



**TOWN OF SUMMERVILLE  
BOARD OF ARCHITECTURAL REVIEW – AGENDA  
Summerville Municipal Complex  
Annex Building 2<sup>nd</sup> Floor Training Room  
March 3<sup>rd</sup>, 2020 at 6:00 P.M.**

**(ALL APPLICANTS ARE REQUIRED TO PRESENT THEIR INDIVIDUAL REQUEST)**

*For additional information regarding this meeting please contact the Planning Department at 843.851.4214. All related documents for this meeting are available for review at the Planning Department during regular business hours, Monday-Friday, 8:30 – 5:00 excluding Town of Summerville holidays and on the website [www.summervillesc.gov](http://www.summervillesc.gov)*

**Approval of Minutes:**

1. February 4<sup>th</sup>, 2020 Meeting Minutes

**Old Business:**

1. **206 Central Avenue-** Demolition of existing fellowship hall, new construction of fellowship hall/offices for St. Luke's church
2. **133 S. Main Street-** Mural on existing business

**New Business:**

1. **304 S. Main Street-** Kitchen addition and renovation at existing single-family residence
2. **213 W. Carolina Avenue-** Demolition of existing fire damaged residence, new construction of single-family residence

**Miscellaneous:**

1. N/A

**Adjourn:**

**Agenda Posted:**

**Board of Architectural Review Minutes**  
**Tuesday February 4<sup>th</sup>, 2020**  
**Town Hall Annex Building– Training Room**

**Members Present:**

Phil Dixon, Chairman  
David Price, Vice Chairman  
Jeff Bowers  
Rachel Burton  
Cecile Cothran

**Staff Present:**

Becca Zimmerman, Planner II

**Members Absent:**

Beth Huggins  
Tim Kennedy

Items on the agenda:

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**Old Business:**

1. 108 E. Richland Street

**New Business:**

1. 106 Congress Street

**Miscellaneous:**

1. Election of Officers
- 

Chairman Dixon opened the meeting at 6:00 pm and asked for consideration of the minutes from the January 7th, 2020 regularly scheduled meeting. Dr. Price moved to approve the amended minutes; Ms. Cothran seconded the motion. The board unanimously approved the minutes.

**Old Business:**

1. 108 E. Richland Street- Ms. Jacobs presented the revised proposal for a detached garage on her property. She explained that the new plan was more in line with the existing home, and rather than being two-story, this garage would only be one story. Mr. Bowers asked if the colors and materials for the garage would match the existing home; Ms. Jacobs confirmed they would. Ms. Cothran asked if the rooflines of the house and garage would line up, Ms. Jacobs confirmed they would. Ms. Burton asked for clarification on exactly how the roof lines would match, and Ms. Jacobs demonstrated with the pictures provided where the proposed garage roofline would be in relation to the existing home. Mr. Bowers stated that the windows shown on the proposed plans were different than the windows on the existing home. Ms. Jacobs explained that the contractor they would be using would match the windows to the existing home. Ms. Zimmerman stated that there were two front elevations shown with two different styles of garage doors. Ms. Jacobs clarified that they would be using the barn-style doors shown on the second elevation. Ms. Burton inquired about the windows displayed on the left elevation of the garage. She advised that because the windows on the existing home were narrower, that they make the windows shown narrower. Chairman Dixon stated that because the windows on the home were two over two, that the windows on the garage should as well. Ms. Burton commented that the existing windows on the home had trim below the sill,

and asked that this detail be matched in the windows on the garage. Ms. Burton thanked the applicants for taking the board's previous comments into consideration for their revised proposal. Ms. Zimmerman read an email from Mr. Limehouse of a neighboring property stating his support for the proposed project. Mr. Bowers moved that the board approve the proposed project with the condition that the windows, colors, and trim would match the existing home. Ms. Burton seconded the motion; the motion passed unanimously.

**New Business:**

1. 106 Congress Street- Ms. Ross explained her conceptual plan for a new single-family residence, which would be based on a home she has already built, but with a detached garage. She detailed that windows would replace the garage façade. Mr. Bowers asked how big the garage would be, Ms. Ross answered that it would be 20'x25' and would most likely have the same ridge height as the home. Mr. Bowers asked where the home plan was built, and Ms. Ross answered that it is in Newington Plantation. Ms. Ross stated she would not be using the stone detail shown, but most likely a white, HardiPlank, and that she would also be extending the rear porch from the previous plan. Ms. Cothran stated that the board would like to see details on the materials to be used for the home construction. Ms. Burton explained that she liked the idea of the home presented but needed plans to provide more feedback and more details to approve the house other than conceptually. Ms. Ross explained that she wanted to get an idea that the board was in approval of the general style of the house before she purchased plans. Mr. Bowers stated he believed that the home would look good on Congress Street. Ms. Cothran agreed, noting that she was in approval of the style, especially with the clarification that Ms. Ross would not be using stone. Dr. Price asked for clarification on the front porch depth, Ms. Ross was not sure of the exact measurement, but that she would prefer to do an 8' or 7' front porch. Ms. Zimmerman read an email from Mr. Limehouse, who wanted to voice his support of Ms. Ross' proposed new construction. Mr. Bowers moved to give conceptual approval to the project. Ms. Cothran seconded the motion; the motion passed unanimously.

**Miscellaneous:**

1. Election of Officers – Ms. Burton motioned that the board keeps Chairman Dixon and Vice-Chairman Price in their current roles. Mr. Bowers seconded the motion; the motion passed unanimously.

**Adjourn:**

Mr. Bowers motioned to adjourn; Ms. Cothran seconded the motion. Chairman Dixon adjourned the meeting at 6:30 pm.

Respectfully Submitted,

Becca Zimmerman, Planner II

Date: \_\_\_\_\_

Approved: Philip G. Dixon PE, CFM, Chairman \_\_\_\_\_ Or,  
Dr. David Price, Vice Chairman



**STAFF REPORT  
BAR Meeting  
March 3<sup>rd</sup>, 2020**

**To:** Town of Summerville BAR  
**From:** Becca Zimmerman, Planner II  
**Date:** 2/13/19

**GENERAL INFORMATION**

**Property Applicant:** Goff D'Antonio Associates

**Owner:** St. Luke's Lutheran Church

**Requested Action:** Final Approval

**Existing Zoning/Land Use:** GR-5, Commercial

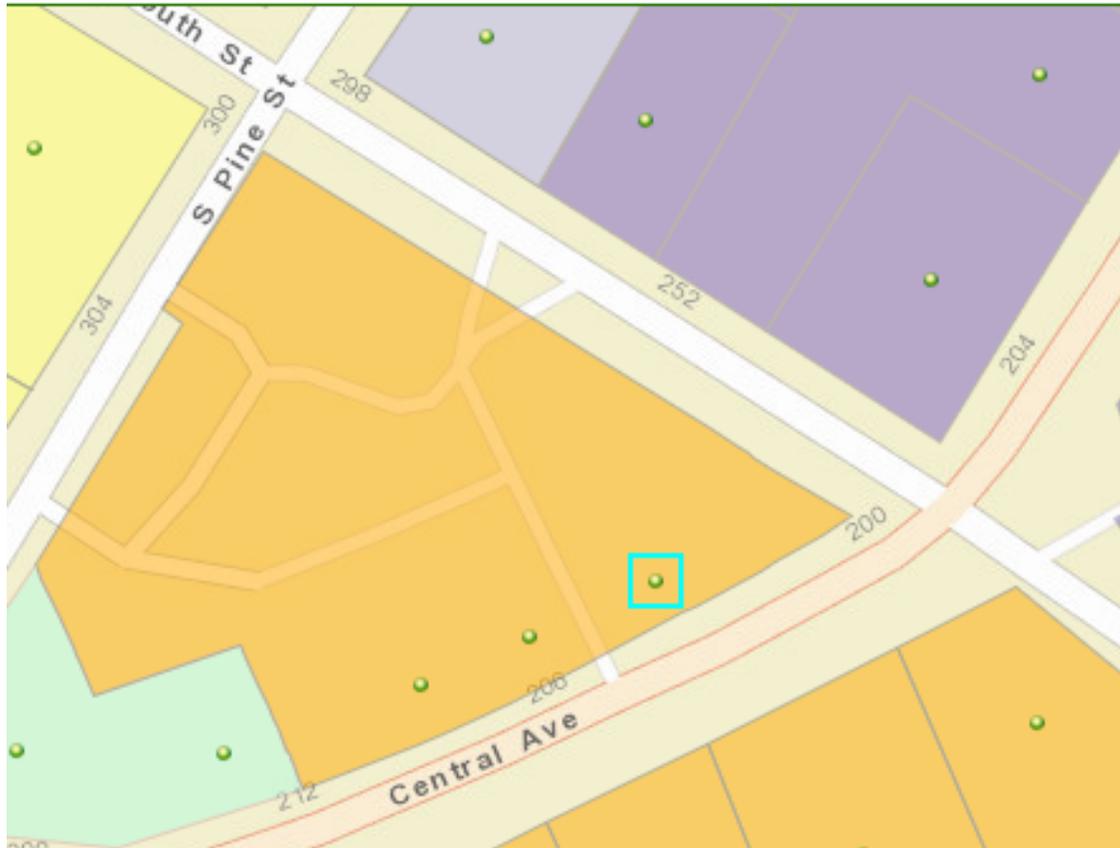
**Location:** 206 Central Avenue

**Building Rating:** #1 Outstanding

**Proposed Alterations:** Demolition of existing fellowship hall, new construction of fellowship hall/offices for St. Luke's church

**Guideline Citation:** **2. Procedures:** 2.5 Demolition - *Conditions #1 & #4*  
**3. Design Guidelines:** 5.12 Universal Guidelines for Demolition - *Guideline 38. Demolition of Historic Properties*, 5.7 Universal Guidelines for Site Design - *Guideline 18. Walkways, Driveways and Parking Lots*, 5.10 Universal Guidelines for New Construction – *Guidelines 29, 31, 32, 33 & 34*

**Evaluation:** The original chapel was built in 1893. Additional buildings were built from the late 1960s to 1990s. The proposed building is consistent with the architectural style of the existing structures. This project went before the Board of Zoning appeals and received a variance approval for height (from 20ft to 45ft) and impervious lot coverage (from 35% to 56.8%).



## Location Information

This property is in the Town of Summerville.

This property is in the Historic District

TMS: 137-06-09-002.000

Owner: CHURCH-ST LUKE EVANGELICAL  
LUTHERAN

Second  
Owner:

Zoning: GR-5

Address: 206 CENTRAL AVE

Subdivision:

County: Dorchester

Council District: 2

Representative: Christine Czarnik

1. DCCO - Home of Hope/Hope's House

2. Summerville Church of God

3. St. Luke's - Sanctuary

4. St. Luke's - Parish Building

5. St. Luke's - Educational Building

6. Church of the Epiphany

7. Timrod Library of Summerville

8. Bethany United Methodist Church

9. St. Luke's Former Sanctuary

10. St. Luke's - Fellowship Hall -

(To be Demolished)

11. Residential Property

12. Davenport Properties

13. Residential Property

14. Residential Property

15. First Capital Bank

16. Central Ave.



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## St. Luke's Lutheran Church

Fellowship Hall Replacement & Building  
206 Central Ave, Summerville, SC 29483



1. DCCO - Home of Hope/Hope's House



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16. Central Ave.



# St. Luke's Lutheran Church

Fellowship Hall Replacement & Building  
206 Central Ave, Summerville, SC 29483

**PROJECT PHASE**  
 CONTRACT DOCUMENTS -  
 BAR FINAL PRESENTATION



**St. Luke's Family  
 Life Center**



Architecture  
 Interiors  
 Planning  
 34 Radcliffe Street  
 Charleston, SC 29403  
 843.577.2163  
 www.goffdantonio.com

CONSTRUCTION DOCUMENTS - BAR FINAL PRESENTATION

REV.	DESCRIPTION	DATE

*[Handwritten signature]*

*[Handwritten signature]*

*[Handwritten signature]*

SHEET TITLE  
**COVER**

DRAWN BY: BH	PROJ. COOR.: DH
PROJ. NUMBER:	19026.00
ISSUE DATE:	2-12-2020
DRAWING NO.	

**A000**

Civil:

**Cypress Engineering**  
 100 South Main Street,  
 Ste L  
 Summerville, SC 29483  
 843-225-5151  
 www.cypresseng.com

Landscape:

**Cypress Engineering**  
 100 South Main Street,  
 Ste L  
 Summerville, SC 29483  
 843-225-5151  
 www.cypresseng.com

Architect:

**Goff D'Antonio Associates**  
 34 Radcliffe Street  
 Charleston, SC 29403  
 fax: 843.577.9754  
 ph: 843.577.2163  
 www.goffdantonio.com

Structural:

**R-K Engineers**  
 1941 Savage Road  
 Charleston, SC 29407  
 843-573-2150

PME:

**Saber Engineering**  
 2923 South Tryon  
 Street, Ste 280  
 Charlotte, NC 28203  
 704-373-0068



**PROJECT:** ST. LUKE'S LUTHERAN CHURCH

DATE: 31 JAN 20  
 PROJECT PHASE: CONTRACT DOCUMENTS

OWNER/CONTACT: DOUG BURGREN, B.D.G. COMMITTEE CHAIR  
 TELEPHONE: 843-209-6422

**ADMINISTRATION:**

BUILDING OFFICIAL: RICHARD PALMER, CHIEF BUILDING OFFICIAL  
 LOCATION: TOWN OF SUMMERVILLE  
 TELEPHONE: 843-951-4229

**PROJECT DESIGNED IN ACCORDANCE WITH:**

INTERNATIONAL BUILDING CODE: 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS  
 INTERNATIONAL MECHANICAL CODE: 2018 EDITION  
 INTERNATIONAL PLUMBING CODE: 2018 EDITION  
 INTERNATIONAL FIRE CODE: 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS  
 INTERNATIONAL FUEL GAS CODE: 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS  
 INTERNATIONAL ENERGY CONSERVATION CODE: 2009 EDITION  
 NATIONAL ELECTRICAL CODE: 2017 EDITION  
 ICC/ANSI A117.1: 2017 EDITION

**ARCHITECT/ ENGINEER OF RECORD**

ARCHITECT / ENGINEER	FIRM NAME	LICENSE #	TELEPHONE #
ARCHITECT	GOFF D'ANTONIO ASSOCIATES	C 92002	843.577.2163
ELECTRICAL	SABER ENGINEERING	2383	704.373.0068
PLUMBING	SABER ENGINEERING	2383	704.373.0068
MECHANICAL	SABER ENGINEERING	2383	704.373.0068
STRUCTURAL	RE ENGINEERS	14657	843.573.2150
SPRINKLER - STANDPIPE	SABER ENGINEERING	x	x
FIRE ALARM	SABER ENGINEERING	x	x
CIVIL	CYPRESS ENGINEERING	4755	843.225.5151
LANDSCAPE	CYPRESS ENGINEERING	4755	843.225.5151
BUILDING ENVELOPE	RE ENGINEERS	1906	843.225.6272

**CODE REVIEW INFORMATION (ALL CHAPTER AND TABLE NUMBERS REFER TO IBC 2018):**

**CONSTRUCTION TYPE (CHAPTER 6)**

TYPE:  I-A  I-B  II-A  III-B  IV-HT  V-A  V-B

SPRINKLERED:  YES  NO  PARTIAL  NFPA 13  NFPA 13R

**OCCUPANCY CLASSIFICATION (CHAPTER 3)**

ASSEMBLY:  A-1  A-2  A-3  A-4  A-5 INSTITUTIONAL:  I-1  I-2  I-3  I-4

BUSINESS:  B CONDITION:  1  2  3  4  5

EDUCATIONAL:  E MERCANTILE:  M

FACTORY & INDUSTRIAL:  F-1  F-2 RESIDENTIAL:  R-1  R-2  R-3  R-4

HIGH HAZARD:  H-1  H-2  H-3  H-4  H-5 UTILITY & MISC.:  U

STORAGE:  S-1  S-2

S-1 SPECIAL CONDITION:  REPAIR GARAGE (406.8)  
 S-2 SPECIAL CONDITION - PARKING GARAGES:  OPEN (406.5)  ENCLOSED (406.6)

**SPECIAL OCCUPANCY (CHAPTER 4)**

402  403  404  405  406  407  408  409  410  411  412  413  414  415  416  
 417  418  419  420  421  422  423  424  425  426  427  428  NONE

see chapter 4 for special occupancies such as section 403 high-rise buildings or section 404 atriums, if the project has a special occupancy, list specific code requirements here.

