



**TOWN OF SUMMERVILLE
COMMERCIAL DESIGN REVIEW BOARD – AGENDA
Summerville Municipal Complex
Annex Building 2nd Floor Training Room
January 16, 2020 4:00 p.m.**

Approval of December 19, 2019 meeting Minutes

APPLICANTS –

For additional information regarding this public meeting please contact the Planning Department at 843.851.5200. All applications and related documents for this public meeting are available for review at the Planning Department during regular business hours, Monday–Friday, 8:30–5:00 excluding Town of Summerville holidays.

OLD BUSINESS:

- 1. JP Morgan Chase – Development of a new Chase Bank Branch at 1300 N Main Street (G-B)**
The applicant is requesting Preliminary Approval
- 2. 605 Old Trolley Road – Redevelopment of existing carwash facility into office space (UC-MX)**
The applicant is requesting Preliminary Approval

NEW BUSINESS:

- 1. 823 W 5th North Street – Dorchester County Sheriff’s Office placement of 3 Modular Units (UCMX)**
The applicant is requesting Conceptual Review
- 2. 4234 Ladson Road – New Caliber Collision car repair facility (UC-MX)**
The applicant is requesting Conceptual Review
- 3. Signs**

MISCELLANEOUS:

- 1. Election of Officers**

ADJOURN:

Posted December 12, 2019

Special Commercial Design Review Board Minutes
Thursday, December 19, 2019
Summerville Municipal Complex –Annex Building Training Room

Members Present:

Bill Beauchene
Mildred Blanton
Chris Campeau
Michael Gregor
Jennifer Palmer
Candace Pratt
Carolyn Rogerson

Staff Present:

Tim Macholl, Zoning Administrator
Jessi Shuler, Director of Planning
Bonnie Miley, Assistant Town Engineer
Rich Palmer, Building Official

Items on the agenda:

OLD BUSINESS:

No Old Business

NEW BUSINESS:

1. 500 Boone Hill Road – Proposed 1,250 square foot addition to an existing gas station (G-B)
2. 605 Old Trolley Road – Redevelopment of existing carwash facility into office space (UC-MX)
3. Signs

MISCELLANEOUS:

1. Election of Officers
-

The meeting was called to order at 4:01 pm by the Chairman.

Mr. Campeau asked for consideration of the November 21, 2019 meeting minutes. Mr. Beauchene made a motion for approval of the minutes as presented and Ms. Pratt seconded. The motion carried 7-0.

OLD BUSINESS

No Old Business

NEW BUSINESS

1. **500 Boone Hill Road** – The first item under New Business is a request for Final Approval of a proposed 1,200 square foot addition to the existing gas station located at 500 Boone Hill Road. Mr. Mike Taylor of Taylor Coastal construction came to the table to discuss the proposal. Mr. Taylor stated that he had received staff's comments and that he had already started making changes to the plans. The plan is to add approximately 1,200 square feet. The intent is that the addition would match the existing materials on the façade. He had already removed the four angled parking spaces to the side and added the landscaped island along Boone Hill. They will be adding landscaping to the rear to meet the new ordinance. Mr. Beauchene asked where the dumpsters were going to be put. MR. Taylor stated that he wasn't sure at this time, but they would find a place for them. Mr. Beauchene explained that the dumpster enclosure is required to be constructed to match the building. He also requested that the doors of the enclosure have a metal frame. It was suggested that the dumpster enclosure go on the left side of the side where the existing depressed curb is located. The discussion moved to the colors of the building. Mr. Taylor addressed the staff comment concerning the garish color. He explained they intended to utilize the existing BP color scheme. The board asked if they would consider changing it out to a gray or white color. Mr. Taylor indicated that he would want to ask his client before agreeing to anything on the color due to branding issues. Mr. Gregor asked if the new island along the front would be planted. Mr. Taylor responded that it would be landscaped appropriately. Lighting wand mechanicals were discussed, with the board reminding the applicant that all roof top mechanicals will need to be fully screened. It was recommended that the roof top mechanicals be painted to match the façade to better blend in. Mr.

Taylor asked for clarification on the location for the dumpster enclosure. It was explained that it should be located on the left side of the plan where the depressed curb is located.

Mr. Gregor made a motion for Final Approval with Comments noted. The motion was seconded by Ms. Rogerson. The motion passed unanimously.

