED TO WOOD WITH TREATMENT RETENTION LEVELS GREATER THAN 0.40 PCF FOR ACQ, 0.41 FOR CBA-A OR 0.21 PCF FOR CA-B (GROUND CONTACT RATE) ARE REQUIRED TO BE TYPE 304 OR 316 STAINLESS STEEL. PROVIDE STAINLESS FASTENERS WHEN USING STAINLESS CONNECTORS.

FILL & SOIL COMPACTION NOTES:

- FILL COMPACTION:

FILL SHALL BE CLEAN WELL GRADED SAND CLASSIFICATION SW PER ASTM D2487-89 (75) WITH LESS THAN 12% PASSING SIEVE, TO BE VERIFIED BY SIEVE ANALYSIS AND REVIEWED BY THE ENGINEER PRIOR TO DELIVERY TO THE JOB SITE. FILL MATERIAL SHALL BE PLACED IN LIFTS OF NOT MORE THAN 12" AND COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557-78). AT LEAST ONE DENSITY TEST SHALL BE MADE FOR 2500 SQ. FT. OF COMPACTED AREA. THE RESULTS OF PROCTOR TEST(S) AND FIELD DENSITY TEST(S) SHALL BE FURNISHED TO THE ENGINEER AND DESIGNER.
- EXISTING SOIL COMPACTION:

EXISTING SOIL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557-78) WITHIN A DISTANCE OF 5' BEYOND ALL BUILDING EDGES. AT LEAST ONE FIELD DENSITY TEST SHALL BE PERFORMED FOR EACH 2500 SQ FT OF AREA. DENSITY TESTS ARE TO BE MADE 12" BELOW THE COMPACTED SURFACE. RESULTS OF PROCTOR TEST(S) AND FIELD DENSITY TEST(S) SHALL BE FURNISHED BY THE ENGINEER.

DESIGN PARAMETERS:

CODE EDITION:	2018 IBC With SC Modifications
BUILDING DESIGN AS:	ENCLOSED
BASIC WIND SPEED:	150 MPH (ULTIMATE) - PER ASCE 7-16
RISK CATEGORY:	II
INTERNAL PRESSURE COEFF.:	+0.18
ROOF LIVE LOADS:	30 PSF
ROOF TOP CHORD DEAD LOAD:	15 PSF
FRAME FLOOR LIVE LOAD:	60 PSF
FRAME FLOOR DEAD LOAD:	25 PSF (SUPERIMPOSED)
a=	6'-0"
a: EDGE STRIP DEFINED AS THE LESSER OF 10% OF LEAST HORIZONTAL DIMENSION OF BUILDING OR 40% OF HEIGHT 'H' BUT NOT LESS THAN 4% OF LEAST HORIZONTAL DIMENSION OF BUILDING AND AT LEAST 3 FEET.	
WIND EXPOSURE:	"C" - PER ASCE 7-16
AVERAGE MEAN ROOF HEIGHT:	LESS THAN 30 FEET
IMPACT PROTECTION:	SHUTTERS OR IMPACT
SEISMIC DESIGN CATEGORY:	D
SITE CLASS:	D SDs = 1.11 SDI = 0.47
ALLOWABLE SOIL PRESSURE:	2,000 PSF
1. WOOD TRUSSES SHALL BE MANUFACTURED TO THE SIZE AND SHAPE AS INDICATED ON THE DRAWINGS.	
2. LIMIT FLOOR TRUSS DEFLECTION TO L/480	

- REINFORCING STEEL SHALL BE LAPPED 48 BAR DIAMETERS MINIMUM WHERE LAPPED AT BEAM CORNERS AND SHALL BE EITHER SEPARATED BY ONE BAR DIAMETER OR WIRDED TOGETHER. ALL OTHER CONDITIONS TO BE PER A.C.I. 318-02 AND CRSI MANUAL "REINFORCING BAR SPLICES" A.C.I. 530.1-95
- MINIMUM JOINT REINFORCING IS 2-W1/2 WIRES @ 16" O.C.
- PROVIDE PRECAST CONCRETE LINTELS (J.N.O.) AS REQUIRED PER MANUFACTURER RECOMMENDATIONS.
- BEAMS AND LINTELS SHALL HAVE 8" MINIMUM BEARING AT EACH END.
- CONCRETE TIE BEAM SIZES MAY BE INCREASED (8" MAXIMUM) AS REQUIRED FOR ARCHITECTURAL DETAILS OR TO FIT BLOCK COURSING. DROP BOTTOM OF THE BEAMS AS REQUIRED AT WINDOW AND DOOR BEAMS (28" MAXIMUM) AND ADD 2-#5 REBAR AT BOTTOM IF DROP EXCEEDS 8".
- PROVIDE A PRECAST OR FORM & POURED SILL AT EACH WINDOW OPENING WITH 1-#5 REBAR.
- PROVIDE GROUTED CELLS AT EACH BEARING POINT OF GIRDERS ON MASONRY WALLS, UNLESS NOTED OTHERWISE.
- LOCATION OF ALL POURED CONCRETE COLUMNS AND FILLED CELLS TO BE COORDINATED WITH MASONRY OPENING REQUIREMENTS. VERIFY LOCATIONS WITH DOOR AND WINDOW MANUFACTURER. FINAL MASONRY OPENINGS TO BE COORDINATED BY G.C. WITH WINDOW / DOOR MANUFACTURER.
- PLACE CONDUIT FOR ALL COLUMN MOUNTED LIGHTS PRIOR TO POURING COLUMNS.