**ALLOWABLE HEIGHT AND BUILDING AREAS (TABLES 504.3, 504.4, 506.2)**

OCCUPANCY	TYPE CONSTR.	MAXIMUM HEIGHT (FT.)			MAXIMUM STORIES ALLOWED			MAX. AREA ALLOWED (SF)		
		A	A'	P*	A	A'	P	A	A'	P
A-3	V-B	60	N/A	42'-1"	2	N/A	2	24K(S1)	N/A	6,353
B	V-B	60	N/A	42'-1"	3	N/A	2	36K(S1)	N/A	7,791

A = ALLOWABLE HEIGHT/AREA PER TABLE 504.3  
 A' = ALLOWABLE HEIGHT W/ HEIGHT MODIFICATION  
 A'' = ALLOWABLE AREA W/ APPLICABLE AREA MODIFICATION  
 P\* = PROVIDED HEIGHT/AREA  
 P = HEIGHT VARIES DUE TO GRADE CHANGES PER BUILDING-SEE CIVIL

A<sub>0</sub> = TABULAR ALLOWABLE AREA FACTOR (506.2)  
 A<sub>1</sub> = TABULAR ALLOWABLE AREA FACTOR (506.2) (NONSPRINKLERED BUILDING)  
 NS = TABULAR ALLOWABLE AREA FACTOR (506.2) (NONSPRINKLERED BUILDING)  
 I<sub>1</sub> = AREA FACTOR INCREASE (506.3)

S<sub>1</sub> = ACTUAL NUMBER OF BUILDING STORIES ABOVE GRADE PLANE  
 W = CALCULATED WIDTH OF PUBLIC WAY  
 F = BUILDING PERIMETER THAT FRONTS ON A PUBLIC WAY HAVING A WIDTH OF 20FT OR MORE  
 P = PERIMETER OF ENTIRE BUILDING (FT)

AREA MODIFICATION:  REQUIRED  NOT REQUIRED

SECTION 506.2.1 (EQUATION 5-1): A<sub>0</sub> = A<sub>1</sub> \* (NS x I<sub>1</sub>)  
 SECTION 506.2.3 (EQUATION 5-2): A<sub>0</sub> = [A<sub>1</sub> + (NS x I<sub>1</sub>)] x S<sub>1</sub>  
 SECTION 506.2.4 (EQUATION 5-3): A<sub>0</sub> = [A<sub>1</sub> + (NS x I<sub>1</sub>)]  
 SECTION 506.3.3 (EQUATION 5-4): I<sub>1</sub> = [F/P - .25]W/30

**MIXED USE AND OCCUPANCY (SECTION 508)**

NONSEPERATED OCCUPANCIES (508.3)  SEPERATED OCCUPANCIES (TABLE 508.4)

**REQUIRED SEPARATION OF OCCUPANCIES (HOURS)(TABLE 508.4)**

OCCUPANCY	OCCUPANCY	REQUIRED	PROVIDED
N/A	N/A	N/A	N/A
-	-	-	-

**INCIDENTAL USES (TABLE 509)**

ROOM OR AREA	REQUIRED SEPARATION AND/OR PROTECTION	PROVIDED
N/A	N/A	N/A
-	-	-

**FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) (TABLE 601)**

BUILDING ELEMENT	CONSTRUCTION TYPE		FIRE RATED ASSEMBLY #
	REQUIRED	PROVIDED	
PRIMARY STRUCTURAL FRAME	0	0	N/A
BEARING WALLS			
EXTERIOR	0	0	N/A
INTERIOR	0	0	N/A
NONBEARING WALLS AND PARTITIONS			
EXTERIOR	FROM TABLE 602: 0	FROM TABLE 602: 0	N/A
INTERIOR	0	0	N/A
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	0	0	N/A
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	0	0	N/A

**FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALL BASED ON FIRE SEPARATION DISTANCE (HOURS) (TABLE 602)**

FIRE SEPARATION DISTANCE (FT)	TYPE OF CONST.	OCCUPANCY GROUP	REQUIRED RATING FOR EACH WALL			
			NORTH	SOUTH	EAST	WEST
< 5	-	-	-	-	-	-
5 <= X < 10	-	-	-	-	-	-
10 <= X < 30	-	-	-	-	-	-
>= 30	V-B	A-3 & B	0	0	0	0

**FIRE-RESISTANCE RATING OF STRUCTURAL MEMBERS (SECTION 704)**

RATED ASSEMBLIES ARE NOT REQUIRED

**CODE REVIEW CONTINUED:**

**MAX. AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION (TABLE 705.8)**

CLASSIFICATION OF OPENING	NORTH FSD= x FT		SOUTH FSD= x FT		EAST FSD= x FT		WEST FSD= x FT	
	A%	P%	A%	P%	A%	P%	A%	P%
UNPROTECTED	NO LIMIT	N/A	NO LIMIT	N/A	NO LIMIT	N/A	NO LIMIT	N/A
PROTECTED	-	-	-	-	-	-	-	-

A% = ALLOWED PERCENTAGE OF EXTERIOR WALL  
 P% = PROVIDED PERCENTAGE OF EXTERIOR WALL  
 FSD = FIRE SEPARATION DISTANCE (FT)

NL = NO LIMIT  
 NP = NOT PERMITTED  
 X = CALCULATION NOT REQUIRED

**FIRE WALL FIRE-RESISTANCE RATINGS (TABLE 706.4)**

OCCUPANCY GROUP	FIRE-RESISTANCE RATING (HOURS)
NO FIRE WALLS ARE REQUIRED FOR THIS PROJECT	-

**FIRE BARRIERS (SECTION 707)**  
 FIRE BARRIERS ARE NOT REQUIRED

**FIRE PARTITIONS (SECTION 708)**  
 FIRE PARTITIONS ARE NOT REQUIRED

**FLOOR & ROOF ASSEMBLIES (SECTION 711)**  
 RATED HORIZONTAL ASSEMBLIES ARE NOT REQUIRED

**SHAFT ENCLOSURES (SECTION 713)**  
 INTERIOR EXIT STAIRWAYS SHALL BE ENCLOSED IN ACCORDANCE WITH 2018 IBC SECTION 1023. KITCHEN HOOD EXHAUST SHALL MEET PROVISIONS OF 2018 IBC SECTION 506.3.11

**OPENING FIRE PROTECTION ASSEMBLIES, RATINGS AND MARKINGS (TABLE 716.1(2))**

TYPE OF ASSEMBLY	REQUIRED WALL ASSEMBLY RATING (HOURS)	MIN. FIRE DOOR AND FIRE SHUTTER ASSEMBLY RATING (HOURS)
FIRE WALLS & FIRE BARRIERS:		
FIRE WALLS & FIRE BARRIERS HAVING A REQUIRED FIRE-RESISTANCE RATING GREATER THAN 1 HOUR	N/A	N/A
ENCLOSURES FOR SHAFTS, INT. EXIT STAIRWAYS & INT. EXIT RAMPS	1 (per 713.4)	1
FIRE BARRIERS HAVING A REQUIRED FIRE-RESISTANCE RATING OF 1 HOUR: ENCLOSURES FOR SHAFTS, EXIT ACCESS STAIRWAYS, EXIT ACCESS RAMPS, INT. EXIT STAIRWAYS & INT. EXIT RAMPS; & EXIT PASSAGEWAY WALLS	N/A	N/A
OTHER FIRE BARRIERS	N/A	N/A
FIRE PARTITIONS:		
CORRIDOR WALLS	N/A	N/A
OTHER FIRE BARRIERS	N/A	N/A
EXTERIOR WALLS	N/A	N/A
SMOKE BARRIERS	N/A	N/A

(b) FIRE-RESISTANCE-RATED GLAZING TESTED TO ASTM E119 IN ACCORDANCE WITH SECTION 716.1.2.3 SHALL BE PERMITTED, IN THE MAXIMUM SIZE TESTED.

**INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (TABLE 803.1.3)**

OCCUPANCY GROUP	SPRINKLERED		EXIT ENCLOSURES AND EXIT PASSAGEWAYS	CORRIDORS	ROOMS AND ENCLOSED SPACES
	YES	NO			
A-3	X		B	B	C
B	X		B	C	C

**PORTABLE FIRE EXTINGUISHERS (SECTION 906 AND NFPA 101)**  
 PORTABLE FIRE EXTINGUISHERS ARE REQUIRED; MUST BE AVAILABLE WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT PROJECT IS A CLASS A, LOW HAZARD OCCUPANCY. REQUIRE 2-A EXTINGUISHERS (MAX 3,000 SF PER UNIT OF A, MAX 11,250 SF FLOOR AREA FOR EXTINGUISHER, MAX 75 TRAVEL DISTANCE TO EXTINGUISHER)

**MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT (TABLE 1004.5)**

FLOOR	ROOM NAME	TOTAL FLOOR AREA (SF)	FLOOR AREA ALLOWED PER OCCUPANT (SF)	CALCULATED OCCUPANT LOAD	# OF EXITS REQUIRED PER OCCUPANCY LOAD (1006.3.2)
FIRST	MULTI-PURPOSE (A-3)	5,348	15 NET	357	2
	OFFICE/CIRCULATION/KITCHEN/RR (B)	3,798	150 GROSS	26	2
	STORAGE (B)	657	300 GROSS	3	2
	<b>TOTAL FIRST FLOOR</b>			386	
SECOND	CONFERENCE/LIBRARY/CHOIR (A-3)	1,909	15 NET	128	2
	OFFICE/CIRCULATION/CONF/RR (B)	2,170	150 GROSS	15	2
	STORAGE (B)	260	300 GROSS	1	2
	<b>TOTAL SECOND FLOOR</b>			144	

**MEANS OF EGRESS SIZING (SECTION 1005)**

OCCUPANCY	SPRINKLERED	REQUIRED INCHES PER OCCUPANT		REQUIRED TOTAL INCHES	MIN. STAIR WIDTH (IN.)	PROVIDED TOTAL INCHES	
		YES	NO			STAIRWAYS	EXIT CORRIDOR
386 FIRST FLOOR	x	0.2	0.15	77.2	57.9	44	88
144 SECOND FLOOR	x	0.2	0.15	28.8	21.6	44	88

NOTE: CORRIDOR WIDTH SHALL NOT BE LESS THAN 44" CLEAR. NOTE: SPRINKLER EXCEPTIONS IN 1005.3.1 (1) AND 1005.3.2(1) APPLY

**NUMBER OF EXITS AND EXIT ACCESS DOORWAYS (TABLE 1006.3.2)**

OCCUPANCY	OCCUPANCY LOAD	REQUIRED EXITS	PROVIDED EXITS	MAX. COMMON PATH OF EGRESS TRAVEL (FT)
FIRST FLOOR	1-500	2	5	N/A
SECOND FLOOR	1-500	2	2	N/A

**EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2), & DEAD ENDS (SECTION 1020.4)**

OCCUPANCY	MAX. TRAVEL DISTANCE TO EXIT (FT.)		MAX. DEAD END CORRIDOR LENGTH (FT.)	
	ALLOWED	PROVIDED	ALLOWED	PROVIDED
A-3	250	80	20	14
B	300	80	50	14

NOTE: THE VALUES REFLECTED IN THIS TABLE REFLECT THE ALLOWANCE FROM BOTH SECTIONS GRANTED FOR SPRINKLERED BUILDINGS

**CORRIDOR FIRE RESISTANCE RATING (TABLE 1020.1)**

OCCUPANCY	OCCUPANT LOAD SERVED BY CORRIDOR	REQUIRED FIRE-RESISTANCE RATING (HRS)	
		UNSPRK	SPRK
A-3	GREATER THAN 30	N/A	0
B	GREATER THAN 30	N/A	0

**CODE REVIEW CONTINUED:**

**ACCESSIBILITY REQUIREMENTS (CHAPTER 11)**

THIS BUILDING SHALL BE DESIGNED AND CONSTRUCTED TO BE ACCESSIBLE IN ACCORDANCE WITH THIS CODE AND ICC A117.1  
 + PER 1103.2.7 UNLOADED ACCESS SPACES ARE NOT REQUIRED TO COMPLY  
 + PER 1103.2.9 EQUIPMENT SPACES ARE NOT REQUIRED TO COMPLY  
 + PER 1103.2.14 WALK-IN COOLERS AND FREEZERS ARE NOT REQUIRED TO COMPLY

**PROTECTION OF OPENINGS IN WIND-BORNE DEBRIS REGION. (SECTION 1609.2)**

GLAZED OPENINGS LOCATED WITHIN 30 FEET OF GRADE SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996.

GLAZED OPENINGS LOCATED MORE THAN 30 FEET ABOVE GRADE SHALL MEET THE PROVISIONS OF THE SMALL MISSILE TEST OF ASTM E 1996.

EXCEPTIONS IN 1609.1.1 DO NOT APPLY TO THIS PROJECT

**CHAPTER 17 - SPECIAL INSPECTIONS**

PER SECTION 1704.2(3) - SPECIAL INSPECTIONS AND TESTS ARE NOT REQUIRED FOR PORTIONS OF STRUCTURES DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE COLD-FORMED STEEL LIGHT-FRAME CONSTRUCTION PROVISIONS OF SECTION 2211.1.2 - FINAL REQUIREMENTS MUST BE CONFIRMED BY THE TOWN OF SUMMERVILLE BUILDING OFFICIAL AND THE PROJECT STRUCTURAL ENGINEER - SEE STRUCTURAL DRAWINGS FOR STRUCTURAL SPECIAL INSPECTIONS REQUIREMENTS.

**MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (TABLE 2902.1)**

OCCUPANCY GROUP A-3 & B	OCCUPANT LOAD	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS		SERVICE SINK				
		MALE	FEMALE	MALE AND FEMALE	MALE	FEMALE						
A-3 REQUIRED	243	243	1/125	2	0	1/65	4	1/200	2	1/500	1	1
PROVIDED				3 total	2 total	5 total	4 total	4 total	2 total	1 total		
B REQUIRED	23	23	1/25	1	0	1/25	1	1/40	X	1/100	1	1
PROVIDED				1 total	2 total	5 total	4 total	4 total	2 total	1 total		

W/C = WATER CLOSET. IN THIS CALCULATION UNSEX FACILITIES COUNT 1/2 EACH. NOTE: PER IPC 419.2 SUBSTITUTION FOR WATER CLOSETS: IN EACH BATHROOM OR TOILET ROOM, URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 47 PERCENT OF THE REQUIRED WATER CLOSETS IN ASSEMBLY AND EDUCATIONAL OCCUPANCIES. URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 50 PERCENT OF THE REQUIRED WATER CLOSETS IN ALL OTHER OCCUPANCIES.

**LIFE SAFETY SYSTEM**

- EMERGENCY LIGHTING (PER 1008.3.2, PROVIDE EMERGENCY POWER FOR 90 MINUTES TO INT, STAIRS/CORRIDORS & EXT. LANDINGS)
- EXIT SIGNS (PER 1013, REQUIRED SIGNS SHALL BE CONTINUOUSLY LT. AND FOR 90 MINUTES AFTER POWER FAILURE. SIZE AND LOCATION OF EXIT SIGNS PER IBC AND AS APPROVED BY LOCAL JURISDICTION)
- FIRE ALARM AND SMOKE DETECTION SYSTEM (PER 907.1, SHOP DRAWINGS PER NFPA 72; PER 907.2.1 SYSTEM IS REQUIRED FOR >300 OCCUPANTS IN B-400; MANUAL FIRE ALARM BOXES NOT REQUIRED BECAUSE BUILDING IS SPRINKLERED)
- PANIC HARDWARE (PER 1010.1.10, PANIC HARDWARE IS REQUIRED IN ROOMS/SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE. AND IN A-3 OCCUPANCY; THE MAIN EXIT OF AN A-3 OCCUPANCY CAN BE LOCKED MANUALLY PER 1010.1.9.4(2) OR ELECTRONICALLY PER 1010.1.9.9 OR 1010.1.9.10)

**BUILDING ENVELOPE REQUIREMENTS - OPAQUE ASSEMBLIES (IECC TABLE 402.1.3):**

(\*AS REQUIRED BY LOCAL CODES)

**TABLE 502.1.2 BUILDING ENVELOPE REQUIREMENTS - OPAQUE ELEMENT, MAXIMUM U-FACTORS**

CLIMATE ZONE	3
Roofs	All other
Insulation entirely above deck	U-0.08
Metal buildings	U-0.055
Attic and other	U-0.027
Walls, Above Grade	
Mass	U-0.123
Metal building	U-0.084
Metal framed	U-0.084
Wood framed and other	U-0.089
Walls, Below Grade	
Below grade wall <sup>a</sup>	R-1, 1.40
Floor	
Mass	U-0.107
Joist/framing	Slab-on-Grade Floors
Unheated slabs	F-0.70
Heated slabs	F-0.900

a. When heated slabs are placed below-grade, below-grade walls must meet the F-factor requirements for perimeter insulation according to the heated slab-on-grade construction.

**TABLE 502.2(1) BUILDING ENVELOPE REQUIREMENTS - OPAQUE ASSEMBLIES**

CLIMATE ZONE	3
Roofs	All other
Insulation entirely above deck	R-20ci
Metal buildings (with R-5 thermal blocks <sup>a, b</sup> )	R-13 + R-13
Attic and other	R-38
Walls, Above Grade	
Mass	R-7.6ci
Metal building <sup>b</sup>	R-19
Metal framed	R-13 + R-3.8ci
Wood framed and other	R-13
Walls, Below Grade	
Below grade wall <sup>a</sup>	NR
Floor	
Mass	R-4.5ci
Joist/framing	R-19
Steel/wood	Slab-on-Grade Floors
Unheated slabs	NR
Heated slabs	R-10 for 24 in. below



























**STAFF REPORT  
BAR Meeting  
March 3<sup>rd</sup>, 2020**

**To:** Town of Summerville BAR  
**From:** Becca Zimmerman, Planner II  
**Date:** 2/13/20

**GENERAL INFORMATION**

**Property Applicant:** Flowertown Players

**Owner:** Flowertown Players Inc.

**Requested Action:** Conceptual Approval

**Existing Zoning/Land Use:** D-MX, Commercial

**Location:** 133 S. Main Street

**Building Rating:** #2—Notable

**Proposed Alterations:** Mural on side alley façade of existing business

**Guideline Citation:** **5. Design Guidelines:** 5.15 Universal Guidelines for Commercial Properties- *Signs and Awnings – defer to UDO Section 10.8.4*

**Evaluation:** The proposed concepts for the mural better represent Summerville than the previous design. The colors for the directional sign to the Back Alley Studio may be too bright. It should be noted that only one mural on one façade per structure is allowed by the UDO.



## Location Information

This property is in the Town of Summerville.

This property is in the Historic District

TMS: 137-07-11-013.000

Owner: FLOWERTOWN PLAYERS INC

Second Owner:

Zoning: D-MX

Address: 133 S MAIN ST

Subdivision:

County: Dorchester

Council District: 2

Representative: Christine Czarnik

TO: Members of the Board of Architectural Review

The following is being submitted for your consideration in replacement of the mural created during the summer of 2019.

PROJECT NAME: Exterior Mural behind the James F. Dean Community Theatre

ADDRESS LOCATION: 113 E. Richardson Avenue, alley side behind the gas station

APPLICANT CONTACT INFORMATION: Monica Shows for The Flowertown Players

EMAIL: mshows@bellsouth.net

#### PROPOSAL:

The theater is interested in creating a mural on the side of the building at 113 E Richardson Avenue which would blend with the unique characteristics of the historic district and Summerville in general. This mural would be behind the gas station and the existing theater building along the alley which leads to a parking lot for local businesses and community.

In talking with two local artists, a concept has materialized of high-lighting the various renditions of theaters that has graced this side of the street leading towards The Studio (previously called Back Alley Studio), which is our small venue, black box, performance space and rehearsal/education studio.