2. 605 Old Trolley Road – The second item under New Business is a conceptual review for the proposed renovation and reuse of the existing carwash located at 605 Old Trolley Road, into about 6,000 square feet of office space. Ms. Chris Garcia, Owner, came to the table to discuss the proposed plans with the board. Ms. Garcia explained that she has been working on the plans for most of the year now and that the existing structure is about 4,000 sf and that they intend to add about 2,000 sf to the back to create more space for approximately 1-3 offices. The canopies in the front would be removed and the overall property cleaned up. The exterior of the building would be finished with Board and Batten, bronze store fronts and canopies over the doors. Mr. Gregor asked to confirm that this was for conceptual review and explained that no vote would be taken on the project at this time. Mr. Beauchene suggested going with a more residential look, and that the windows should be taller than they are wide. The board felt that the architecture really needed some additional work, and that it would be best to hire an architect to convey the design that the pictures that Ms. Garcia provided. They explained that an engineer cannot do architectural work. Mr. Campeau and Mr. Beauchene suggested that the metal roof should be retained, and that a “porch” detail as opposed to awnings should be used. Ms. Palmer expressed concerns about the plans, and that they were not conveying the design intent for the project as described by Ms. Garcia. Ms. Garcia explained that she had some issues with her design professionals and that she was on her third person working on the plans. Mr. Beauchene suggested that if board and batten are going to be used a brick water table should be used to ground the building. He explained that this is required by the UDO. Ms. Garcia was concerned about using brick. Ms. Palmer suggested that the brick should be painted to match the upper portion of the building. Discussion continued on how the design could be executed to better match the images provided by the applicant. The Board strongly recommended that it is important to work with a professional architect to get plans that will represent her design, which then could be approved by the Board. Ms. Pratt, Mr. Campeau and Ms. Palmer all suggested removing the cupola from the top of the building. Mr. Gregor stated that the Boards likes the idea, the plans just did not help move it along to approval. It is very important to have a professional architect do the drawings for submittal to the board.

This being a Conceptual Review there was no vote taken.

SIGNS:

No Signs for discussion

MISCELLANEOUS:

1. Election of Officers – The Board discussed this and it was suggested that it may be best to wait until the next meeting to do the nomination and vote.

Mr. Beauchene made a motion to table the Election of Officers until January. The Motion was seconded by Ms. Rogerson. The Motion passed unanimously.

ADJOURN:

There being no further business, the meeting was adjourned at 5:04 PM on a motion by Ms. Rogerson and a second by Ms. Palmer. The motion passed unanimously

Respectfully Submitted,

Date: _____

Tim Macholl
Zoning Administrator

Approved: Chris Campeau, Chairman _____; or,

Michael Gregor, Vice Chairman _____

STAFF REPORT
CDRB Meeting
January 16, 2020 at 4:00 p.m.

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: January 9, 2020

GENERAL INFORMATION

Project/Applicant: Chase Bank
Property Owner: Canal St. Properties, Inc.
Requested Action: The applicant is requesting Final Approval of the redevelopment of the Burger King property into a Chase Bank branch
Requested Approval: Final Approval
Existing Zoning: G-B General Business
Location: 1300 N Main Street
Existing Land Use: Burger King
Last Meeting Date: Preliminary Approval 11/2019

Ordinance Reference:

Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based on preliminary staff review, staff has the following comments. The parking count detail on C2-00 is still reflecting the parking requirement for the old Zoning Ordinance and must be updated. Parking far exceeds the required parking requirement. A parking justification letter has been provided and staff is not comfortable approving 400% of the maximum parking requirement. The maximum allowed parking is 200% of the parking requirement, or 12 parking spaces, anything above the maximum of six must be constructed with pervious materials approved by Town Staff. This will increase the pervious parking, if the requested 26 spaces are approved, to 20 spaces constructed with Staff approved pervious materials. The plan is not showing the appropriate number of pervious parking spaces. The plan shows an existing SCDOT easement, and a majority of the landscaping in it, we will need a coordination letter from DOT allowing for the planting of those materials. The Town recommends that the SCDOT outfall ditch easement be vacated. There is no drainage in the easement and it is not required. If this easement cannot be removed from the property, it needs to be shown on the landscape plan. With the overhead utility lines along the N. Main frontage, it is acceptable to swap to understory trees in lieu of canopy trees. Palms are not an acceptable alternative to canopy trees. Please revise the plans to reflect the use of understory trees. All roof top mechanicals need to be screened from view.