STATEMENT OF SPECIAL INSPECTIONS:

THIS PROJECT WILL REQUIRE SPECIAL INSPECTIONS IN ACCORDANCE WITH CHAPTER 17 OF THE 2018 IBC With SC Modifications

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TIDEWATER

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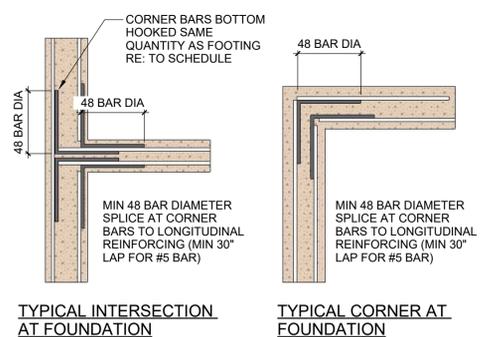
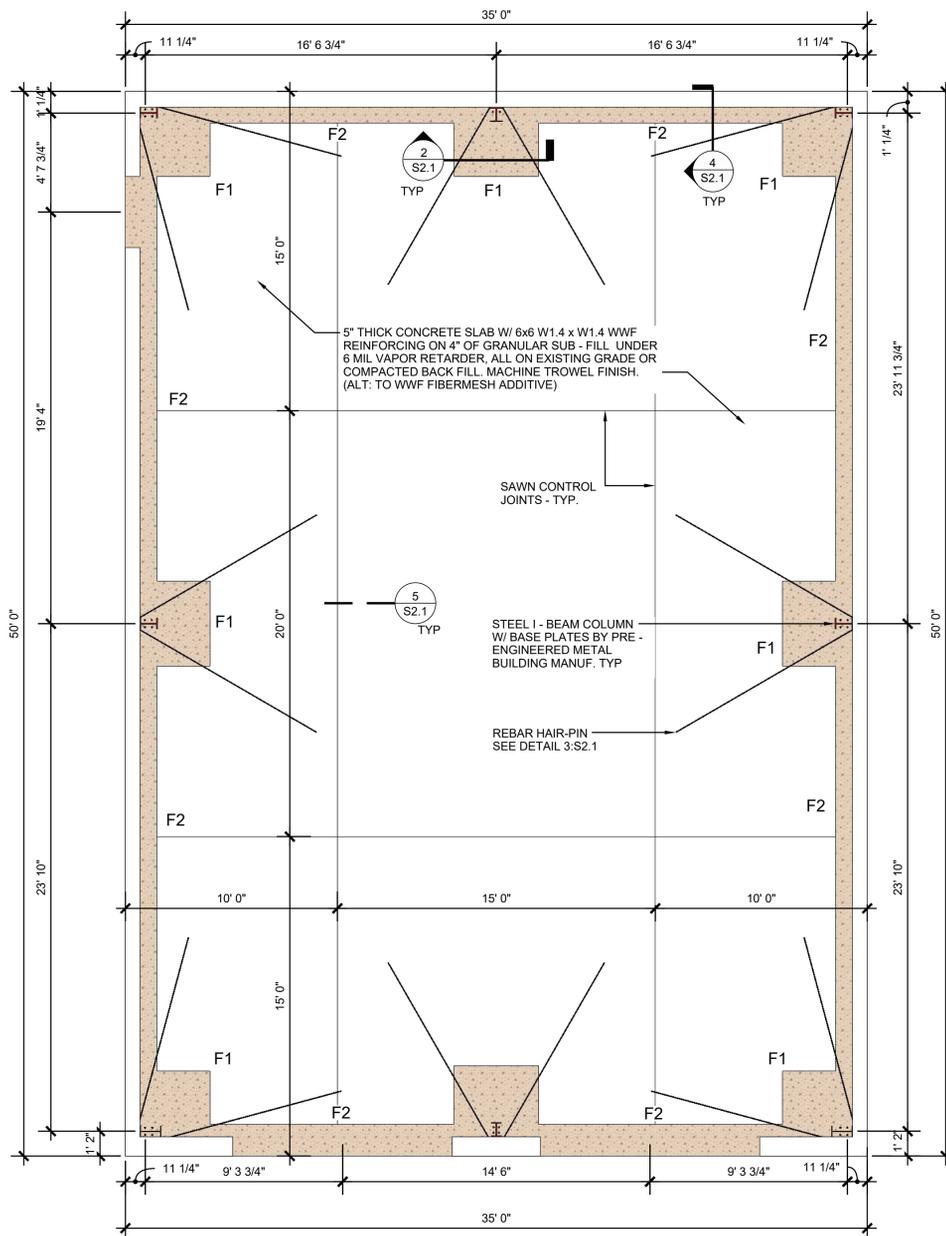
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Date:	5-5-20				
Drawn By:	TWA				
Checked By:	TWA				

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PLANS ARE FOR STRUCTURAL ENGINEERING PURPOSES ONLY.
 PLANS ARE TO BE USED AS A SUPPLEMENT TO THE
 ARCHITECTURAL DRAWINGS. VERIFY ALL DIMENSIONS WITH
 ARCHITECTURAL DRAWINGS. ARCHITECTURAL DIMENSIONS
 GOVERN OVER STRUCTURAL DIMENSIONS.

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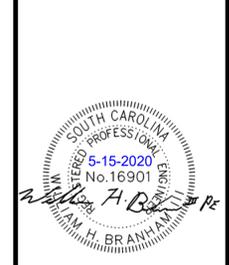
FOOTING SCHEDULE			
MARK	SIZE (W x D)	REINFORCING	TYPE
F1	48" x 48" x 18"	(8) #5 EACH WAY BTM	INTERGRATED PAD
F2	18" x 18"	(3) #5 BTM CONT	MONO FOOTING



1 FOUNDATION BAR LAPS
 NTS

Foundation Plan
 1/4" = 1'-0"

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 E-Mail: Info@TidewaterArch.com