Starting with the "Arcade Theatre" which was located mid-block on the street, each rendition of the theater at the current location of 133 S. Main would be depicted in muted colors of fading history leading towards a sign reminiscent of old time "diner" style advertising pointing to "The Studio" where the entrance doors are just around the corner.

#### WHY A MURAL?

The goal is to make this back alley a more appealing space for the public. The mural would brighten the alley way between the gas station and the barber shop. Handicapped patrons who enter the theater at the back of the building from this alley way would have a colorful and engaging view instead of a wall tagged by graffiti artists and flaking paint. For patrons who are attending shows in The Studio, words pointing towards the entrance will give them a sense of direction and again the opportunity to have a lovely image leading the way.

The James F. Dean Community Theater has been tagged several times, mostly on our doors, but occasionally on the brick walls. The back of 113 E. Richardson Avenue has been tagged on the side of the building and out of respect to the owners and in our position as the renters, we have covered it over with white paint. Both Mayor Collins and Mayor Johnson discussed ways to counteract the graffiti in the historic district and an option is to create art.

#### CURRENT MURAL:

The existing mural did not follow protocol by obtaining a certificate of appropriateness from the BAR before it was commissioned. Permission was obtained from the property owner to paint the side of building and different artists were engaged to create a contemporary artistic expression of theater and the Lowcountry. Color choices were limited to paint the theater had on hand in order to be cost effective and to use stock being stored and some recently donated.

# 116 County Rd S-10-65

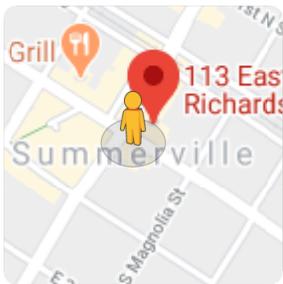


Image capture: Jan 2019 © 2020 Google

Summerville, South Carolina



Street View



POTENTIAL IMAGES:



The Arcade Theater was original mid-block on this side of Main Street.



Built around 1935 as a movie house.  
This photo was taken during 1940 when the movie Typhoon was released.



Colors for the building was updated when Main Street America assisted DREAM in creating the downtown management system. The walls were a creamy yellow, green trim, and red shingled roof.



Current arrangement showing the renovated marquee and new color scheme with dark gray shingles.  
Since then most of the front walkway has been renovated with engraved bricks.

#### PRIMARY CONCEPT:

Artist Heather Johnson provided this rough sketch of showing the varying images of theater on this side of Main Street through the ages. The grading of building sizes allows for the words "The Studio" and possible arrow similar to an old fashioned "advertising" sign to be placed on the far left side marking the location of this venue.

Ms. Johnson mentions that it would fun to mark each iteration with the dates for historical reference.



#### COLOR PALATTE:

The following is the color concept for the above images:

- Building 1 in grey-scale.
- Building 2 in sepia tones.
- Building 3 in monotone, faded, muted colors
- Building 4 in full color using the actual colors of the building

#### OTHER IMAGERY:

Summerville is known for its pines and azaleas. A way to frame in the artwork would be to add a pine branch with a couple of pinecones in the upper right hand corner and add a few azalea blossoms to the lower left hand corner.

SECONDARY CONCEPT:

Artist Robert Venne's concept is to utilize one building and to stylize the mural to post-impressionist painter Vincent Van Gogh's "Starry Night". "Starry Night" is the view from an east-facing window just before sunrise. The viewers point of view to the mural would be east-facing as well.

Below is a concept sketch from Venne showing the current image of the theater on Main Street.



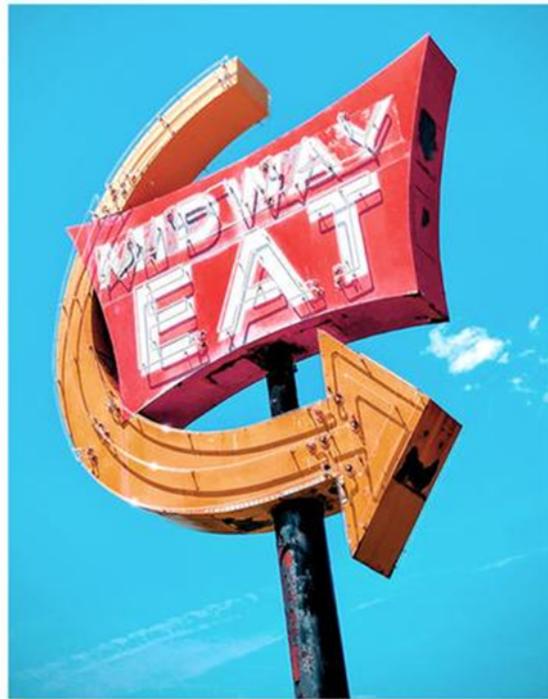
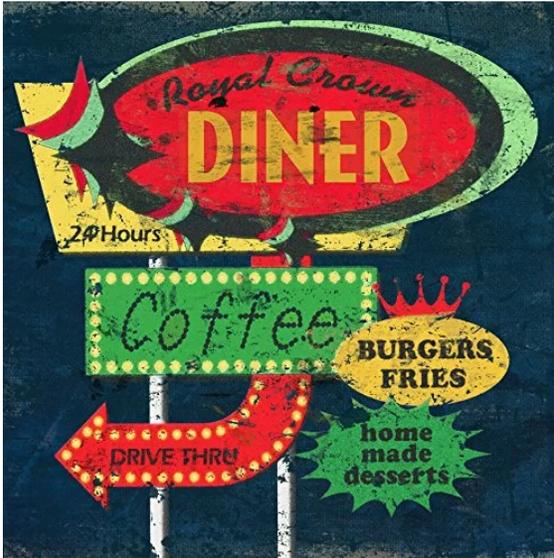
The title for the studio space would only reflect "The Studio" and an arrow.

COLOR PALATTE:

Colors would be rich, but not overpowering of the imagery being depicted in the sketch.

SUGGESTED SIGN IMAGES:

The following images are for concept only and final design would have to blend with the proposed mural as well as fit the intent of marking the way to the small studio whose entrance is around the corner.



CONCLUSION:

The goal is to create a public art display that meets the requirements of the BAR, enhances the alleyway, and provides direction to those attending performances in our smaller, black box studio.

SUPPORTING ARTICLE:

Article published in the Journal Scene about the existing mural. This gives insight to the intent of the original mural painted by different artists as additional background information.

## Legal graffiti: new mural painted for Flowertown Players

By Téa Franco [tfranco@journalscene.com](mailto:tfranco@journalscene.com)

Jul 15, 2019



Robert Venne watched YouTube videos to learn how to spray paint graffiti letters for this project.

If you drive into Downtown Summerville, go past Hutchinson square, continue past the gas station next to the Flowertown Players Theatre, and go into the alley behind it, although you might not realize it, you've made it to the Flowertown Player's Back Alley Studio — a small white building that houses a black box theater and rehearsal studio.



Soon, theatergoers will easily know which building they are meant to enter, as The Flowertown Players recently completed a beautification project that includes an outdoor wall mural. The side of the building clearly indicates the building for what it is — a black box theater and studio meant to enhance the local performance arts scene in Summerville.

According to Courtney Bates, executive director of Flowertown Players, talks of this project began about a year ago, but fell to the wayside in the midst of other, more pressing renovation projects.

The main building has been going through renovations during the off season, including updates to the carpet and paint, set to be completed by the first performance of the 44th season.

Bates, however, said she was determined to also accomplish her goals for the Back Alley Studio.

“I just thought, how amazing would it be if we opened up the 44th season with not only updates to the main theater, but to the Back Alley Studio as well,” Bates said.

The mural was created through the efforts of three artists: Ernie Eliason, Heather Johnson and Robert Venne. The artists brought their own ideas, and each had a different take on what they painted on their section of the mural.

“One great thing about having a mural is that it doesn’t have to be one particular theme, it gives you a lot to look at,” Bates said.

The mural doubles as signage, labeling the building “The Back Alley Studio.” It will feature bright colors, aspects from the solar system, the Charleston skyline, graffiti lettering, among other things.

“I thought it would be amazing to have a mural back there because the shows we put on in there are more avant garde. I wanted the mural to be fun and hip and funky, but still welcoming,” Bates said.

Eliason is the theater's art director and has worked with the Flowertown Players for more than 10 years. He said the need to make the Back Alley Studio more welcoming was pressing.

"I've been in that back alley countless times and it never felt comfortable, Eliason said. "First, I pushed for lighting in the alley and then, after the last show there, I saw the actors take a photo in front of that blank white wall and it just looked terrible, I was embarrassed by it and I knew we needed to do something about it."

The board approved the mural during the last season, however the main trouble with painting the mural was finding a paint that would stick to the walls.

The theater recently received an anonymous donation of paint that would stick to the wall and remain permanent over time allowing the project to begin.

Venne is a set painter and designer for Flowertown Players. For his section of the mural, he depicted the man eating plant from "The Little Shop of Horrors," peeking out from behind a curtain, spray painting the words "Back Alley Studio," with an arrow pointing towards the entrance. Part of the purpose of the project is re-branding of the studio after years of it being referred to as "The Annex."

"One of my favorite productions, one that I have been in three times, is "The Little Shop of Horrors," which is why I included the man eating plant," Venne said. "I wanted to make it a little more theatrical so that's why he is peeking around the curtain."

While he has a lot of experience in painting and set designing, he had never done a mural. This was his first time doing graffiti. Venne said he watched several hours of graffiti tutorials on YouTube for inspiration and technique.

"Robert is very methodical in the way he sketches things out and plans things. He's brilliant," Bates said.

Street art has been popping up in other iconic Summerville locations as well. Coastal Coffee Roasters has a mural in the works, which will be revealed in a celebration at at 5 p.m. July 18.

"We're just trying to spruce things up a bit. We are trying to make things better right now. We have a little down time and are doing other renovations to the inside of the theatre, so while we have the momentum, we might as well just do it. With the new addition of the mural at coastal coffee roasters, we just keep seeing more and more street art out there. I think it's just time to make things a little bit nicer," Eliason said.



**STAFF REPORT  
BAR Meeting  
March 3<sup>rd</sup>, 2020**

**To:** Town of Summerville BAR  
**From:** Becca Zimmerman, Planner II  
**Date:** 2/13/20

**GENERAL INFORMATION**

**Property Applicant:** Williford Roofing & Construction

**Owner:** Mildred Eileen Fippen

**Requested Action:** Final Approval

**Existing Zoning/Land Use:** GR-5, Residential

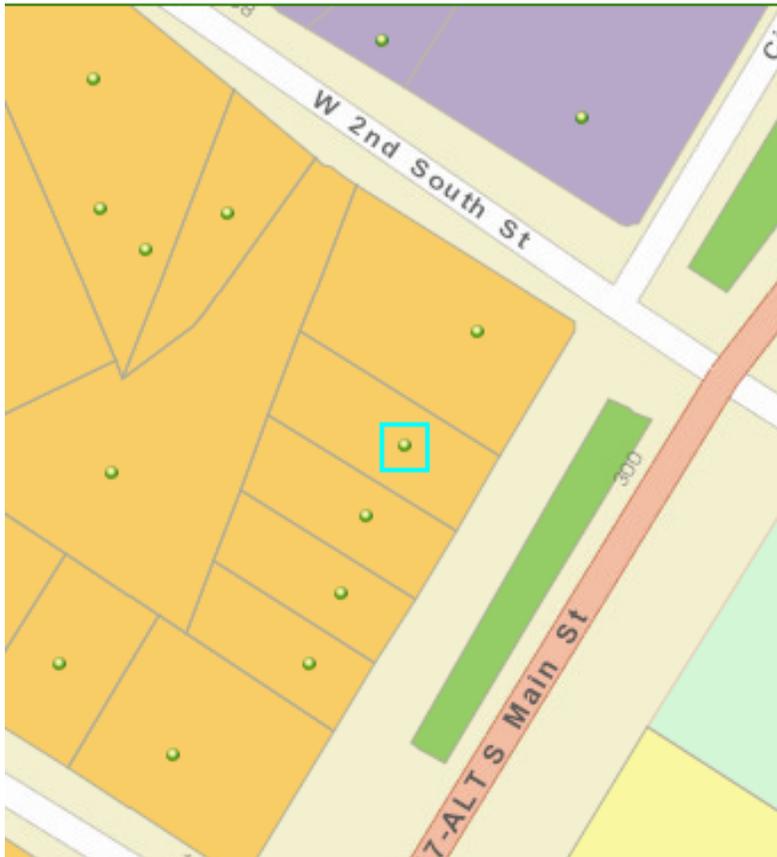
**Location:** 304 S. Main Street

**Building Rating:** #3 – Contributory

**Proposed Alterations:** Kitchen renovation and addition to existing single-family residence

**Guideline Citation:** **5. Design Guidelines:** 5.9 Universal Guidelines for Additions-  
*Guidelines 24-28*

**Evaluation:** The proposed addition plans detail that materials and finishes will match the existing residence. A site plan with all existing and proposed impervious surfaces will need to be submitted to confirm Zoning compliance with the 35% impervious surface allowance for the lot. The addition will not encroach within the side property line setback.



## Location Information

This property is in the Town of Summerville.

This property is in the Historic District

TMS: 137-07-09-004.000

Owner: FIPPEN MILDRED EILEEN

Second Owner:

Zoning: GR-5

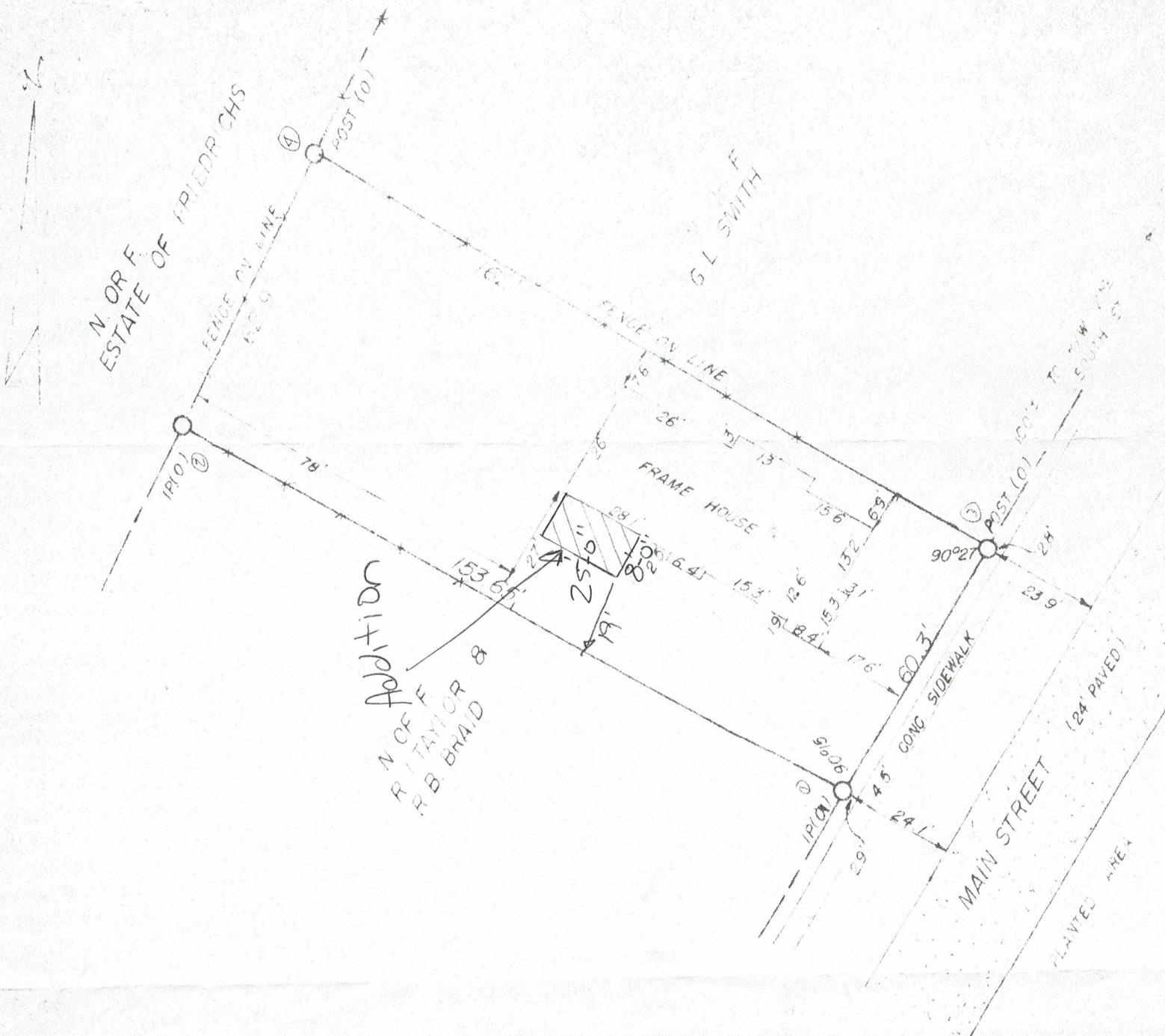
Address: 304 S MAIN ST

Subdivision:

County: Dorchester

Council District: 2

Representative: Christine Czarnik



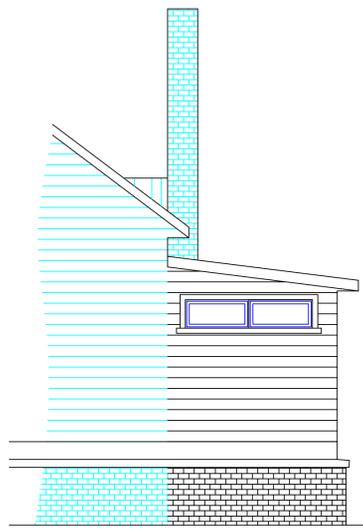
SOUTH CAROLINA  
 DORCHESTER COUNTY  
 TOWN OF SUMMERVILLE

SCALE 1" = 30'

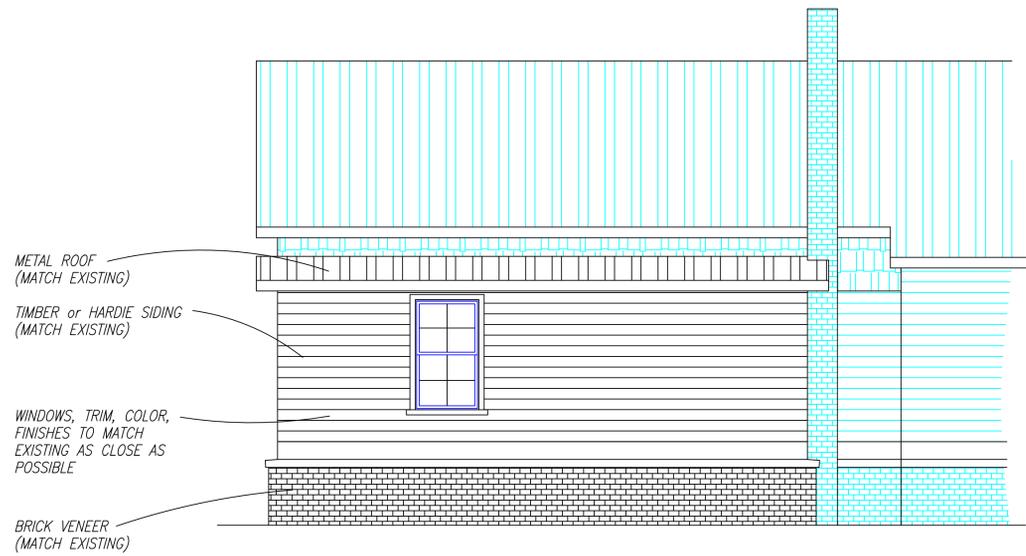
PLAT OF A LOT SURVEYED FOR SEYMOUR LYNCH.