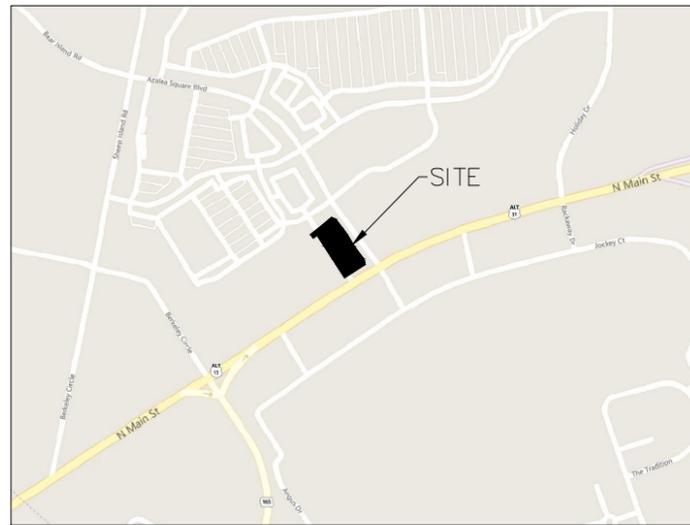
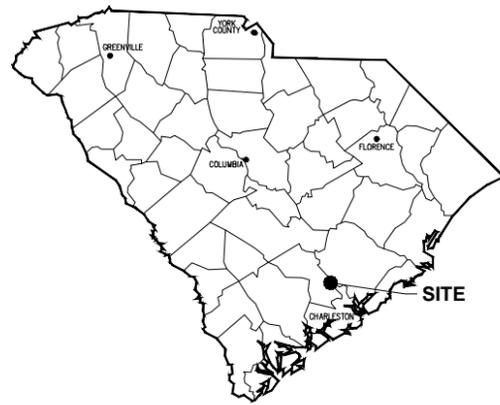
PRELIMINARY DRB PLANS FOR CHASE BANK - SUMMERVILLE

1300 N. MAIN STREET SUMMERVILLE, SC 29483

TOWN APPROVAL BOX

No.	REVISIONS	DATE	BY
6			
5			
4			
3			
2			
1			
0			

Kimley»Horn
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CHARLOTTE, NC 28204
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WWW.KIMLEY-HORN.COM



VICINITY MAP
SCALE: 1"=500'

Sheet Number	Sheet Title
C0-00	COVER SHEET
C0-01	GENERAL NOTES
C1-00	EXISTING CONDITIONS PLAN
C1-10	DEMOLITION PLAN
C2-00	SITE PLAN
C3-00	CLEARING, GRADING, AND DRAINAGE PLAN
C3-52	DRIVEWAY ENCROACHMENT PLAN AND PROFILE
C3-50	STORM SEWER PROFILES
C4-00	UTILITY PLAN
C5-00	EROSION AND SEDIMENT CONTROL PLAN
C5-80	EROSION CONTROL DETAILS
C5-81	EROSION CONTROL DETAILS
C5-82	EROSION CONTROL DETAILS
C6-00	CONSTRUCTION DETAILS
C6-01	CONSTRUCTION DETAILS
C6-02	CONSTRUCTION DETAILS
C6-03	CONSTRUCTION DETAILS
C6-04	CONSTRUCTION DETAILS
C6-05	CONSTRUCTION DETAILS
C7-00	PHOTOMETRIC PLAN
L1-00	LANDSCAPE PLAN
L2-00	LANDSCAPE DETAILS

PROJECT DESIGN TEAM

DEVELOPER
JPMORGAN CHASE BANK, N.A.
1111 POLARIS PARKWAY
COLUMBUS, OH 43240

CIVIL ENGINEER
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SURVEYOR
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ARCHITECT
BDG ARCHITECTS
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GOVERNING AGENCIES CONTACTS:

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DIRECTOR OF PLANNING
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SUMMERVILLE, SC 29483
CONTACT:
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SCDOT
DISTRICT 6
6355 FAIN BLVD., BUILDING A
NORTH CHARLESTON, SC 29406
CONTACT: WADE GROOMS
PHONE: 843-704-1667
EMAIL: GROOMSRW@SCDOT.GOV

PROFESSIONAL'S CERTIFICATION

I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SC6100000.

I HEREBY CERTIFY THAT THIS PLAN IS DESIGNED TO CONTAIN SEDIMENT ON THE PROPERTY CONCERNED AND TO PROVIDE FOR THE CONTROL OF STORMWATER RUNOFF FROM THE PROPERTY AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF ALL THE PROVISIONS ARE IN ACCORDANCE WITH THE STORMWATER MANAGEMENT AND SEDIMENT CONTROL ORDINANCE OF YORK COUNTY, SOUTH CAROLINA."