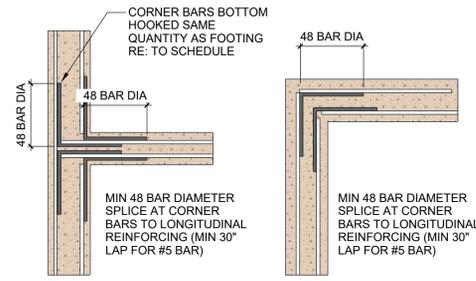


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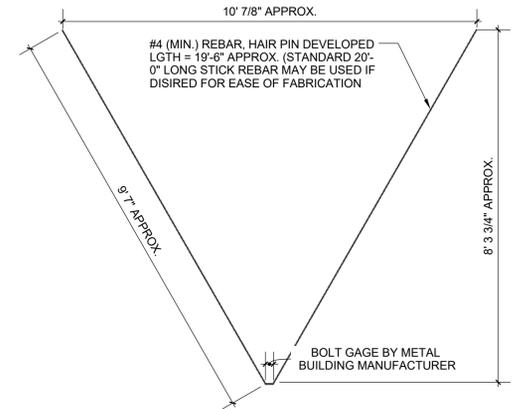
Project: Hoover Chrysler Dodge Jeep
 Overflow Service
 195 Marymeade Dr
 Summerville, SC 29483

Revisions	Project No:	Date:	Drawn By:	Checked By:
	TWA2013	5-5-20	TWA	TWA

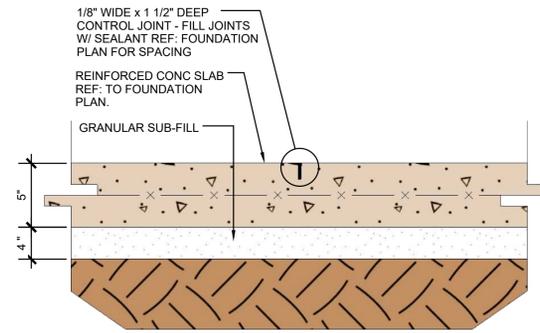
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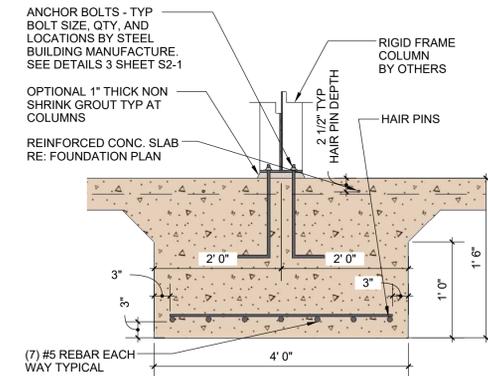
6 Foundation Bar Laps
NTS



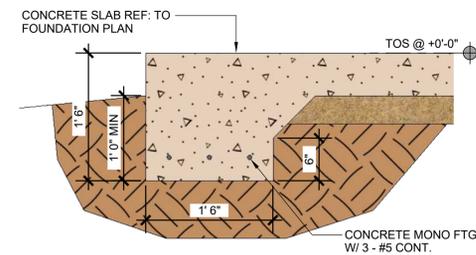
3 HAIR PIN DETAIL
3/4" = 1'-0"



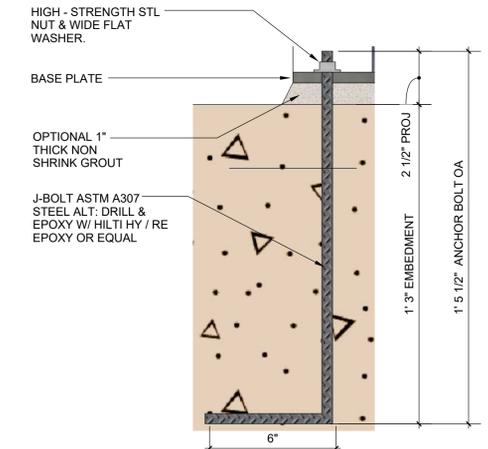
5 CONTROL JOINT DETAIL
NTS



2 FOOTING DETAIL
NTS



4 FOOTING DETAIL
NTS



1 ANCHOR BOLT DETAIL
3/4" = 1'-0"

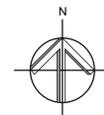


Seals:

Project: **Hoover Chrysler Dodge Jeep**
Overflow Service

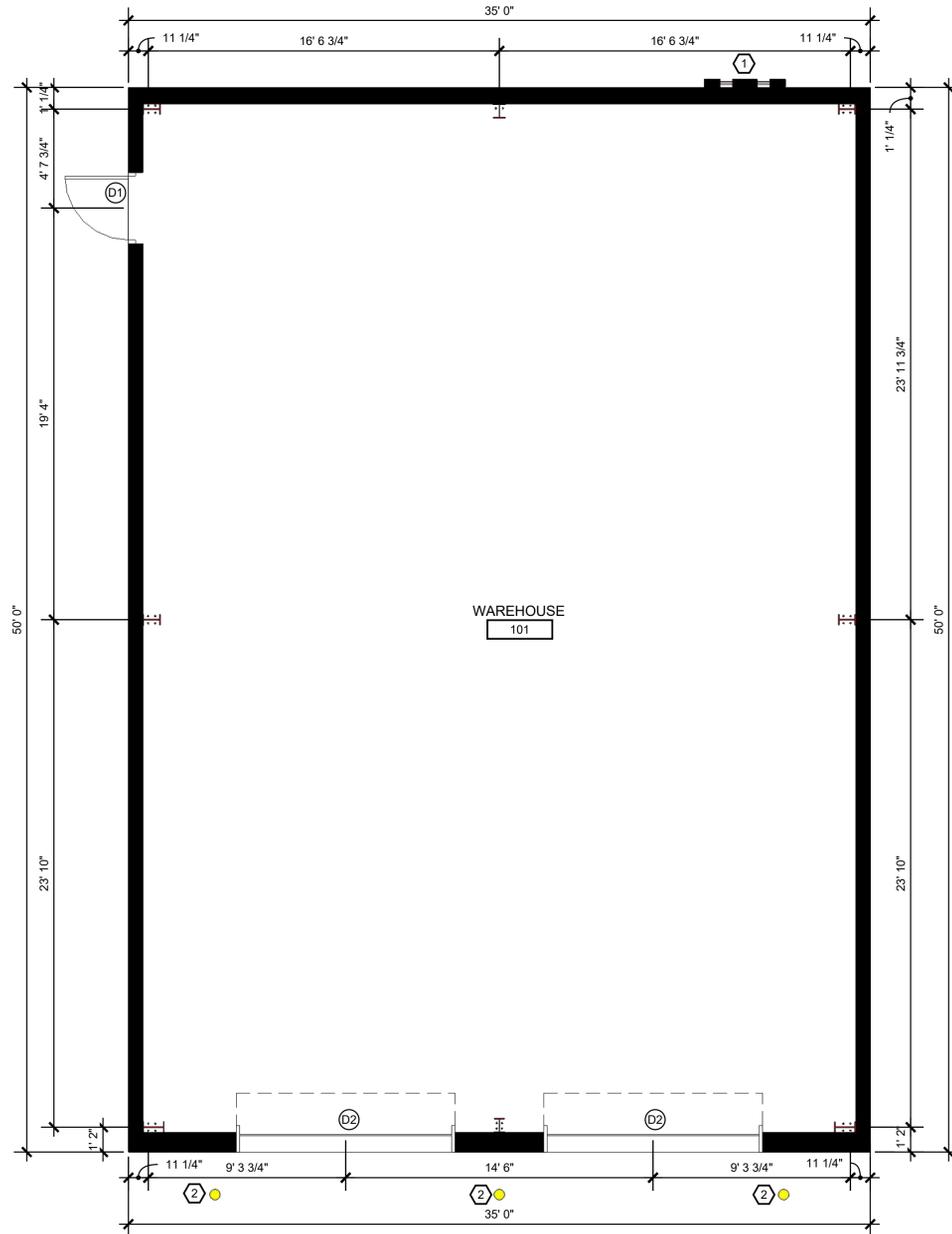
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Summerville, SC 29483

Revisions	Revisions
Project No: TWA2013	
Date: 5-5-20	
Drawn By: TWA	
Checked By: TWA	



First Floor Plan

1/4" = 1'-0"



NOTE:

EXISTING RESTROOM WITHIN 50FT OF BUILDING

KEY NOTES:

1. ELECTRICAL SERVICE ENTRANCE
2. STEEL BOLLARD

PLAN NOTES:

1. CONTRACTORS TO VERIFY ALL FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
2. ALL DIMENSIONS ARE FROM FACE OF STUD OR FACE OF BLOCK UNLESS NOTED OTHERWISE.
3. ALL ANGLES TO BE 45 DEG UNLESS NOTED OTHERWISE.
4. COORDINATE WITH THE OWNER FOR INSTALLATION OF INTERIOR SIGNAGE
5. PROVIDE SOLID WOOD BACKING FOR ALL WALLS TO RECEIVE COUNTERS, CABINETS, DOOR STOPS, SINKS, TOILET ACCESSORIES, CHAIR RAILS, AND OTHER RELATED INSTALLATIONS.
6. ALL DRYWALL OUTSIDE CORNERS TO BE SQUARE, INSIDE CORNERS TO BE SQUARE.
7. INTERIOR NON-BEARING PARTITIONS TO BE 2x WOOD OR METAL STUDS (22ga) @ 16" O.C. MAX WITH 5/8" GYPSUM WALLBOARD BOTH SIDES.
8. ALL WOOD OR METAL STUDS, CEILING FURRING AND EXTERIOR WALL FURRING TO BE CUT AND / OR SHIMMED AS NECESSARY TO PROVIDE A PLUMB, TRUE LEVEL SURFACES.
9. ALL PIPE PENETRATIONS THROUGH RATED PARTITIONS MUST MEET UL APPROVED STANDARDS - SUBMIT SYSTEM TO ARCHITECT FOR APPROVAL.



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Seals:

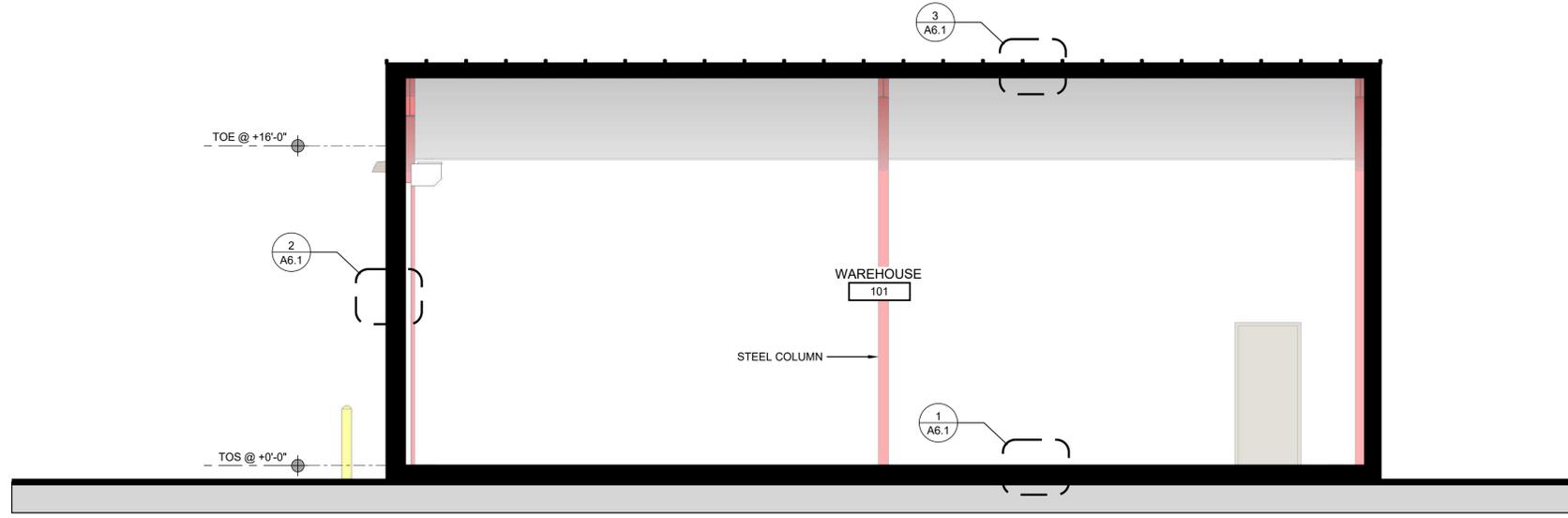
Hoover Chrysler Dodge Jeep
Overflow Service