BAILEY & ASSOCIATES INC.  
 MAY 24, 1976  
 JOB NO. 76153

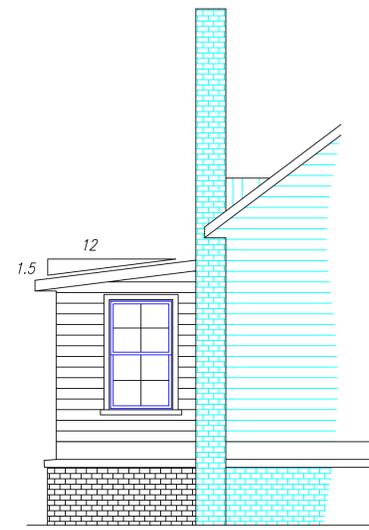
*H. P. Tompkins, Jr.*  
 RLS 5772



PARTIAL REAR



PARTIAL LEFT



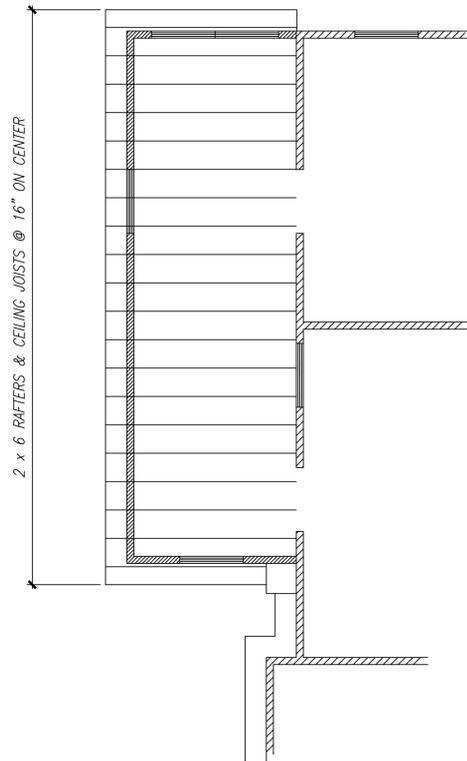
PARTIAL FRONT

METAL ROOF  
(MATCH EXISTING)

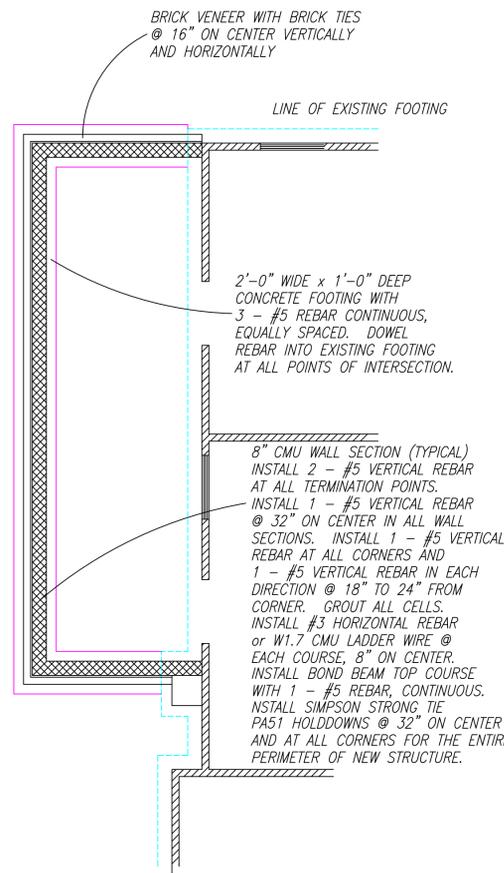
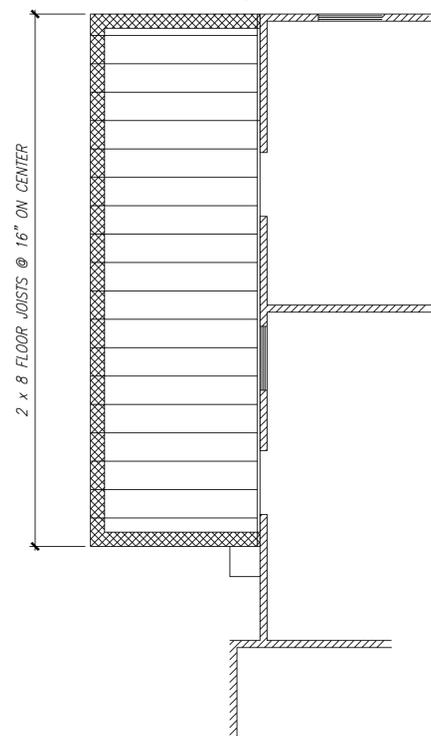
TIMBER or HARDIE SIDING  
(MATCH EXISTING)

WINDOWS, TRIM, COLOR,  
FINISHES TO MATCH  
EXISTING AS CLOSE AS  
POSSIBLE

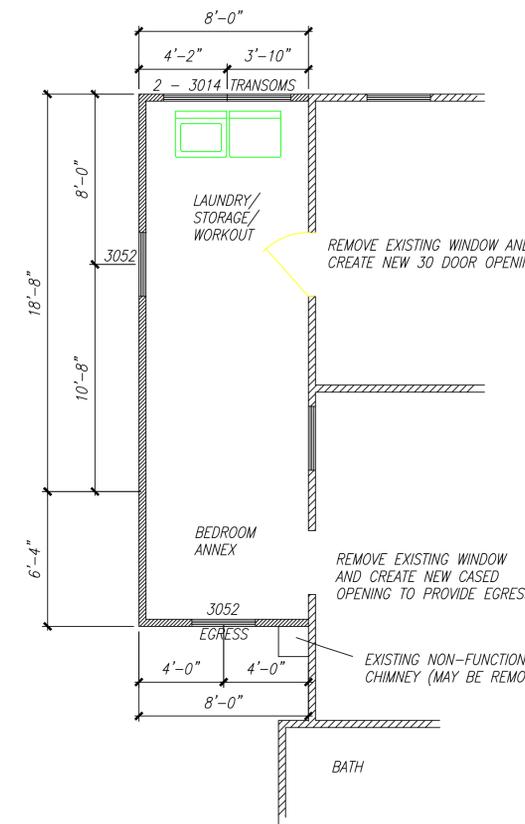
BRICK VENEER  
(MATCH EXISTING)



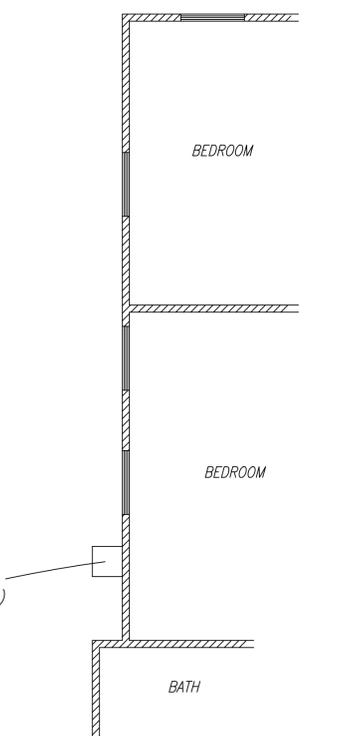
PARTIAL PLAN - ADDITION



FOUNDATION PLAN



PARTIAL PLAN - ADDITION



PARTIAL PLAN - EXISTING

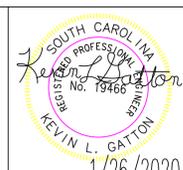
GW & Associates, LLC  
Kevin L. Gattton, P. E.  
Post Office Box 726  
Isle of Palms, SC 29451  
(843) 270-0588  
(843) 849-1945 fax

FIPPEN RESIDENCE ADDITION  
304 S. MAIN STREET, SUMMERVILLE, SOUTH CAROLINA

STRUCTURAL SECTION

DATE: 1/26/2020  
DRAWN: klg  
JOB: FIPPEN R1

SHEET: S1



SCALE: 1/4" = 1'-0"

**NOTES**  
**DESIGN LOADS**

GRAVITY LOADS	DEAD LOADS	LIVE LOADS
ROOF	15 POUNDS PER SQUARE FOOT (psf) 15 POUNDS PER SQUARE FOOT (psf) 15 POUNDS PER SQUARE FOOT (psf)	12 psf FOR ROOF SLOPES OF 4" PER FOOT 16 psf FOR ROOF SLOPES BETWEEN 4" AND 12" PER FOOT 20 psf FOR ROOF SLOPES GREATER THAN OR EQUAL TO 12" PER FOOT
CEILING JOISTS	10 psf	10 psf (20 psf IF USED FOR STORAGE)
FLOORS	10 psf	40 psf (60 psf FOR DECKS AND PORCHES)

THIS STRUCTURE IS DESIGNED TO THE REQUIREMENTS OF & IN ACCORDANCE WITH THE 2015 & 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE- & TWO-FAMILY DWELLINGS FOR A 147 MILE PER HOUR (MPH), 3-SECOND WIND GUST ULTIMATE WIND LOAD AND A 116 MPH NOMINAL DESIGN WIND SPEED IN EXPOSURE CATEGORY "B or C". THE SEISMIC RISK CATEGORY IS "II" FOR A SEISMIC D2 DESIGN CATEGORY IN SEISMIC SITE CLASS "D2" FOR AN IMPORTANCE CLASS FACTOR "1" STRUCTURE.

**WINDOWS**  
ALL WINDOWS AND DOORS SHALL BE DP50 (MINIMUM).

**WINDOW WINDBORNE DEBRIS PROTECTION**

ALL WINDOWS MUST BE PROTECTED FROM WINDBORNE DEBRIS BY INSTALLING IMPACT RESISTANT GLASS OR BE EQUIPPED WITH 7/16" THICK WOOD STRUCTURAL PANELS. PANELS SHALL BE PRECUT AND ATTACHED TO THE FRAMING SURROUNDING THE OPENING. PANELS SHALL BE PREDRILLED FOR ATTACHMENT WITH CORROSION RESISTANT 1/4" DIAMETER FASTENERS WITH 2 1/2" EMBEDMENT SPACED 6" ON CENTER. INSTALL WASHERS UNDER ALL FASTENER NUTS. FASTENERS MAY BE ASTROGUARD ECONOMY FASTENERS, AVAILABLE AT HOME DEPOT, OR 305SS HURRICANE ALBERT SCREWS, AVAILABLE FROM JAMESTOWN DISTRIBUTORS. FASTENERS ARE 3 1/2" LONG EMBEDDED IN THE STRUCTURAL FRAMING APPROXIMATELY 2 1/2" TO ALLOW FOR 1" OF THE FASTENER TO EXTEND BEYOND THE SHEATHING AND SIDING AND ALLOW FOR NUT AND WASHER INSTALLATION. FASTENERS TO BE INSTALLED AT EACH CORNER OF ALL PANELS AND AT 16" ON CENTER OR LESS FOR THE ENTIRE PERIMETER OF THE WINDOW PROTECTION PANEL. FASTENERS SHALL BE UNIFORMLY SPACED AS CLOSE AS POSSIBLE. THE PLYFASTENER ANCHORING SYSTEM MAY ALSO BE USED. PLYFASTENERS MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. PLYWOOD IS REQUIRED IF THE PLYFASTENER SYSTEM IS USED.

ALL WOOD FRAMING MEMBERS SHALL BE SOUTHERN YELLOW PINE, GRADE 2.

ALL LAMINATED (LAM) BEAMS ARE TRUS JOIST MACMILLAN PARALLAM (PSL) OR MICROLLAM (LVL) DESIGN PROPERTIES (FLEXURAL STRESS  $F_b = 2,900$  psi, MODULUS OF ELASTICITY,  $E = 2.0 \times 10^6$  psi FOR PSL AND  $F_b = 2,600$  psi AND  $E = 1.9 \times 10^6$  psi FOR LVL). SUBSTITUTIONS ARE ALLOWED WITH OTHER MANUFACTURER EQUIVALENT MEMBERS. LAM BEAMS MAY BE FABRICATED FROM 1 3/4" PLYS OF EQUAL DEPTH AND WIDTH WITH MANUFACTURER'S APPROVAL. MANUFACTURER SHALL PROVIDE REQUIREMENTS FOR FASTENING OF 1 3/4" PLYS TO EACH OTHER. ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE ADHERED TO WHEN INSTALLING LAM BEAMS.

BUTT SEAMS IN GIRDERS, BEAMS AND HEADERS, INCLUDING INDIVIDUAL MEMBERS IN MULTIPLY BEAMS, SHALL BE LOCATED AT SUPPORTS.

LUMBER AND ENGINEERED WOOD PRODUCTS EXPOSED TO WEATHER OR EXPOSED TO MASONRY OR CONCRETE SHALL BE PRESSURE TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) GUIDELINES FOR THE SPECIFIED EXPOSURE. CUT ENDS OF PRESSURE TREATED MEMBERS SHALL BE COATED WITH THE MANUFACTURER'S/SUPPLIER'S APPROVED PRESERVATIVE. LUMBER SHALL BE TREATED FOR ABOVE OR BELOW GROUND USE AS APPLICABLE.

SUBFLOOR SHALL BE 3/4" TONGUE AND GROOVE, EXTERIOR GRADE PLYWOOD GLUED AND NAILED WITH 10d NAILS AT 3" ON CENTER ON PANEL EDGES AND 6" ON INTERMEDIATE FRAMES. PROVIDE SOLID BLOCKING AND NAIL PLYWOOD SEAMS PERPENDICULAR TO THE FLOOR FRAMING BETWEEN THE FIRST TWO FRAMING SPACES AT THE BUILDING ENDS. ORIENT PLYWOOD SUCH THAT THE LONG DIRECTION IS PERPENDICULAR TO THE FLOOR FRAMING. PROVIDE SOLID BLOCKING AT ALL UNSUPPORTED EDGES. STAGGER ALL END JOINTS TO CREATE A RUNNING BOND PATTERN.

EXTERIOR WALL SHEATHING SHALL BE 7/16" CDX SHEATHING GRADE PLYWOOD or OSB NAILED WITH 8d NAILS SPACED 3" ON CENTER ON PANEL EDGES AND 6" ON CENTER ON INTERMEDIATE FRAMES. PROVIDE SOLID BLOCKING AND NAIL ALL HORIZONTAL SEAMS 3" ON CENTER. EXTERIOR SHEATHING SEAMS SHALL NOT BE LOCATED WITHIN 12" ABOVE OR BELOW A TOP OR BOTTOM PLATE. SHEATHING SHALL BE NAILED TO BOTTOM OF THE EXTERIOR BAND AND TO THE TOP OF THE DOUBLE TOP PLATE. ALL OPENINGS SHALL BE NAILED WITH 8d NAILS SPACED 2" ON CENTER.

ALL STRAPS/CONNECTORS SPECIFIED ARE SIMPSON STRONG TIE. SEE MANUFACTURER'S MANUALS FOR INSTALLATION INSTRUCTIONS AND DETAILS. CONNECTORS NAILED TO SINGLE FRAMING MEMBERS SHALL USE EQUIVALENT DIAMETER SHORT NAILS SUCH AS SIMPSON N8 OR N10. ALL STRAPS AND CONNECTORS SHALL BE GALVANIZED.

NAILS, BOLTS AND FASTENERS IN CONTACT WITH TREATED LUMBER OR EXPOSED TO WEATHER, MASONRY OR CONCRETE SHALL BE GALVANIZED OR STAINLESS STEEL TO PROTECT FROM CORROSION.

NAIL SIZES SHOWN ARE BASED ON COMMON OR HOT DIPPED GALVANIZED BOX NAILS. IF OTHER TYPES OF NAILS ARE USED, INCREASE THE SIZE OF THE EQUIVALENT DIAMETER.

BOLTS SHOWN ARE THROUGH BOLTS WITH SQUARE WASHERS UNDER BOLT HEADS AND NUTS THAT ARE IN CONTACT WITH WOOD UNLESS OTHERWISE NOTED. BOLT HOLES IN WOOD ARE 1/32" BIGGER THAN THE BOLT DIAMETER.

MANUFACTURER'S OF TJIS, LAM BEAMS, TRUSSES AND OTHER ENGINEERED WOOD PRODUCTS SHALL VERIFY THE DESIGN OF THEIR PRODUCTS AND PROVIDE ANY AND ALL REQUIREMENTS FOR PROPER INSTALLATION (I.E., BLOCKING, PURLINS, WEB STIFFENING, NAILING/BOLTING PATTERNS, HOLDDOWNS, ETC.).