ZONING MAP

THE PROJECT SITE'S ZONING DISTRICT IS G-B PER TOWN OF SUMMERVILLE GIS.

THIS PROJECT SITE HAS A 15' FRONT BUFFER, 5' SIDE BUFFERS AND 30' BUILDING SETBACK.

TAX MAP

THE PROJECT SITE'S TAX MAP SERIES (TMS) NUMBER IS: 232-00-01-009 PER BERKELEY COUNTY GIS.

ACREAGE: 1.16 ACRES

FEMA MAP

THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANEL 4503SC0345E DATED 7/16/2017.

SCALE: AS SHOWN
DRAWN BY: GCC
DESIGNED BY: GCC
CHECKED BY: MDH



1111 POLARIS PARKWAY
COLUMBUS, OH 43240

CLIENT:

PROJECT: PRELIMINARY DRB SUBMITTAL | MEETING: NOVEMBER 21, 2019
CHASE BANK SUMMERVILLE
1300 N MAIN ST. | SUMMERVILLE | SC

COVER SHEET

DATE: 12/30/2019
PROJECT NO.: 015071022
SHEET NUMBER

C0-00



Drawing name: K:\CHA_LDE\015071_BDG Chase Bank\022 Summerville\02 - DWG\PlanSheets\C0-00 COVER.dwg Dec 30, 2019 1:51pm by: ThomasPurcell
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Release of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Drawing name: K:\CHA_LDEV\015071 BDG Chase Bank\022 Summerville\02 - DWG\PlanSheets\CD-00 COVER.dwg CD-01 GENERAL NOTES Dec 30, 2019 1:51pm by: Thomas Pucell
This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Release of and any other reference to or reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GENERAL NOTES:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, DOWNSPOUTS, GRAVEL AREAS ADJACENT TO BUILDING WALLS, UTILITY ENTRANCE LOCATIONS AND BOLLARDS IN BUILDING SIDEWALKS. ANY DISCREPANCIES FOUND BETWEEN THE BUILDING AND CIVIL PLANS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
- ACCESSIBLE PARKING SIGNS WITH A "VAN" MARKING SHALL HAVE ADDITIONAL SIGN MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY SIGN DENOTING VAN ACCESSIBILITY; REFER TO CONSTRUCTION DETAIL SHEETS.
- REFER TO CONSTRUCTION DETAIL SHEETS FOR DETAILS OF ON-SITE SIGNAGE, STRIPING, AND PAVEMENT MARKING. REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONAL INFORMATION.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL ISLANDS WITH CURB SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED.
- EXISTING CONDITIONS ARE FROM A SURVEY FILE PROVIDED BY R.B. PHARR AND ASSOCIATES, P.A. ORIGINALLY DATED 08/26/2019.
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY THE STATE DEPT. OF TRANSPORTATION, AND TOWN OF SUMMERVILLE INSPECTIONS.
- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REPLACE EXISTING CONCRETE CURBS, SIDEWALK, PAVING, AND GUTTER AS INDICATED ON PLANS AND AS NECESSARY TO CONNECT TO EXISTING INFRASTRUCTURE.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND TEMPORARY CONSTRUCTION EASEMENTS MAY BE REQUIRED.
- CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF SCDOT AND TOWN OF SUMMERVILLE.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- THE CONTRACTOR SHALL CONSTRUCT ACCESSIBLE RAMPS AT ALL INTERSECTIONS IN ACCORDANCE WITH SCDOT AND TOWN OF SUMMERVILLE STANDARDS.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- ALL OFF-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT SCDOT STANDARD SPECIFICATIONS AND DETAILS. ALL ON-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH TOWN OF SUMMERVILLE STANDARD SPECIFICATIONS AND DETAILS.
- ALL WORK MUST COMPLY WITH SOUTH CAROLINA STATE BUILDING CODE AND SOUTH CAROLINA ACCESSIBILITY CODE AS WELL AS FEDERAL, STATE AND LOCAL ACCESSIBILITY REQUIREMENTS.
- ADJACENT STREETS SHALL BE KEPT CLEAN AT ALL TIMES.