Project:
195 Marymeade Dr
Summerville, SC 29483

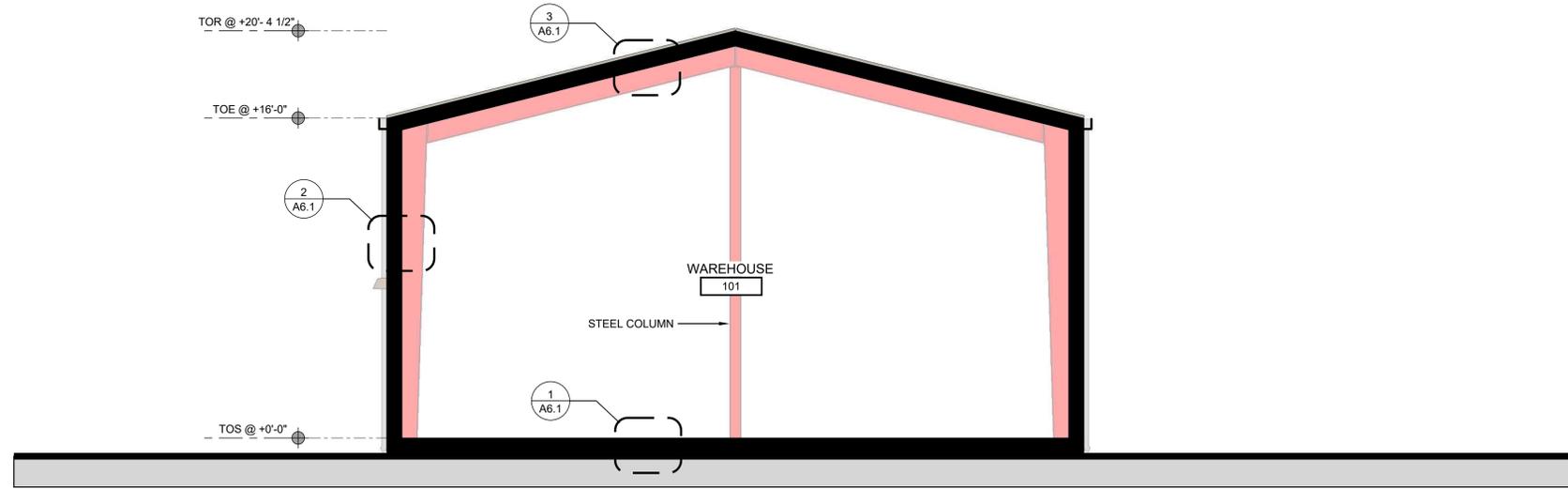
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2 Cross Section 'B'
1/4" = 1'-0"



1 Cross Section 'A'
1/4" = 1'-0"

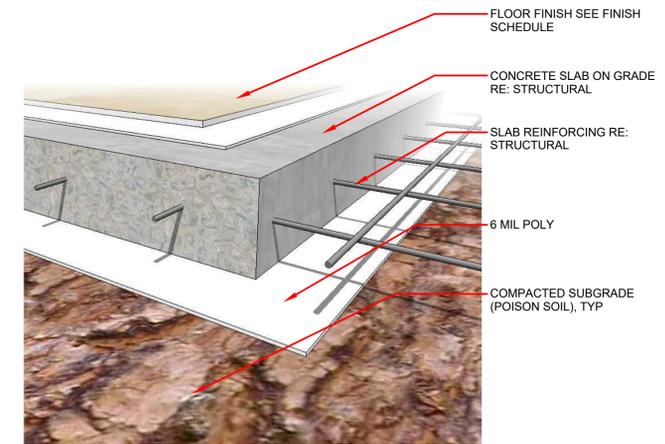


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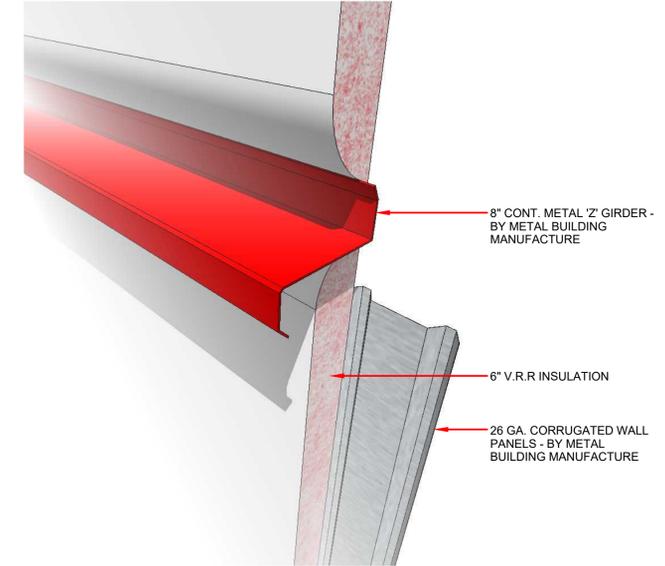
Project:
Hoover Chrysler Dodge Jeep
Overflow Service