MANUFACTURER'S OF ROOF TRUSS SYSTEMS SHALL PROVIDE UPLIFT DESIGN CRITERIA AND HURRICANE TIE CONNECTIONS TO THE WALLS AND HEADERS FOR REVIEW BY THE ENGINEER.

ALL DOUBLE TOP PLATE SEAMS SHALL LAP A MINIMUM OF 30" AND SHALL BE NAILED 4" ON CENTER WITH 16d NAILS FOR LENGTH OF THE OVERLAP BETWEEN THE TOP AND BOTTOM MEMBER.

ROOF SHEATHING SHALL BE 7/16" PLYWOOD NAILED WITH 8d NAILS SPACED 3" ON CENTER ON ALL PANEL EDGES AND 6" ON CENTER ON INTERMEDIATE FRAMING. PROVIDE SOLID BLOCKING AND NAIL PLYWOOD SEAMS BETWEEN THE FIRST TWO RAFTER SPACES AT ALL GABLE ENDS OF THE STRUCTURE. ROOF SHEATHING SHALL BE 5/8" PLYWOOD NAILED WITH 10d NAILS IF TRUSSES ARE 2'-0" ON CENTER.

STRAPPING SHOWN IS INTENDED TO PROVIDE CONTINUOUS LOAD PATHS TO THE FOUNDATION GIRDERS, PILES, COLUMNS AND WALLS TO RESIST UPLIFT OF THE WALL STUDS, COLUMNS, BEAMS, HEADERS AND OTHER STRUCTURAL ELEMENTS. FRAMER TO MODIFY AS REQUIRED TO SUIT AS BUILT CONDITIONS.

DESIGN IS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES AND THE INTERNATIONAL BUILDING CODE, LATEST ISSUE.

ALL CLEAR STORY AND VAULTED GABLE END WALLS SHALL BE BALLOON FRAMED WITH FULL LENGTH STUDS.

ALL EXTERIOR SYSTEMS/FURNISHINGS (ROOFING, DOORS, WINDOWS, SHUTTERS, ETC.) SHALL BE RATED FOR 157 MPH WIND LOADS IN ACCORDANCE WITH THE LATEST REVISION OF THE INTERNATIONAL BUILDING CODE.

ALL STRUCTURAL STEEL MEMBERS SHALL BE ASTM A36, GALVANIZED.

ALL INSTALLATIONS SHALL CONFORM TO GOOD CONSTRUCTION PRACTICE.

CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS SHOWN ON THIS PLAN PRIOR TO START OF WORK AND NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES.

CONCRETE SHALL BE A MINIMUM OF 3,000 psi.

ALL CONCRETE WORK SHALL COMPLY WITH AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI318).

SLUMP SHALL NOT EXCEED 4".

CONCRETE SHALL BE CAST IN PLACE AND COMPACTED BY VIBRATING AND SUPPLEMENTED WITH HAND TAMPING AND SPADING AS REQUIRED.

CURING OF CONCRETE SHALL BE MADE WITH LIQUID MEMBRANE CURING COMPOUND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. CONCRETE SHALL BE MAINTAINED ABOVE 50° F AND IN A MOIST CONDITION FOR AT LEAST THE FIRST 7 DAYS AFTER PLACEMENT UNLESS OTHERWISE NOTED.

CMU SHALL CONFORM TO ASTM C90, (F'm-1,900 psi).

CMU MORTAR SHALL CONFORM TO ASTM C270, TYPE M OR TYPE S.

CMU GROUT SHALL CONFORM TO ASTM C476, 2,000 psi, 8" SLUMP. GROUT ALL CELLS. CELLS SHALL HAVE A CLEAN INTERIOR SURFACE AND GROUT SHALL BE CONTAINED FOR LEAKAGE. PLACE GROUT IN LIFTS NOT TO EXCEED 4'-0".

CMU SHALL BE CONSTRUCTED IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530).

ALL REBAR SHALL BE GRADE 60 OR 60S, DEFORMED CONFORMING WITH ASTM 615.

ALL REBAR LAP DISTANCES SHALL BE 40 BAR DIAMETERS UNLESS OTHERWISE NOTED.

THE FOUNDATION DESIGN FOR THIS PROJECT IS BASED ON AN ALLOWABLE SOIL BEARING CAPACITY OF 1,500 POUNDS PER SQUARE FOOT (PSF). THIS SOIL BEARING CAPACITY SHALL BE VERIFIED BY A SOILS ENGINEER. IF CONDITIONS ARE DISCOVERED THAT WILL ADVERSELY AFFECT THE PERFORMANCE OF THE FOUNDATION, A NEW FOUNDATION DESIGN WILL BE REQUIRED. IMPLEMENT ALL SOIL PREPARATION AS REQUIRED BY THE SOILS ENGINEER'S SPECIFICATIONS PRIOR TO FOUNDATION INSTALLATION. ALL FILL SHALL BE COMPACTED PER THE SOILS ENGINEER'S SPECIFICATIONS.

ALL PERIMETER WALLS FOR THIS STRUCTURE ARE SHEAR WALLS. THE PANELS ARE TIMBER FRAMED WITH 7/16" PLYWOOD SHEATHING. SHEATHING IS NAILED TO 2x FRAMING WITH 8d NAILS SPACED 3" ON CENTER ON PANEL EDGES AND 6" ON CENTER ON INTERMEDIATE FRAMING. ALL PANEL EDGES ARE TO BE BLOCKED SOLID AND NAILED AT 3" ON CENTER. THE PLYWOOD IS TO BE NAILED TO THE BOTTOM SILL PLATE AND TO THE DOUBLE TOP PLATE WITH 8d NAILS SPACED 2" ON CENTER. PLYWOOD SHOULD BE NAILED TO BOTH TOP PLATES. 7/16" OSB MAY BE USED IN LIEU OF PLYWOOD SHEATHING.

**LOAD PATH STRAPPING FOR THE WINDOWS**

STRAPPING AT THE WINDOWS SHALL BE ACCOMPLISHED WITH SIMPSON STRONG TIE CS-16 STRAPPING, 12" LONG FROM THE TOP PLATE ON TO THE KING STUD AND 12" LONG STRAPS ON EACH JACK STUD TO THE HEADER CENTERED ON THE SPLICE AT THE HEADER AND JACK STUD.

ROOF SHEATHING SHALL BE 7/16" PLYWOOD NAILED WITH 8d NAILS SPACED 3" ON CENTER ON ALL PANEL EDGES AND 6" ON CENTER ON INTERMEDIATE FRAMING. PROVIDE SOLID BLOCKING AND NAIL PLYWOOD SEAMS BETWEEN THE FIRST TWO RAFTER SPACES AT ALL GABLE ENDS OF THE STRUCTURE.

BOLT LEDGER TO EXISTING STUDS WITH 1/2" LAG SCREWS @ 16" ON CENTER WITH 3" SQUARE WASHERS

2 x 6 CEILING JOISTS & RAFTERS @ 16" ON CENTER

SIMPSON STRONG TIE H2.5A, HURRICANE TIE AT EACH RAFTER

EXTERIOR WALL SHEATHING SHALL BE 7/16" CDX SHEATHING GRADE PLYWOOD or OSB NAILED WITH 8d NAILS SPACED 3" ON CENTER ON PANEL EDGES AND 6" ON CENTER ON INTERMEDIATE FRAMES. PROVIDE SOLID BLOCKING AND NAIL ALL HORIZONTAL SEAMS 3" ON CENTER. EXTERIOR SHEATHING SEAMS SHALL NOT BE LOCATED WITHIN 12" ABOVE OR BELOW A TOP OR BOTTOM PLATE. SHEATHING SHALL BE NAILED TO BOTTOM OF THE EXTERIOR BAND AND TO THE TOP OF THE DOUBLE TOP PLATE. ALL OPENINGS SHALL BE NAILED WITH 8d NAILS SPACED 2" ON CENTER.

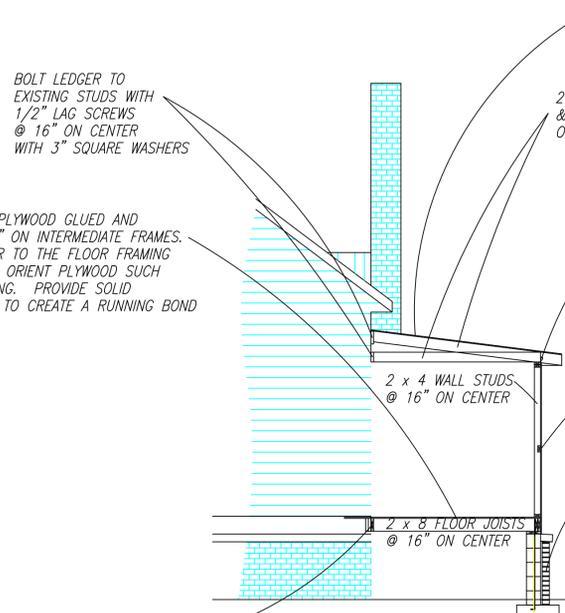
BRICK VENEER WITH BRICK TIES @ 16" ON CENTER VERTICALLY AND HORIZONTALLY

8" CMU WALL SECTION (TYPICAL)  
INSTALL 2 - #5 VERTICAL REBAR AT ALL TERMINATION POINTS.  
INSTALL 1 - #5 VERTICAL REBAR @ 32" ON CENTER IN ALL WALL SECTIONS.  
INSTALL 1 - #5 VERTICAL REBAR AT ALL CORNERS AND 1 - #5 VERTICAL REBAR IN EACH DIRECTION @ 18" TO 24" FROM CORNER. GROUT ALL CELLS.  
INSTALL #3 HORIZONTAL REBAR or W1.7 CMU LADDER WIRE @ EACH COURSE, 8" ON CENTER.  
INSTALL BOND BEAM TOP COURSE WITH 1 - #5 REBAR, CONTINUOUS.  
INSTALL SIMPSON STRONG TIE PA51 HOLDDOWNS @ 32" ON CENTER AND AT ALL CORNERS FOR THE ENTIRE PERIMETER OF NEW STRUCTURE.

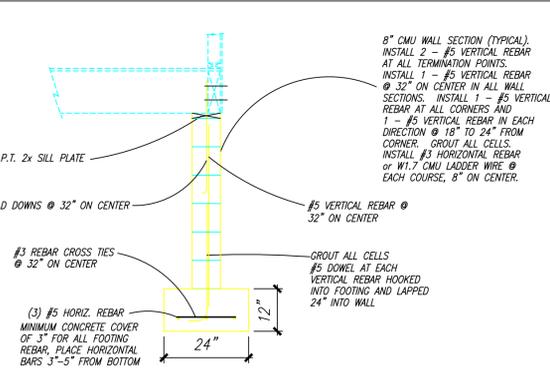
BOLT LEDGER TO EXISTING BAND WITH 1/2" THROUGH BOLTS @ 16" ON CENTER WITH 3" SQUARE WASHERS ON BOTH SIDES

2'-0" WIDE x 1'-0" DEEP CONTINUOUS CONCRETE FOOTING WITH 3 - #5 REBAR CONTINUOUS, EQUALLY SPACED WITH #3 REBAR CROSS TIES @ 32" ON CENTER.

**STRUCTURAL SECTION**

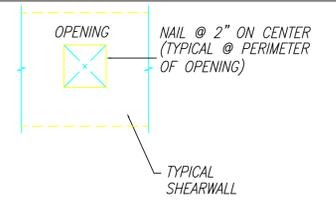


SCALE: 1/4" = 1'-0"



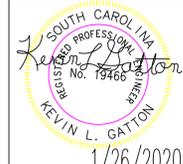
**8" CMU STEM WALL DETAIL**

SCALE: 1/2" = 1'-0"



**PLYWOOD WALL NAILING AT OPENINGS**

SCALE: NONE



CW & ASSOCIATES, LLC  
KEVIN L. GATTTON, P. E.  
PO BOX 726  
ISLE OF PALMS, SC 29451  
(843) 270-0588  
(843) 849-1922 fax

**FIPPEN RESIDENCE ADDITION**  
304 S. MAIN STREET, SUMMERVILLE, SOUTH CAROLINA

STRUCTURAL NOTES & DETAILS

DATE:	1/26/2020
DRAWN:	klg
JOB:	FIPPEN R1
SHEET:	S2

1/26/2020







**STAFF REPORT  
BAR Meeting  
March 3<sup>rd</sup>, 2020**

**To:** Town of Summerville BAR  
**From:** Becca Zimmerman, Planner II  
**Date:** 2/13/20

**GENERAL INFORMATION**

**Property Applicant:** Lynne Elliott

**Owner:** Lynne Elliott

**Requested Action:** Final Approval

**Existing Zoning/Land Use:** GR-2, Residential

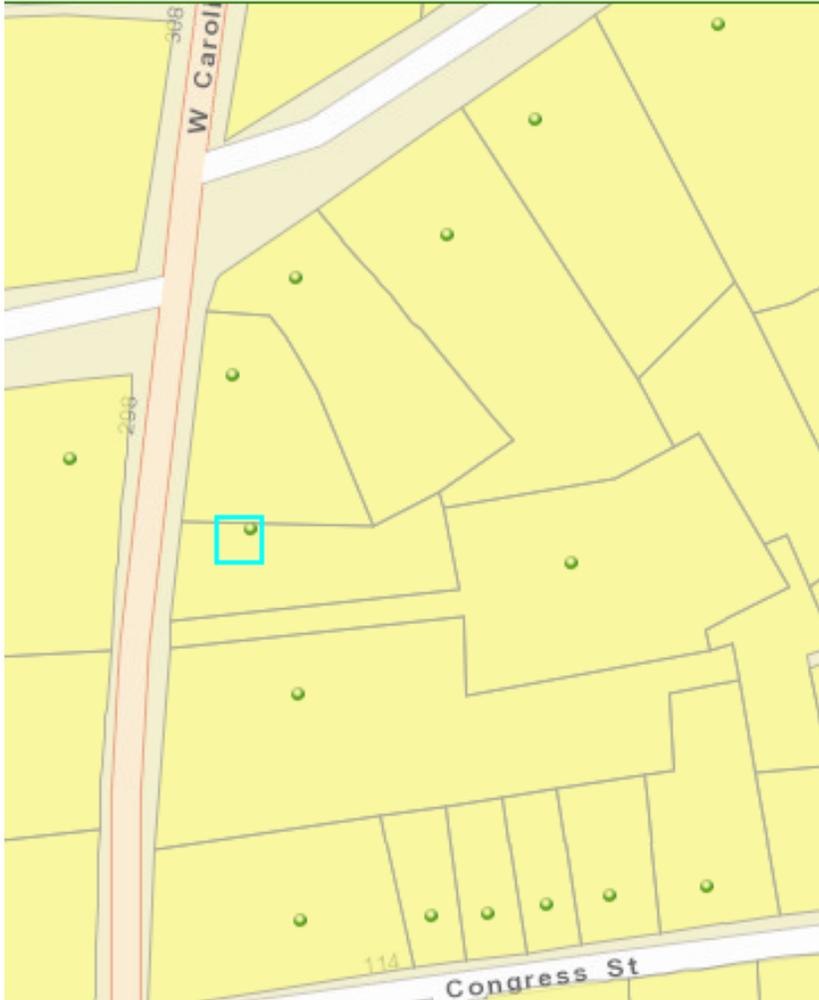
**Location:** 213 W. Carolina Avenue

**Building Rating:** #2—Notable

**Proposed Alterations:** Demolition of existing fire damaged residence, new construction of a single-family residence

**Guideline Citation:** **2. Procedures:** 2.5 Demolition - *Condition #4*,  
**5. Design Guidelines:** 5.12 Universal Guidelines for Demolition-  
*Guideline 38. Demolition of Historic Properties*, 5.10 Guidelines  
for New Standalone Construction – *Guidelines 29-36*

**Evaluation:** The applicant will be going before the Board of Zoning appeals with a request to encroach within the 15’ side property line setback on March 10<sup>th</sup>, 2020. The project appears to be Zoning compliant otherwise. Impervious surfaces will need to be confirmed when the building permit is submitted for review with a site plan that shows all impervious surfaces. The proposed new construction is similar to the cottage style of the previous home and would be cohesive with the surrounding properties.



## Location Information

This property is in the Town of Summerville.