DRAINAGE:

- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - 15" DIAMETER AND LARGER: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
 - LESS THAN 15" DIAMETER: PVC SCHEDULE 40 OR HDPE - AASHTO DESIGNATION M252 TYPE S, M294 TYPE S AND MP7-97 TYPE S, SMOOTH INTERIOR/ANNULAR EXTERIOR, ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES OR SCDOT SPECIFICATION, WHICHEVER IS MORE STRINGENT. PIPE JOINTS AND FITTINGS SHALL CONFORM TO AASHTO M252 AND M294.
- ALL STORM DRAINAGE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE SPECIFIED AS CLASS IV.
- ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- ADDITIONAL SUBSURFACE DRAINAGE MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - A. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
 - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - C. EFFLUENT FROM Dewatering OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - D. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
 - E. DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
 - F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE SCDOT STANDARD DETAILS AND SPECIFICATIONS.
- THIS PLAN DETAILS PIPES UP TO 5FT FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTIONS. CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY.
- ALL STORM SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".
- STRUCTURE TOP ELEVATIONS SHOWN HERE IN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
- RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS ARE TO THE GUTTER FLOW LINE.
- DRAINAGE AS-BUILTS WILL BE REQUIRED FOR FINAL INSPECTION.
- ALL STORM CONNECTIONS SHALL BE WATERTIGHT.

UTILITY NOTES:

- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE CITY OF FLORENCE UTILITY INSPECTORS 72-HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 - 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
 - 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
 - 6" PVC SCHEDULE 40
 - 4" PVC SCHEDULE 40
 - DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151
- WATER LINES SHALL BE AS FOLLOWS:
 - 4" AND LARGER - DUCTILE IRON PIPE PER AWWA C150
 - SMALLER THAN 4" - TYPE K COPPER TUBE
- MINIMUM TRENCH WIDTH SHALL BE 3 FEET.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT ON UTILITY DETAILS.
- WATER AND SEWER MAINS SHALL BE KEPT TEN (10) FEET (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.0' COVER ON ALL WATERLINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- THE AUTHORITY HAVE JURISDICTION HAS THE RIGHT TO INSPECT ALL PRIVATE WATER SYSTEMS.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN LOCATION AND ELEVATION OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF FLORENCE UTILITY DEPARTMENT WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES CHARTED OR UNCHARTED WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE.
- ALL EXISTING UTILITIES PROPOSED TO BE RELOCATED ON THESE PLANS SHALL BE PLACED UNDERGROUND.
- ALL SANITARY SEWER AND WATER DISTRIBUTION SYSTEM WORK TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE AS REQUIRED WITH THE UTILITY PROVIDER FOR INSTALLATION OF PRIMARY ELECTRIC SERVICE AND TELEPHONE SERVICE TO THE PROPOSED BUILDINGS.
- WHEN A WATER MAIN CROSSES OVER A SEWER MAIN, THERE MUST BE EIGHTEEN INCHES OF VERTICAL SEPARATION. IF THE WATER MAIN MUST GO UNDER THE SEWER MAIN, BOTH THESE LINES MUST BE OF DUCTILE IRON FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE CROSSING WITH A TWELVE INCH VERTICAL SEPARATION. THE CROSSING OF OTHER UNDERGROUND PIPE REQUIRES A MINIMUM OF TWELVE INCHES OF VERTICAL SEPARATION. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- WHEN A WATER LINE PASSES OVER OR UNDER A STORM SEWER, VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED UNLESS WATER LINES ARE OF DUCTILE IRON OR ENCASED IN CONCRETE. A MINIMUM 6" CONCRETE PAD SHALL BE POURED BETWEEN THE TWO. DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- A FIRE INSPECTOR SHALL INSPECT THE UNDERGROUND FIRE LINE PIPING FROM THE PIV TO THE BUILDING. FOR YARD FIRE DEPARTMENT CONNECTIONS (FDCS), THE UNDERGROUND FDC PIPING MUST BE INSPECTED BEFORE IT IS COVERED UP.
- GREASE INTERCEPTOR SIZING AND DETAILS ARE TO BE INCLUDED WITH BUILDING CONSTRUCTION PLUMBING PLANS.

BACKFLOW PREVENTION NOTES:

- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CITY OF FLORENCE UTILITIES DEPARTMENT REQUIRED BACKFLOW PREVENTER.
- EACH SC DHEC / CITY OF FLORENCE UTILITY DEPARTMENT REQUIRED BACKFLOW PREVENTER ASSEMBLY IS REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
- THE DOMESTIC BACKFLOW PREVENTER SHALL BE INSTALLED PER SC DHEC / CITY OF FLORENCE REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.
- THE FIRE BACKFLOW PREVENTER FOR THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER SC DHEC / CITY OF FLORENCE REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.