195 Marymeade Dr
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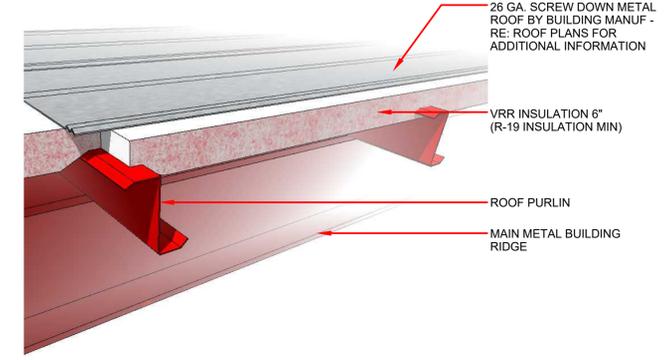
Cross Section A,B	Project No:	TWA2013	Revisions	-	-	-	-	-	-
	Date:	5-5-20		-	-	-	-	-	-
Drawn By:	TWA								
Checked By:	TWA								



1 Typical Slab On Grade
NTS



2 Exterior Metal Building Wall
NTS



AS PER ASHRAE 90.1-2007 TABLE 5.5-3

3 Typical Metal Building Roof
NTS

A6.1

Wall Sections
 Project No: TWA2013
 Date: 5-5-20
 Drawn By: TWA
 Checked By: TWA

Revisions	
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Project:
Hoover Chrysler Dodge Jeep
 Overflow Service
 195 Marymeade Dr
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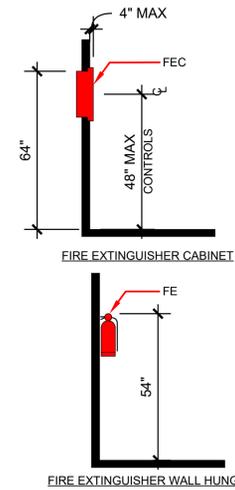
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MOUNTING HEIGHT NOTES:

1. MOUNTING HEIGHTS INDICATED ABOVE ARE BASED UPON TOILET ACCESSORIES SUPPLIED BY BOBRICK WASHROOM EQUIPMENT, INC. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE MOUNTING HEIGHTS OF TOILET ACCESSORIES SUPPLIED BY OTHER MANUFACTURERS.
2. MOUNTING HEIGHT DRAWING INDICATES A ONE PIECE GRAB BAR. GRAB BAR MAY BE A ONE PIECE OR A TWO PIECE GRAB BAR. REFER TO SPECIFICATIONS FOR SPECIFIC TYPE OF GRAB BAR TO BE USED.
3. HDCP = HANDICAPPED
4. COORDINATE HEIGHT OF GRAB BAR WITH TANK OF FLOOR MOUNTED WATER CLOSETS OR FLUSH VALVE OF WALL MOUNTED WATER CLOSETS.
5. LOCATE SOAP DISPENSERS BETWEEN LAVS WHEN A HANDICAPPED MIRROR IS USED ABOVE THE LAV.
6. MOUNTING BACKING TO BE INSTALLED IN ALL INTERIOR FRAMING AND PRECAST MODULAR WALL SYSTEMS AS REQUIRED BY MANUFACTURER OF MODULAR WALL SYSTEM DURING MANUFACTURING AND CONSTRUCTION.
7. MIRRORS IN ADA STALLS OR TOILET ROOMS TO BE FIXED TILTED BOBRICK #293 OR APPROVED EQUAL.



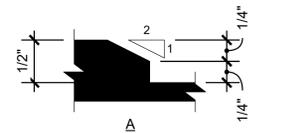
ABBREVIATION LEDGEND:
 FEC - FIRE EXTINGUISHER CABINET
 FE - FIRE EXTINGUISHER WALL HUNG

2 Fire Extinguishers

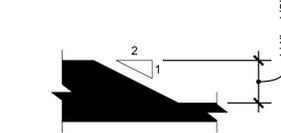
NTS



VERTICAL CHANGE IN LEVEL



BEVELED CHANGE IN LEVEL



1 Changes In Level

NTS



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Project No:	TWA2013		
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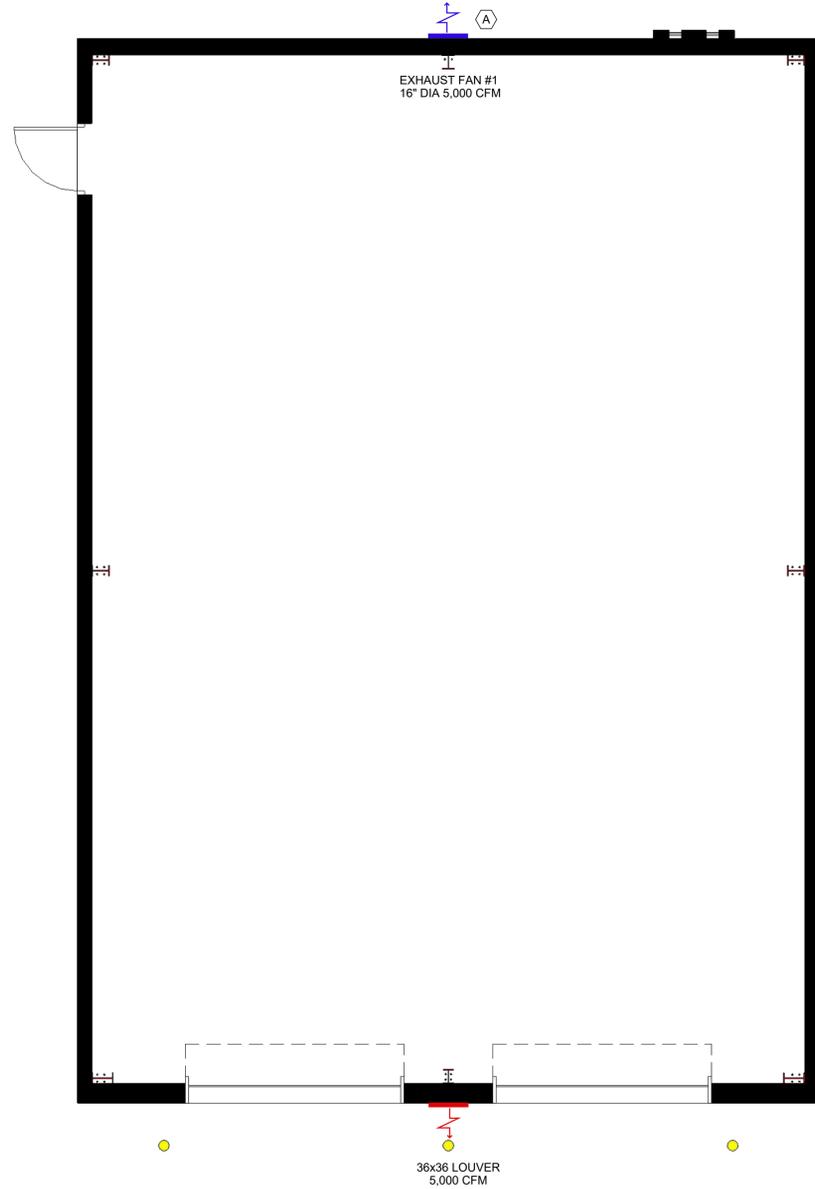
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Mechanical Plan