This property is in the Historic District

TMS: 137-10-08-007.000

Owner: ELLIOTT LYNNE M

Second Owner:

Zoning: GR-2

Council District: 3

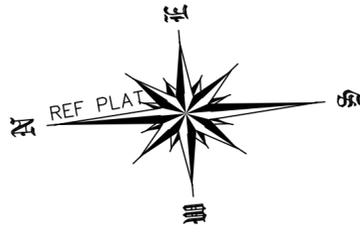
Representative: Walter Bailey



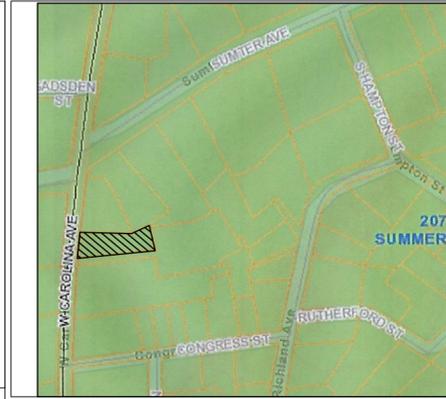


**LEGEND**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - EXISTING EASEMENT LINE
- · - · - NEW EASEMENT LINE
- - - SETBACK LINE
- - - ADJACENT R/W LINE
- PROPERTY CORNER FOUND AS NOTED
- PROPERTY CORNER, 5/8" REBAR, SET
- ⊗ WATER METER
- ⊕ ELECTRICAL PEDESTAL
- ⊙ STORM DRAIN MANHOLE
- Ⓣ TELECOMMUNICATIONS PEDESTAL
- △ CALCULATED PROPERTY CORNER
- ⊙ PERC TEST SITE
- ⊕ TEMPORARY BENCH MARK
- CONCRETE MONUMENT FOUND
- ↑ SIGN
- POWER POLE
- UTILITY POLE



RESERVED FOR STAMPING

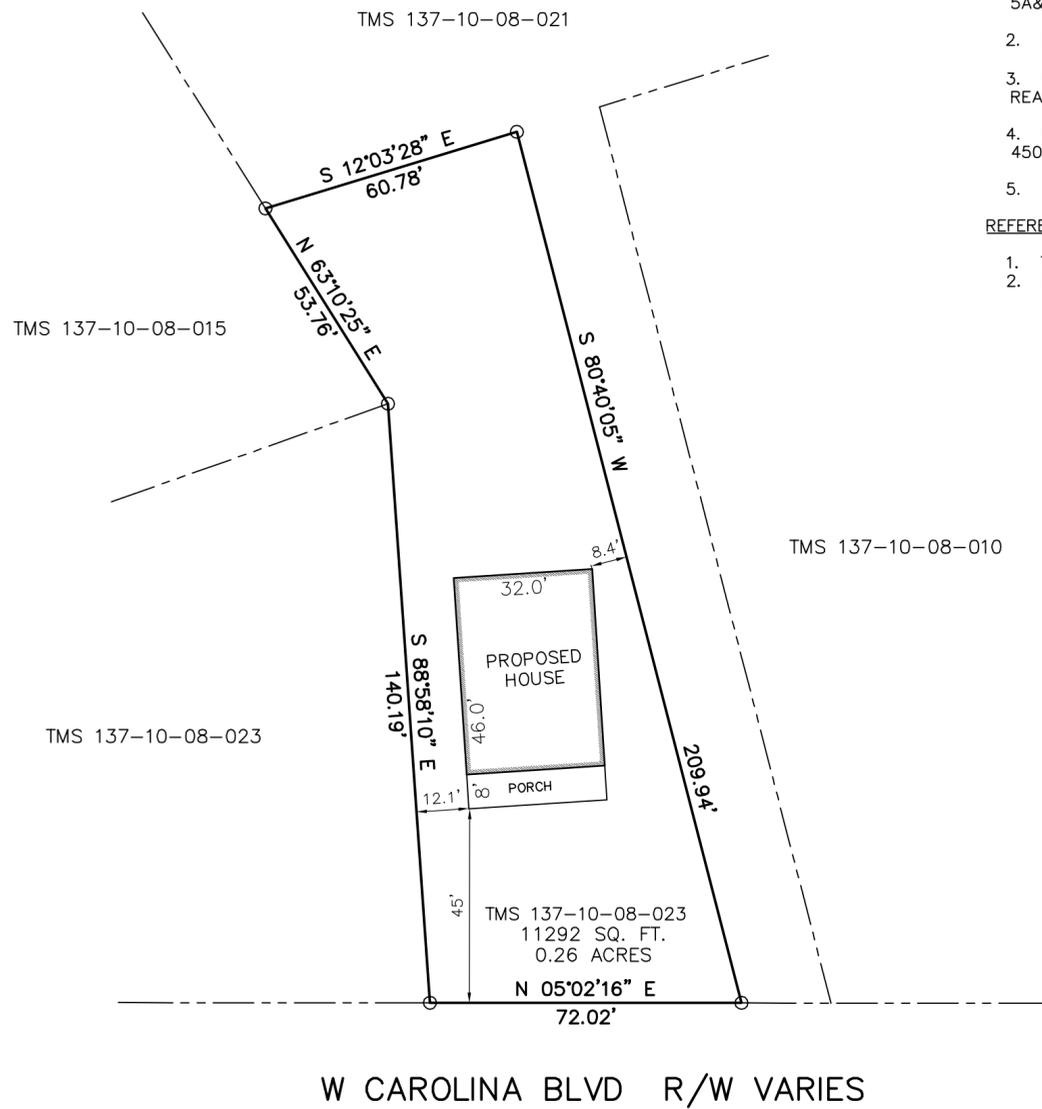


LOCATION MAP (NOT TO SCALE)

**KENNERTY SURVEYING INC.**

42 LORD CALVERT DRIVE  
CHARLESTON, SC 29407

843-571-2121  
EMAIL: lkennerty@comcast.net



**NOTES**

1. THIS SITE PLAN DOES NOT DELINEATE A BOUNDARY SURVEY OF LOT 5A&B.
2. PROPERTY IS ZONED IN THE TOWN OF SUMMERVILLE.
3. BUILDING SETBACKS ARE: ' FRONT SETBACK, ' SIDE SETBACK, AND ' REAR SETBACK.
4. PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE X AS PER FIRM MAP 45035C0339 E , EFFECTIVE DATE OF JULY 18, 2017.
5. TOTAL ACREAGE IS 0.26 ACRES

**REFERENCES**

1. TMS 137-10-08-007
2. PLAT BY SINCLAIR & ASSOCIATES DATED JUNE 18, 2011 RECORDED IN PLAT BOOK L PAGE 170 DORCHESTER COUNTY RMC



LAWRENCE J. KENNERTY, JR.  
REG. NO. 12520

**SITE PLAN**  
**213 W CAROLINA AVE**  
**TMS 137-10-08-007**  
LOCATED IN THE TOWN OF SUMMERVILLE  
PREPARED FOR SCHUMACHER HOMES



SCALE: 1" = 30'

SCALE: 1" = 30'  
DRAWN:  
DATE: 01 / 19 / 20  
CHECKED:  
REVISED:  
JOB NO#: 014-20

SHEET

1 OF 1

SEABROOK COASTAL 1472 Sq.Ft.

\$193,883



We designed the Seabrook for small lots with big dreams. This three-bedroom, two-bath plan features open living areas perfect for entertaining. The chef in the family will love the kitchen with lots of counter space. The oversized front porch is perfect for enjoying quiet moments with family and friends.

**PURCHASER**

Lynne Michelle Elliott  
213 West Carolina Avenue  
Summerville, South Carolina 29483  
(843) 822-8085  
shadow213@icloud.com

**BUILD ADDRESS**

213 West Carolina Avenue  
Summerville, SC 29483  
Dorchester, Dorchester

**NEW HOME CONSULTANT**

Ashley Peden  
271 Treeland Dr  
Ladson, SC 29456  
843-376-5778  
apeden@schumacherhomes.com

**We thank you for taking the time to discuss the details of your brand new home.**

We've created a unique space for you to see and touch every finish for your home featuring the most high performing and current materials and trends in Home Building today all under one roof. We will guide you through the process and help make it fun and exciting.

We want you to feel in control of the entire process. Every option has been individually itemized on your Schumacher Custom Home quote so you can easily understand where each dollar is going. We look forward to working with you to build a home that fits your lifestyle and budget while bringing you enjoyment for years to come. If you have any questions please call any time.

NOTE:  
CONTINUOUS RIDGE VENTS  
ALL ROOF RIDGES

**SEABROOK / CUSTOM**  
FRONT ELEVATION  
9' CEILING HEIGHT  
SCALE: 1/8" = 1'-0"

STANDING SEAM METAL  
ROOF WITH BOX EDGES

FIBER CEMENT LAP SIDING



**SEABROOK / CUSTOM**  
REAR ELEVATION  
9' CEILING HEIGHT  
SCALE: 1/8" = 1'-0"



Charleston, SC  
271 Treeland Dr.  
Ladson, SC 29546  
(877) 267-3482  
www.schumacherhomes.com



CUSTOM BUILT FOR:

LYNNE MICHELLE ELLIOTT

JOB #:

CR #:

VA # EL130

LOCATION: 215 WEST CAROLINA AVENUE  
SUMMERSVILLE, SC, 29483  
DORCHESTER COUNTY

SQUARE FOOTAGE:  
FOUNDATION: 1472 SQFT  
MAIN FLOOR: 1472 SQFT  
PORCH: 256 SQFT

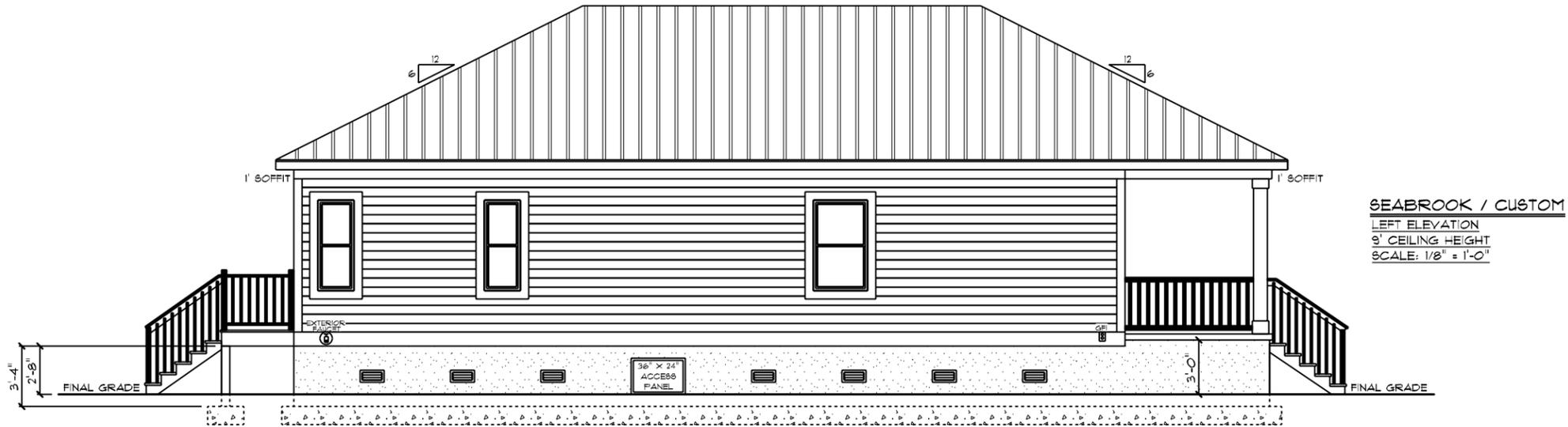
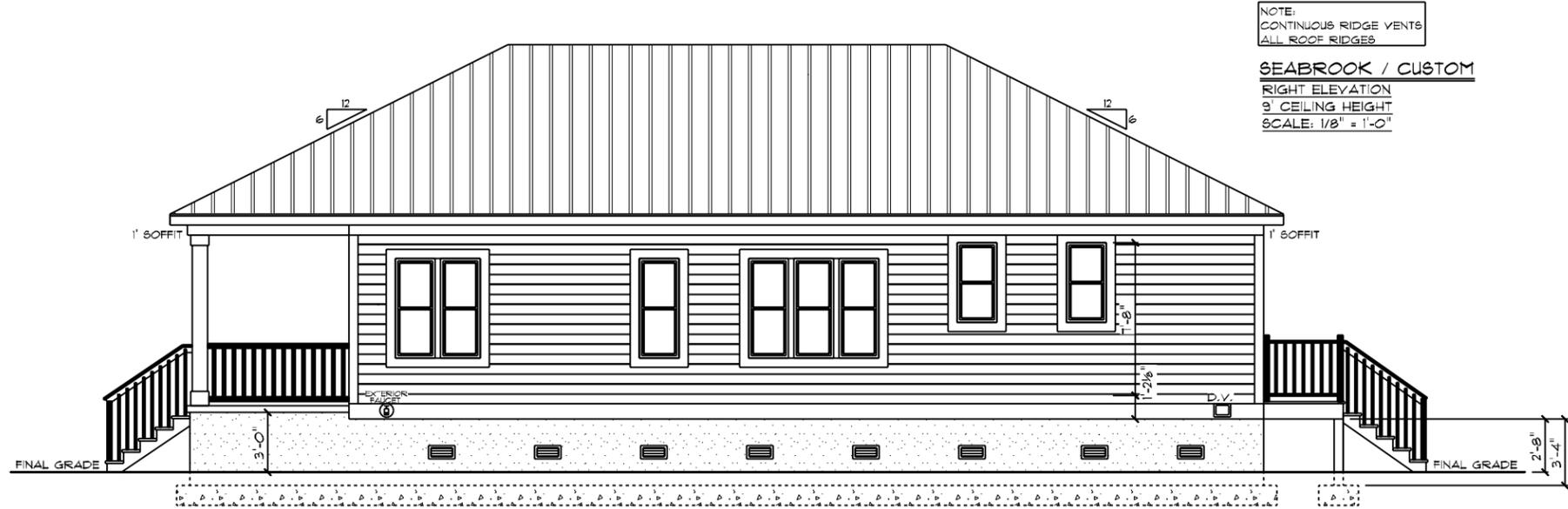
DATE: 1/31/2020

DRAWN BY: JTB

SCALE: 1/8" = 1'-0"

DWG.:

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NOTE:  
CONTINUOUS RIDGE VENTS  
ALL ROOF RIDGES

**SEABROOK / CUSTOM**  
RIGHT ELEVATION  
9' CEILING HEIGHT  
SCALE: 1/8" = 1'-0"

**SEABROOK / CUSTOM**  
LEFT ELEVATION  
9' CEILING HEIGHT  
SCALE: 1/8" = 1'-0"

DRAWN BY: JTB  
DATE: 1/31/2020  
SCALE: 1/8" = 1'-0"  
DWS: 2

SQUARE FOOTAGE:  
FOUNDATION: 1472 SQFT  
MAIN FLOOR: 1472 SQFT  
PORCH: 256 SQFT

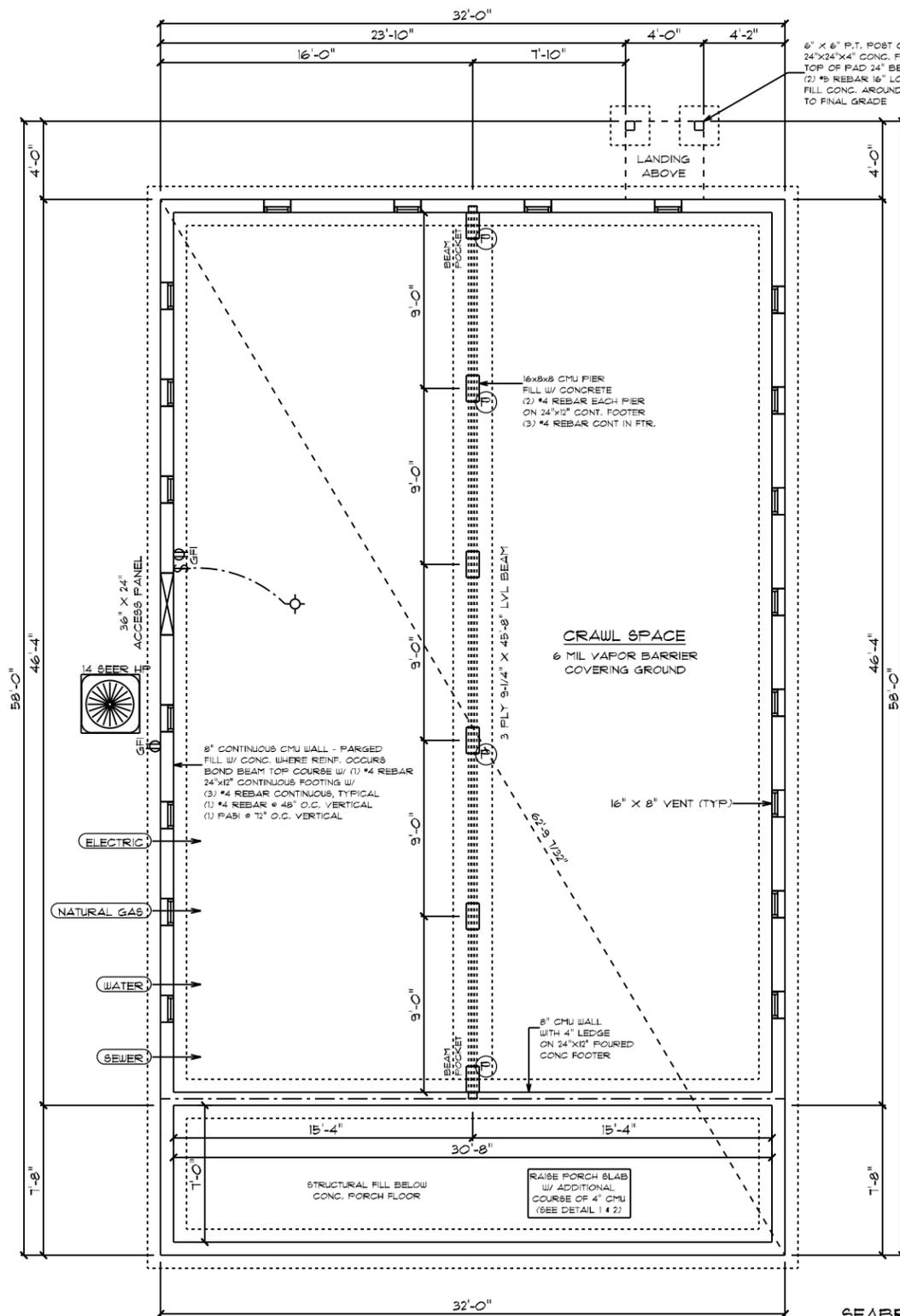
CUSTOM BUILT FOR:  
LYNNE MICHELLE ELLIOTT

JOB #: CN #:  
LOCATION: 215 WEST CAROLINA AVENUE  
SUMMERSVILLE, SC, 29483  
DORCHESTER COUNTY

BY: M. ELLIOTT

Charleston, SC  
271 Treeland Dr.  
Ladson, SC 29546  
(877) 267-3482  
www.schumacherhomes.com

*Paul Schumacher*  
**SCHUMACHER HOMES**



6" x 6" P.T. POST ON 24"x24"x4" CONC. PAD @ BOTTOM HOLE TOP OF PAD 24" BELOW FINAL GRADE (2) #5 REBAR 18" LONG - PERPEND. FILL CONC. AROUND TIMBER POST TO FINAL GRADE

**FOUNDATION NOTES:**

1. STEEL DURAWALL EVERY OTHER COURSE, (TYPICAL)
2. SIMPSON FAB1 STRAPS EVERY 6' O.C.
3. 5/8" DIA. ANCHOR BOLTS X 1" MIN. EMBEDMENT INTO MASONRY AS REQUIRED BY CODE 4' O.C. 12" FROM ALL CORNERS (2) PER CORNER
4. ANGLED REBAR EVERY 4' IN FOUNDATION WALL OUT OF #4 REBAR & 8" ANCHOR BOLTS
5. BOND BEAM AS TOP ROW W/ (1) ROW OF #4 REBAR & FB1 STRAP EVERY 6' O.C.