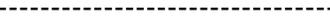
1/16" = 1'-0"



MECHANICAL KEY NOTES:

A) EXHAUST FAN MODEL # AM16.
 DESIGN PROVIDED BY BY:
 AIRMAX INDUSTRIAL EXHAUST FANS
 Phone: 843-667-9055
 1826 Trade St. Florence, SC 29501 POB 5536
 Florence, SC 29502

MECHANICAL LEGEND:

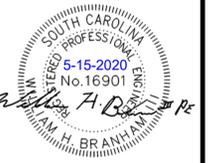
- CEILING MOUNTED AIR HANDLER 
- RETURN REGISTER 
- SUPPLY REGISTER 
- SUPPLY REGISTER 
- FIRE DAMPER 
- DUCT SMOKE DETECTOR 
- EXHAUST FAN / WALL RETURN 
- WALL LOUVER / WALL SUPPLY REGISTER 
- FLEX DUCT 
- SUPPLY 
- RETURN 
- THERMOSTAT 
- DRYER VENT 

ENTIRE MECHANICAL SYSTEM IS A "DESIGN-BUILD" SYSTEM. THESE DOCUMENTS ARE FOR BASIC SCOPE AND COORDINATION ONLY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING EXACT DUCT SIZES AND ROUTING PRIOR TO CONSTRUCTION WITH SPECIFIC CONSIDERATION OF OTHER SYSTEMS, INCLUDING BUT NOT LIMITED TO; STRUCTURAL, PLUMBING, ELECTRICAL AND ARCHITECTURAL FINISHES.



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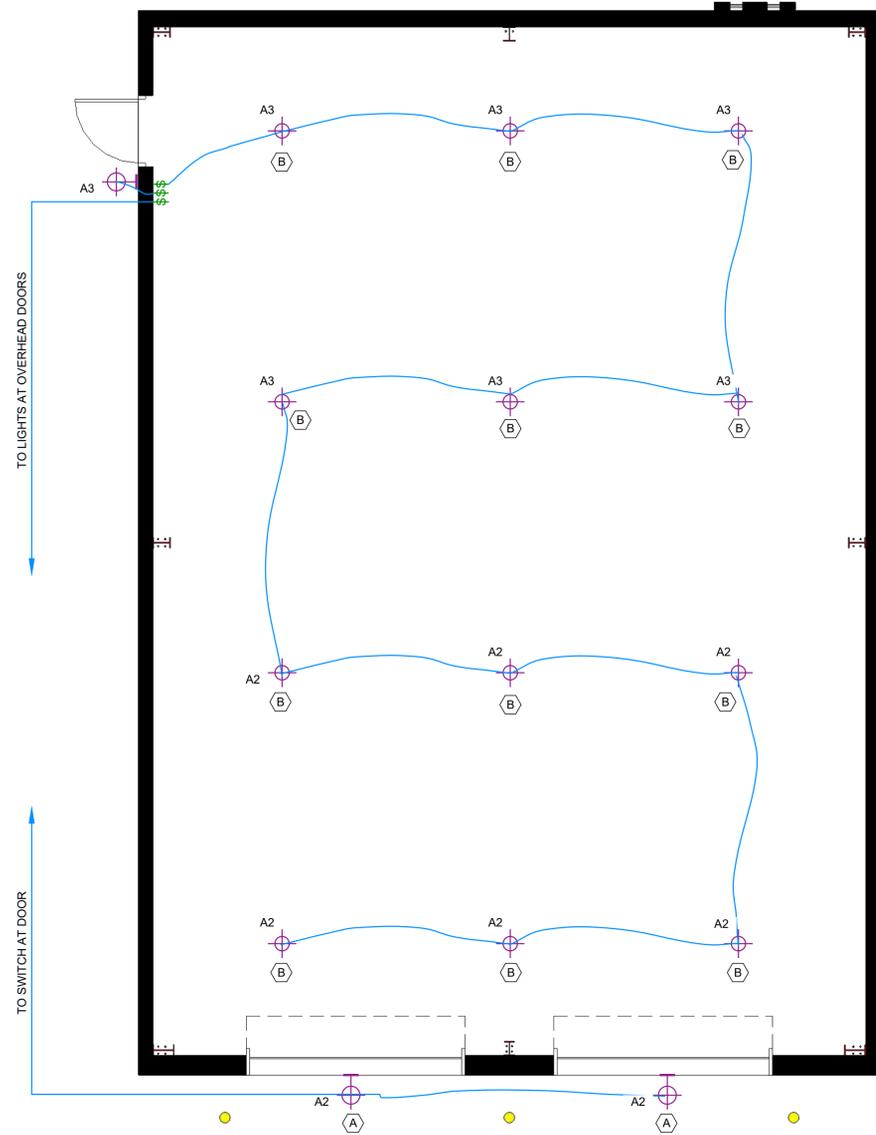
Mechanical Plan	
Project No:	TWA2013
Date:	5-5-20
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Revisions	
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Lighting Plan

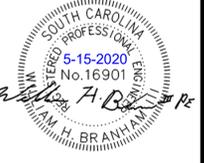


NOTE:
ELECTRICAL CONTRACTOR TO INSTALL
A U.L. LISTED DIRECT BURIAL CLAMP
(OE-01-DB) ONTO CONTINUOUS FOOTING
STEEL WITH #4 COPPER GROUND.

LIGHTING FIXTURE SCHEDULE			
TYPE	DESCRIPTION	MANUFACTURE	MODEL NUMBER
A	LIGHTING ABOVE OH DOORS	TBD	TBD
B	HIGHBAY LIGHTING	TBD	TBD



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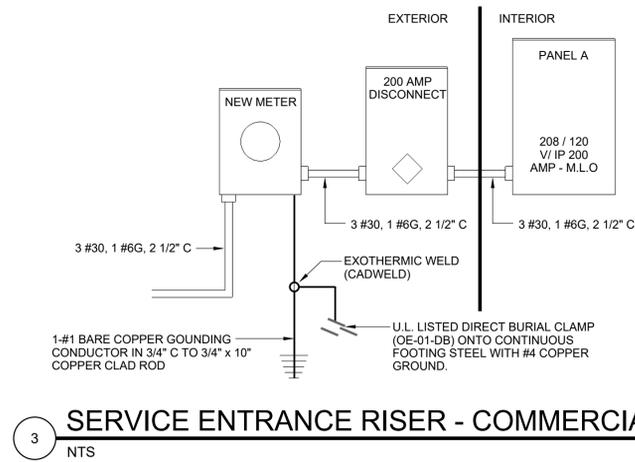
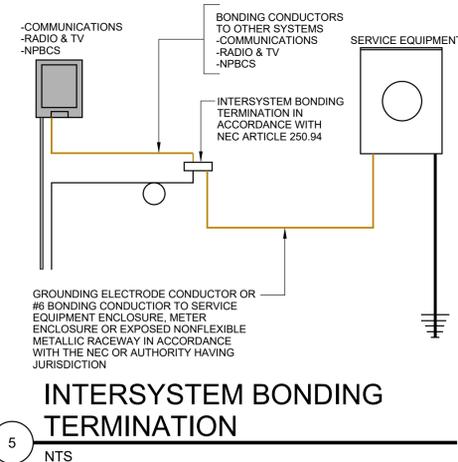
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Overflow Service

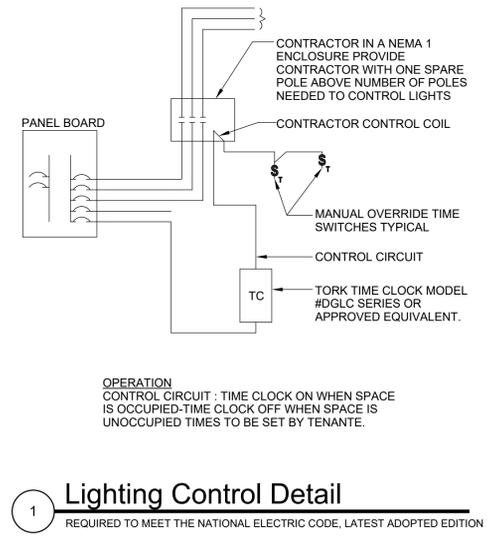
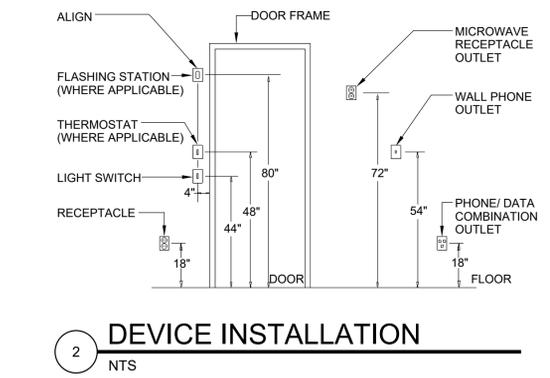
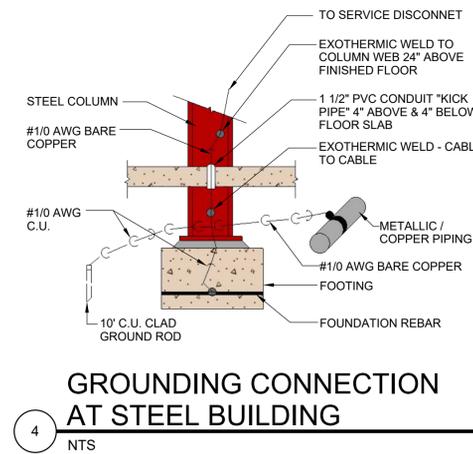
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Lighting Plan	Project No:	Date:	Revisions	Drawn By:	Checked By:
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			-		
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			-		

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NOTE:
ALL BONDING AND GROUNDING SHALL MEET REQUIREMENTS OF NEC ARTICLE 250 PROVIDE MAIN BONDING JUMBER IAW NEC ARTICLE 250



Project: Hoover Chrysler Dodge Jeep Overflow Service
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Electrical Details

Project No:	TWA2013
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