**PIERS:**

1. THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED 10 TIMES THEIR LEAST DIMENSION. WHEN HOLLOW CONCRETE MASONRY UNITS ARE USED FOR ISOLATED PIERS TO SUPPORT BEAMS AND GIRDERS, THE CELLULAR SPACES SHALL BE FILLED SOLIDLY WITH CONCRETE.

**NOTE:**

• SEE ENGINEER PRINTS FOR ADDITIONAL NOTES

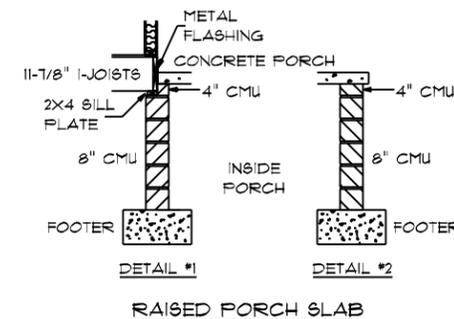
(P) = PAB1/68 INTERIOR PIER LOCATIONS

**CRAWL SPACE VENT CALCULATIONS:**

TOTAL CRAWL SPACE AREA: 1472  
 8"x16" VENT = 128 SQ. IN. = .89 SQ. FT  
 ASSUMED NET FREE AREA = .53 SQ. FT. PER VENT  
 TOTAL SQ. FT. VENTILATION NEEDED:  
 1472 / .53 = 9,813  
 9,813 / .53 = 19 TOTAL VENTS.

**GENERAL ELECTRICAL NOTES:**

- GFI'S REQUIRED IN CRAWL SPACE @ ACCESS PANEL AND @ AIR HANDLER/FURNACE - ATTIC
- LIGHTS TO BE WITHIN 6' OF ACCESS PANEL AND @ AIR HANDLER/FURNACE - ATTIC
- WIRE AIR HANDLER/FURNACE - ATTIC
- ELECTRICAL PANEL TO BE GROUNDED TO THE OUTSIDE



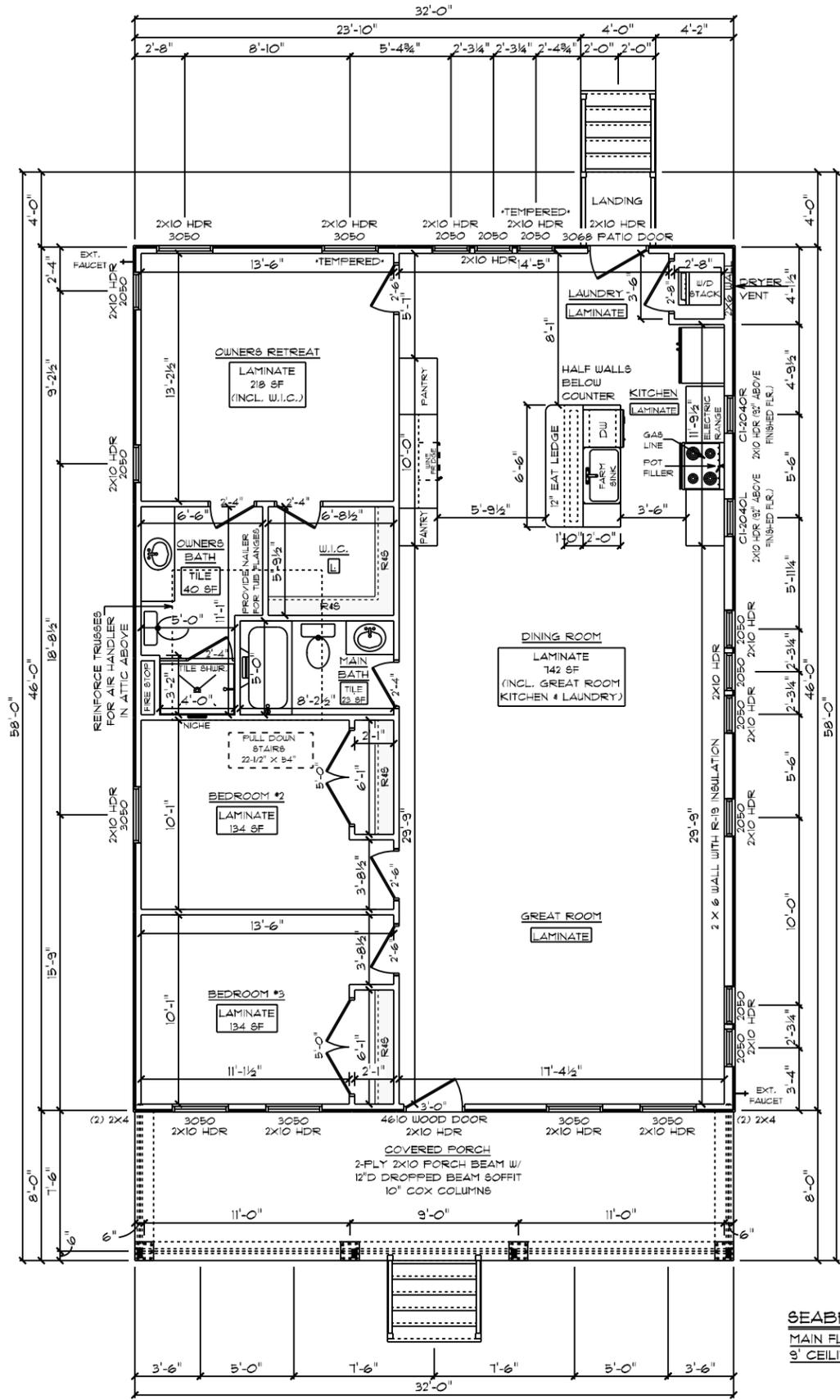
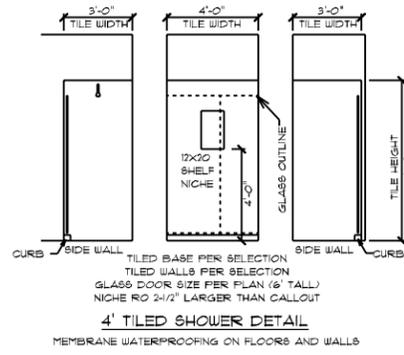
**SEABROOK / CUSTOM FOUNDATION PLAN**

SQUARE FOOTAGE:  
 FOUNDATION: 1472 SQFT  
 MAIN FLOOR: 1472 SQFT  
 PORCH: 256 SQFT

CUSTOMER BUILT FOR:  
 LYNNE MICHELLE ELLIOTT  
 JOB #: 211  
 LOCATION: 215 WEST CAROLINA AVENUE  
 SUMMERSVILLE, SC, 29483  
 DORCHESTER COUNTY

Charleston, SC  
 2711 Treeland Dr.  
 Ladson, SC 29546  
 (877) 267-3482  
 www.schumacherhomes.com





• SMALLEST DOUBLE HUNG WE CAN GET THAT MEETS EGRESS IS A 2660 OR A CASEMENT WINDOW C1-24411 (MEETS EGRESS WITH CLEAR OPENING HARDWARE).

• LOCATE ELECTRIC TANKLESS WATER HEATER.

• VERIFY VANITIES. ONLY 12" OVERALL WERE ADDED.

• ADD 4X4 LANDING W/ STAIRS TO CONTRACT.

- GENERAL FRAMING NOTES:**
- DRYWALLED OPENINGS TO BE 1'-0" HEIGHT UNLESS OTHERWISE NOTED
  - HEADERS TO BE 2-PLY 2X10 W/ (1) KING & (2) JACK STUDS UNLESS OTHERWISE NOTED
- PLAN NOTES:**
- SMOOTH CEILINGS THROUGHOUT HOME
  - PAINTED TRIM
  - 5-1/4" BASEBOARDS
  - 3-1/4" CASING ON INTERIOR DOORS AND WINDOWS HAVE DRYWALLED RETURNS
  - 2-PANEL HOLLOW CORE MOLDED INTERIOR DOORS
  - SILVERLINE LOW-E VINYL WINDOWS W/ HEAT REFLECTIVE SOLAR GLAZING
- FLOORING NOTES:**
- ALL FLOORING BREAKS OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS OTHERWISE NOTED
  - FLOORING SQUARE FOOTAGES INCLUDE CLOSETS RELATIVE TO THE AREA UNLESS OTHERWISE NOTED
  - SOME FLOORING SQUARE FOOTAGES MAY INCLUDE HALLS OR AREAS THAT CONNECT WITHOUT WALL SEPARATION IF THE SAME FINISH IS CONTINUED

**SEABROOK / CUSTOM**  
 MAIN FLOOR PLAN  
 9' CEILING HEIGHT

CHARLESTON, SC  
 271 Treeland Dr.  
 Ladson, SC 29546  
 (811) 267-3482  
 www.schumacherhomes.com

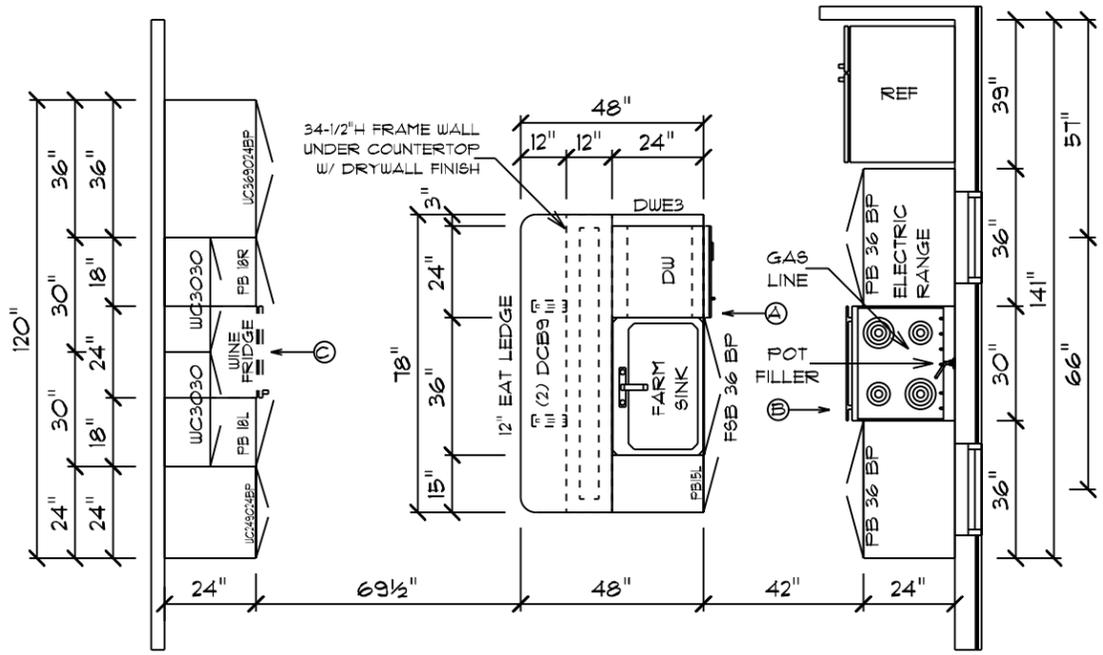
**SCHUMACHER HOMES**

CUSTOM BUILT FOR: LYNNE MICHELLE ELLIOTT  
 JOB #: 1011  
 LOCATION: 215 WEST CAROLINA AVENUE, SUMMERSVILLE, SC, 29483, DORCHESTER COUNTY

DATE: 1/31/2020  
 SCALE: 1/8" = 1'-0"  
 DRAWN BY: JTB  
 CHECKED BY: JTB  
 DWS: 6

SQUARE FOOTAGE:  
 FOUNDATION: 1472 SQFT  
 MAIN FLOOR: 1472 SQFT  
 PORCH: 256 SQFT

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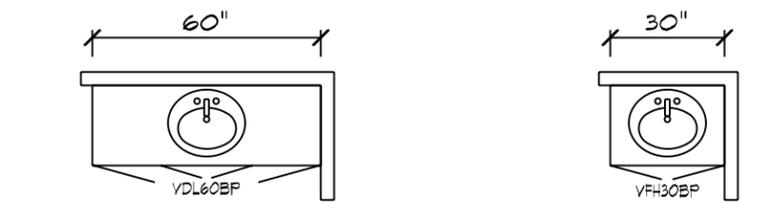


- CABINET NOTES:**
- KITCHEN**
- CAMBRIDGE BIRCH CABINETS W/ TRADITIONAL OVERLAY
  - 2-1/4" KITCHEN CABINET CROWN MOLDING
  - QUARTZ COUNTERTOPS
  - 36" WHITEHAVEN FARM SINK (SINGLE BOWL)
  - BRUSHED NICKEL PULLS - DRAWERS
  - BRUSHED NICKEL KNOBS - DOORS
- BATHS**
- CAMBRIDGE BIRCH CABINETS W/ TRADITIONAL OVERLAY
  - GRANITE COUNTERTOPS
  - BRUSHED NICKEL PULLS - DRAWERS
  - BRUSHED NICKEL KNOBS - DOORS

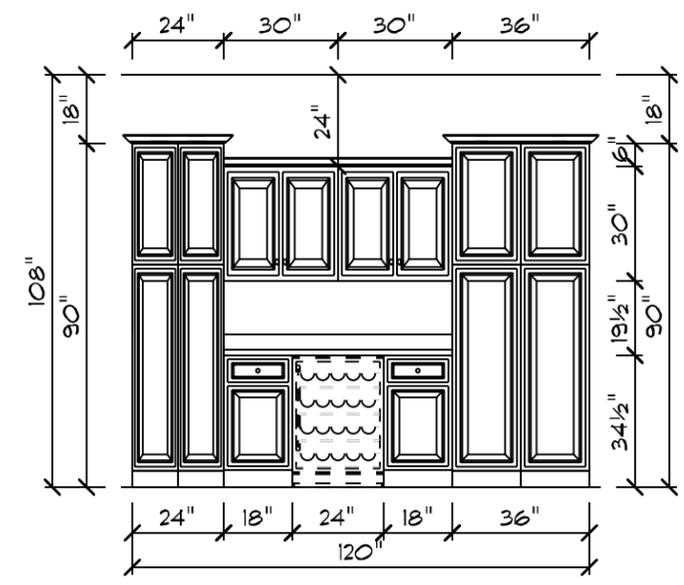
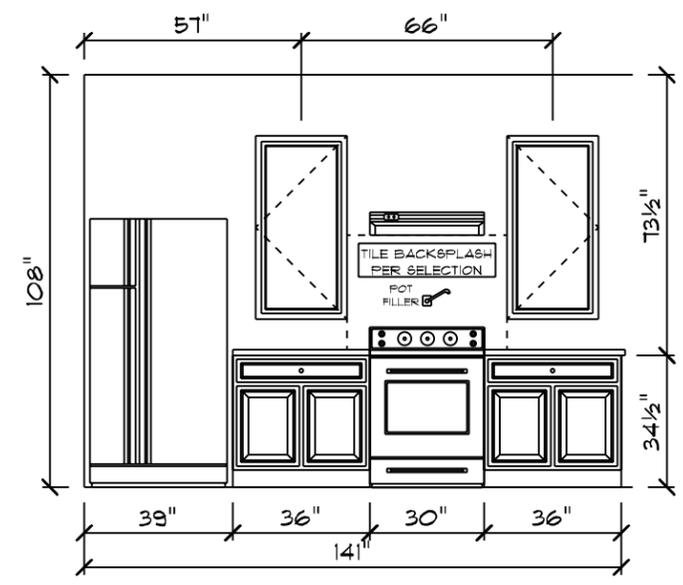
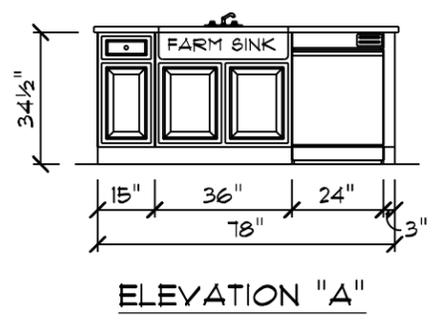
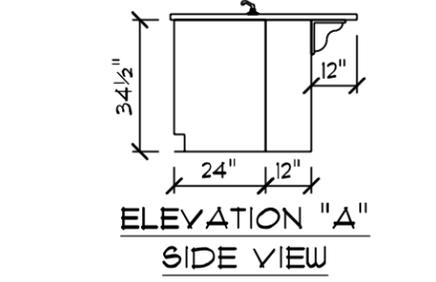
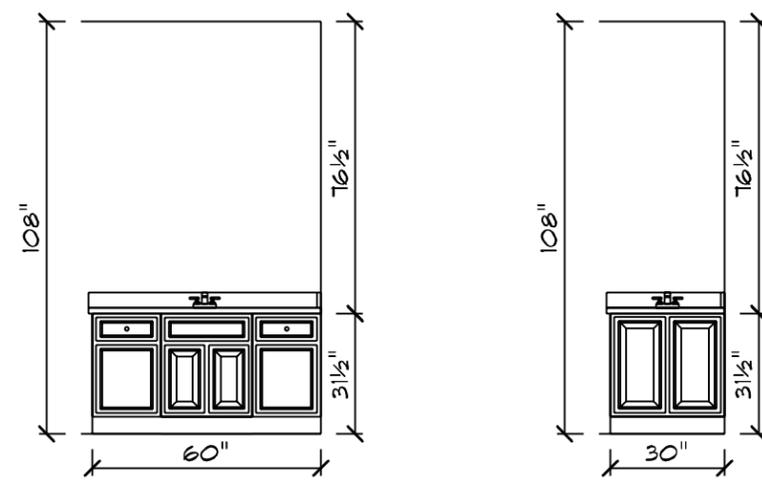
**SEABROOK / CUSTOM  
CABINET PLAN**

NOTE: CABINET DRAWING DIMENSIONS ACCOUNT FOR 1/2" OF DRYWALL

\* VERIFY RANGE HOOD  
\* ONLY 12" WERE ADDED TO VANITIES FROM STANDARD.



**OWNERS BATH**      **MAIN BATH**



**CHARLESTON, SC**  
271 Treeland Dr.  
Ladson, SC 29546  
(811) 267-3482  
www.schumacherhomes.com

**SCHUMACHER HOMES**

CUSTOM BUILT FOR: LYNNE MICHELLE ELLIOTT  
JOB #: 11130  
LOCATION: 215 WEST CAROLINA AVENUE  
SUMMERSVILLE, SC, 29483  
DORCHESTER COUNTY

SQUARE FOOTAGE:  
FOUNDATION: 1472 SQFT  
MAIN FLOOR: 1472 SQFT  
PORCH: 256 SQFT

DATE: 1/31/2020  
SCALE: 1/4" = 1'-0"  
DRAWN BY: JTB  
JOB: 11130

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▼ CUSTOMIZE FLOOR PLAN

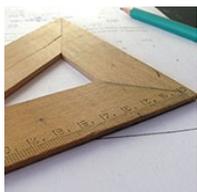
▼ ROOM DESIGNS



**AWARD WINNING DESIGN**

We work with the nation's leading architects to bring you the latest in design trends. From open floor plans to closets the size of bedrooms, walk-in pantries, a home office or an in-law suite- we have you covered. Working together with our in-house team of 40+ designers we are constantly striving to be on the cutting edge, incorporating homeowner requests with emerging trends.

Quantity      Unit Price      Price



LAYOUT CHANGE

1      \$850.00      \$850.00

Flip the Owner's Retreat, Owner's Bath and Main bath to the left side of the home into previous Bedroom #2 and Bedroom #3 space. Bedroom 2 & 3 will move to the front left side of the home. Main bath will be 8X5 and move horizontal against Bedroom #2 back wall, remaining space above becoming Owner's WIC bath space. Owner's bath will be appx 6'X11 and layout will be 4' tile shower on the front wall (priced separately) followed by the included water closet and 4' vanity (additional vanity priced separately). Move the kitchen into previous Owner's Bedroom location keeping included base cabinets lining the right wall Stackable washer and dryer will be at the right back corner of kitchen cabinet run followed by the refrigerator, 3' of base cabinets, 30" range, 3' of base cabinets follow, no upper cabinets on right wall the will move to left wall added cabinet run. Island will be appx 3'6" to the left of cabinet run. Across from island on left wall of kitchen will be 5' of base cabinets (all cabinet additions from included base plan priced separately), with space for a 24" wine cooler (provided by customer) Adding 2 windows to either side of the stove (\*priced separately). Great Room will be on the front right ILO standard kf

▼ FOUNDATION & FRAMING

 Treat lumber for exterior is not a #1 material and will have normal defects Charleston office front stairs on treated



**OSB WALL SHEATHING**

When comparing to foam board, OSB has much more structural integrity. When siding is installed on your home we are putting it over wood as opposed to over foam board. The stronger wall minimizes wavy siding. When foam board is used, it's easy to puncture or break during application and therefore leaves a lot of gaps and areas for air penetration. We also include high performance house wrap on all exterior walls.

Quantity      Unit Price      Price



FOUNDATION

1      --      Included

Your home includes a 40 inch tall block crawl space foundation with a parged exterior surface on all four sides. The footings are 24 inches wide by 8 inches thick with fiber reinforced concrete.

Customer understand that Crawl space can have high Humidity; it is recommended to keep vents open and run a box fan or a Dehumidifier to control moisture; this is not Schumacher Homes responsibility as we can't control the weather: Porches in Charleston are block and concrete; no decking for warranty purposes Grade will be showing 32" block



FRAMING

1      --      Included

Your home will include 2" X4" wall framing at 16" on center for both interior and exterior walls with a double top plate which adds to the structural integrity of your home. Our first floor ceiling height are 9 ft. We use 2" X 10" floor joist 16" on center and 2" X 10" header material on all bearing walls to support the structurally engineered roof system.

All drywall opening on first floor 7'8" Customer understand that trusses are not built for storage only roof load and Schumacher Homes is not responsible for ceiling/truss issues if they store items in truss area



SUBFLOOR

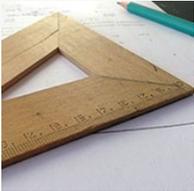
1

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Included

We build with AdvanTech® flooring for award winning performance you can rely on. Specifically engineered to combine industry-leading strength, superior, moisture resistance and installation ease. AdvanTech® flooring is the "FLAT OUT BEST" for a quiet, high performance floor. Most subflooring when exposed to water tends to swell and break down resulting in cracked ceramic tile or buckled hardwood, not with AdvanTech®. We even take it one step further and nail, screw and glue to reduce flooring squeaks.

Move the Beam in crawl to the center and use LVL's 9-1/4 as the beam, change floor joist to 11-7/8 TJI 16" on center ILO standard each beam will have a block pier at the end of block wall Standard step out of house This will eliminate many piers and a beam in crawl per GM-----Air handler will go in attic



2X6 EXTERIOR WALL ON RIGHT WALL

1

\$650.00

\$650.00

2x6 exterior wall on right wall or kitchen /Great room /dining room wall to allow for pot filler will also have R-19 in this wall ILO standard kf

▼ HOME OPTIONS

▼ EXTERIOR

 Parging- Pure White SW7005

Quantity Unit Price Price



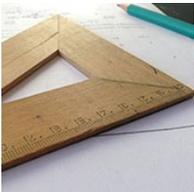
INCLUDED SOFFITS, FASCIA AND DOWNSPOUTS

1

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Included

The exterior finish on your home will include vinyl ventilated soffit, aluminum fascia, seamless aluminum gutters and downspouts in white.



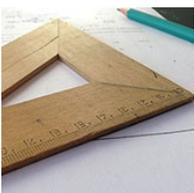
FALSE TRIPLE DORMER

1

(\$1,200.00)

(\$1,200.00)

Credit False Triple Dormer on Front of home ILO standard kf



FIBER CEMENT BOARD

1

\$15,360.00

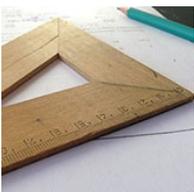
\$15,360.00

Fiber Cement lap siding ILO included vinyl Kf

Soffit and fascia remain included



 Siding Color - Wall Color - Pure White



METAL ROOF

1

\$28,500.00

\$28,500.00

Standing Seam Metal Roof with box edges ILO included architectural shingle KF

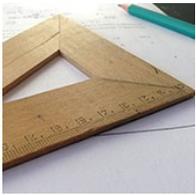


 Metal Roof Color - Metal roofs - Dark Bronze



INCLUDED FRONT ELEVATION WRAPPED WINDOW 1 -- Included

The wrapped window(s) on the front of your Schumacher Home will be determined by the elevation you have chosen and will match the color of your trim.



2' WINDOWS 1 \$0.00 \$0.00

2' width windows ILO included 3' all windows kf or small width that will allow egress

Construction Detail



SDL WINDOWS 4 \$250.00 \$1,000.00

SDL windows on the front of the home. 4 windows total. ILO standard kf



WINDOWS. 1 -- Included

Your windows will be Ply-Gem Low-E glass, energy efficient, double hung white vinyl windows that are virtually maintenance free and tilt in for easy cleaning. The windows on the front of your home include internal grids and the sides and rear do not have grids. All operable windows will include screens and the inside will be drywall wrapped with a window sill.

Windows will change to double hung White Silverline windows for Charleston area ILO included Plygem kf



ADDITIONAL WHITE VINYL WINDOW WITHOUT GRIDS (PER WINDOW). 10 \$389.00 \$3,890.00

Your windows will be Ply-Gem Low-E glass, energy efficient, double hung white vinyl windows that are virtually maintenance free and tilt in for easy cleaning.

Two added to rear elevation, Eight added to right elevation



6'8" WOOD FRONT DOOR 1 \$1,056.00 \$1,056.00

4610 Wood Door - Fir

Painted black

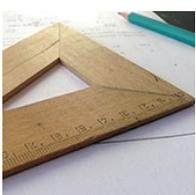


ADDITIONAL SINGLE DOOR (FULL CLEAR GLASS) 1 \$964.00 \$964.00

Additional door prices include an exterior light fixture & switch, an additional GFI outlet, and steps to grade.

single 3' glass door and place on the back right wall of kitchen next to stackable washer and dryer. 2 2050 windows to the right of patio door (priced separately)

▼ INTERIOR



PANTRY CABINETS 1 \$4,950.00 \$4,950.00

Add (1) 2' pantry cabinet UC249024BP to the left side of wine cabinet run. Pantry cabinet should line up with island cabinet run on right elevation. Add (1) 3' pantry cabinet UC369024BP to the right side of wine cabinet run ILO standard kf

Quantity Unit Price Price



LEVEL 2 MARSH KITCHEN CABINETS

1

\$876.00

\$876.00

Level 2 option includes Birch Stained or Painted cabinetry with traditional overlay, recessed square panel doors manufactured by family owned Marsh Cabinets, and will include decorative hardware. Cabinets come in a variety of stain or painted colors and have vinyl coated interiors for easy cleaning and low maintenance. For added architectural appeal your upper kitchen cabinets feature staggered height end cabinets along with 2-1/4" crown molding. All doors feature concealed 6-way adjustable hinges with soft-close function. Unlike most other cabinets, Marsh has a limited lifetime warranty.

Wine cabinet wall- Cambridge Birch Greystone



Painted Cambridge Birch Alpine Recessed Panel Traditional Overlay Stove wall and island



ADDITIONAL BASE CABINET PER INCH - LEVEL 2

48

\$42.80

\$2,054.40

moving the extra 1' not used from base plan to left wall in kitchen and adding 4' of additional base cabinet to total a 5' base cabinet run on this wall with included level 1 granite counter. 24" wine cooler will be on this base run.



INCLUDED MARSH CABINETRY HARDWARE (ENTIRE HOME)

1

--

Included



Included Contemporary Metal Pull - Brushed Nickel - BP5213396195 - drawers



Included Traditional Brushed Nickel Knob - BP8041195 - doors



OPTIONAL VANITY BASE PER INCH - LEVEL 2 (MARSH)

90

\$2.60

\$234.00

both bathrooms



Painted Cambridge Birch Alpine Recessed Panel Traditional Overlay



ADDITIONAL VANITY BASE PER INCH - LEVEL 2 (MARSH)

24

\$46.80

\$1,123.20

Added to Owner's bath



Painted Cambridge Birch Alpine Recessed Panel Traditional Overlay



LEVEL 2 QUARTZ IN PLACE OF INCLUDED

1

\$2,390.00

\$2,390.00



Quartz level 2 - Helix



Square eased countertop edge



INCLUDED LEVEL 1 BATHROOM GRANITE

1

--

Included

Your new home includes Level 1 granite countertops in the bathrooms with white vitreous china sink. For all their other qualities, what really stands out about granite counters are their gorgeous appearance. The natural appeal of the stone, with its textured, gently-hued beauty, is unsurpassed by most any other material. Granite is rock-hard, literally. It's second only to diamond in terms of the hardness of natural materials.



Square eased countertop edge



Granite level 1 - Crema Pearl



LEVEL 2 LAMINATE

1206

\$6.50

\$7,839.00

If you love the look of real wood, but have an active lifestyle this is more resistant to scratching and denting than wood flooring. A thicker product which provides superior design, texture and color which looks and sounds like real wood.

Throughout the home except for full baths and laundry



Level 2 laminate - Restorations Hillside Hickory Acorn



LEVEL 3 FLOOR TILE

58

\$12.20

\$707.60

Opens up the opportunity to select tiles in a more modern format that is extremely popular in the design world. The wood plank tile also has an impressive measure of durability that can stand against high heel imprints and scratches from paws of our beloved pets.

Both Baths



Grout - Platinum



Level 3 floor tile - Marble Falls Gray Pearl 18x18



LEVEL 4 BACKSPLASH PER SQ. FT.

6

\$52.00

\$312.00

Continues to offer natural stone subway options, but with the more sleek and contemporary feel of polished marble. Level 4 also presents options for a picturesque full mosaic backsplash with a blend of natural stone and glass.

On right wall above range only to hood and ends at the end of added windows on either side

 Decorative metal edge for Tile - brushed nickel



 Grout - Bright White



 Level 4 backsplash - First Snow Elegance 3x6



SWITCH PLATE AND OUTLET COVERS (ENTIRE HOME)

1

--

Included



 White switch plate and outlet covers



TRIM MATERIAL

1

--

Included

Your interior trim package includes white painted doors, MDF woodwork with 3 1/4" colonial casing around the doors and the base will be 5 1/4". All windows will be drywall wrapped and will have a window sill of the selected trim. Passage ways between rooms will be drywall without casing. All exterior doors will have one or two wood steps. The garage door into the house will match your selected interior door style (per plan).

All shelving to be white wire ventilated



TWO PANEL SQUARE HOLLOW CORE INTERIOR DOORS (ENTIRE HOME)

1

--

Included

The included white interior doors are 2-panel hollow core molded.



DOOR KNOBS

1

--

Included

Included doorknobs are a round knob with a satin nickel finish. All exterior doors come equipped with a dead bolt.



HANCOCK ENTRY KNOB (SATIN NICKEL)

1

--

Included

Included entry doorknobs are a round knob with a satin nickel finish. All exterior doors come equipped with a dead bolt.



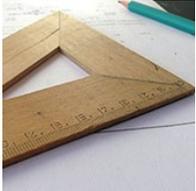
PEX WATER SYSTEM 1 -- Included

This is the latest in technology that brings you and your family the highest quality water for health and for performance. It is non corrosive and chemical free. Whereas copper corrodes over time and CPVC uses solvents/glues that give off chemicals in your water.



PLUMBING 1 -- Included

The included plumbing faucet package features chrome Delta faucets with shut-off valves at all sinks, faucets and water closets. We also include two exterior freeze-proof faucets, waterline to icemaker and the utility hookups for the washer.



ELECTRIC TANKLESS WATER HEATER 1 \$3,500.00 \$3,500.00

Electric tankless water heater ILO included kf

\*\*\*\*\*Not best source of hot water don't work as well as Gas Tankless\*\*\*\* kf  
If customer select Schumacher Homes will not replace if it does not keep up with Hot Water



TUB / SHOWER 1 -- Included

Your home includes a 5' fiberglass one piece tub and shower combination. One piece units are maintenance free whereas multi-piece units require caulking and continuous maintenance.

Shower doors are not included with home for shower or tub shower



ELONGATED WATER CLOSETS (EACH) 2 -- Included

An elongated bowl is approx. two inches longer than a round bowl which results in a larger target area thus improving sanitary conditions.



INITIAL GAS CHARGE 1 \$580.00 \$580.00

The base price of your Schumacher Home is calculated on electric. If you are switching to "any" gas in your new home you will be required to select this option.



GAS LINE TO RANGE 1 \$277.00 \$277.00



LELAND SINGLE HANDLE PULL-DOWN KITCHEN FAUCET (ARTIC STAINLESS) 1 \$303.00 \$303.00



TRADITIONAL POT FILLER FAUCET (STAINLESS STEEL) 1 \$1,208.00 \$1,208.00

Can't be on exterior wall in Charleston Priced 2x6 wall for this item to make it work KF



INCLUDED LINDEN LAVATORY FAUCET (CHROME)

2

--

Included

Two handle center set lavatory faucet with metal pop-up.



INCLUDED LINDEN SHOWER ONLY FAUCET (CHROME)

1

--

Included

Single lever handle for ease of temperature control.



INCLUDED LINDEN TUB/SHOWER FAUCET (CHROME)

1

--

Included

Single lever handle for ease of temperature control.



36 INCH WHITEHAVEN FARM SINK (SINGLE BOWL)

1

\$1,930.00

\$1,930.00

The Whitehaven apron-front kitchen sink features a streamlined and versatile farmhouse style to complement any decor. A large single basin accommodates large pots and pans, while the sloped bottom helps with draining and cleanup. Crafted from enameled cast iron, this sink resists chipping, cracking, or burning for years of beauty and reliable performance



4' TILE SHOWER WITH TILE FLOOR - 3 WALLS TILE WITH SEMI-FRAMELESS DOOR (LEVEL 3)

1

\$5,535.00

\$5,535.00

This 4' wide shower will include 3 walls tiled 7' in height with a tile floor. This also includes a clear glass semi-frameless shower door, which is available in Chrome, Brushed Nickel and Venetian Bronze. This tile shower will include a recessed shelf niche (12"x20").

Owner's Bath Customer understand that tile showers take general maintenance and that this is their responsibility cleaning /repair of grout joint caused by shrinkage / sealant of tile/grout and caulk same true with shower enclosure



🔧 Level 3 wall tile - Marble Falls Gray Pearl 10x14



🔧 Shower door finish - brushed nickel



🔧 Grout - Platinum



🔧 Shower floor tile - Severino Cenere Fog 2x2



🔧 Level 3 bullnose - Marble Falls Gray Pearl 3x10



INCLUDED EXTERIOR PAINT

1

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Included

Front porch posts and rails will be wood (per plan) and painted or stained to the color of your choice.



🖌️ Pure White



PAINTING

1

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Included

All interior walls will be painted with a low VOC flat finish paint manufactured by the industry leader, Sherwin Williams. Interior walls include two coats of finish paint. The exterior doors will be finished with two coats of exterior paint, and the garage walls (per plan) are completely painted



🖌️ Wall Color - Repose Gray



LIGHTING

1

--

Included

Your home will include four recessed lights in your kitchen, your choice on the location. The interior lighting will be in a brushed nickel finish. The exterior lighting package is in an antique bronze finish and includes one coach light at the front door, two garage coach lights (per plan) and one light at the rear/side door.



FRESNEL PENDANT LIGHT (BRUSHED NICKEL) (EACH)

3

\$291.00

\$873.00

Width/Diameter: 12-1/8", Height: 10-1/2", P5188-09

over island



INCLUDED BRAVO DINING ROOM FIXTURE (BRUSHED NICKEL)

1

--

Included

Width/Diameter: 24", Height: 21", P4622-09



INCLUDED BRAVO CLOSED FOYER FIXTURE (BRUSHED NICKEL)

1

--

Included

Width/Diameter: 13-1/4", Height: 5-7/8", P3925-09ET



INCLUDED BRAVO LAUNDRY ROOM FIXTURE (BRUSHED NICKEL)

1

--

Included

Width/Diameter: 13-1/4", Height: 5-7/8", P3925-09ET