RETAINING WALL NOTES

- STRUCTURAL AND SUBSURFACE DRAINAGE DESIGN FOR RETAINING WALLS ARE NOT ADDRESSED IN CIVIL PLANS BY KIMLEY-HORN AND ASSOCIATES.
- BOTTOM OF WALL ("BG") GRADES SHOWN ON THESE PLANS REPRESENT FINISHED GROUND ADJACENT TO WALL. TOP OF WALL ("TG") ELEVATIONS ASSUME FINISHED GROUND ADJACENT TO WALL. REFER TO RETAINING WALL PLANS (BY OTHERS) FOR ALL TG AND BG ELEVATIONS, DRAINAGE AND CONSTRUCTION METHODS.
- RETAINING WALLS WITH ELEVATION DROP EXCEEDING 2'-6" IN HEIGHT SHALL HAVE GUARDRAILS OR FENCING FOR FALL PROTECTION.

TREE PROTECTION NOTES:

- THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES. IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE.
- WHEN ROOT PRUNING IS NECESSARY, CUT ROOTS CLEANLY USING A DISC TRENCHER AND IMMEDIATELY COVER ALL ROOT CUT SURFACES LARGER THAN TWO INCHES IN DIAMETER WITH TREE WOUND DRESSING. USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT TO PROPOSED CURB & GUTTER OR SIDEWALK.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
- NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH. RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.

TRAFFIC CONTROL:

- REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) AND SCDOT STANDARDS FOR DETAILS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.

GRADING:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF SUMMERVILLE AND SCDOT REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB LOCATIONS ARE TO THE BOTTOM FACE OF CURB (FLOWLINE), UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- ALL FILL TO BE COMPACTED PER THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER.
- LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
- THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
- ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.
- EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND ALL TERMS AND CONDITIONS IN THE STATE OR MUNICIPAL GRADING AND EROSION CONTROL PERMIT ISSUED FOR THIS PROJECT.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL.
- CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, DOOR LOCATIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND ELEVATIONS.
- ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
- ALL FOUNDATION AND UTILITY EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNDESIRABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED WITH SUITABLE MATERIAL AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE AT CONTRACTOR'S EXPENSE.
- GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE, AS DIRECTED BY THE ENGINEER. THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS. STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES AND JUNCTION BOXES, AND THE MIDPOINT OF THE LIP FOR CATCH BASINS.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY OR ABANDONED AT MAIN AS REFERENCED IN THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- ALL AREAS WITH 2:1 SLOPE OR ERODABLE SLOPES SHALL BE COVERED WITH ERONET MATTING OR APPROVED EQUAL INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- CONTRACTOR TO BE RESPONSIBLE FOR Dewatering AS NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL Dewatering RECOMMENDATIONS.

FINE GRADING NOTES:

- SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
- PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
- ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.

WETLAND CONSTRUCTION NOTES:

- CONTRACTOR SHALL BE FAMILIAR WITH THE RULES, REQUIREMENTS, AND REGULATIONS ASSOCIATED WITH THE USACE PERMIT FOR THIS PROJECT.
- CONTRACTOR SHALL NOT ENCRoACH INTO ANY PORTION OF THE UNPERMITTED WETLAND TO REMAIN UNDISTURBED.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF EXCESS MATERIAL OFF-SITE.
- CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE CONSTRUCTION PROJECT ALL EROSION CONTROL MEASURES SHOWN ON THIS SHEET IN ACCORDANCE WITH APPLICABLE STANDARDS AND REGULATIONS FROM THE SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL (SCDHEC).
- GROUND COVER SHALL BE ESTABLISHED PER "SEEDBED PREPARATION NOTES" PROVIDED IN THE EROSION CONTROL DETAILS.
- THE CONTRACTOR SHALL PROVIDE GROUND COVER ON DESIGNATED AREAS AND SLOPES GREATER THAN 3:1 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. CONTRACTOR SHALL PROVIDE GROUND COVER IN 14 DAYS ON ALL OTHER AREAS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED WITHIN 14 WORKING DAYS FOLLOWING THE COMPLETION OF CONSTRUCTION.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURE SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED AND APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF SUMMERVILLE INSPECTOR. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SCDHEC EROSION AND SEDIMENT CONTROL REGULATIONS, U.S. DEPT. OF AGRICULTURE, AND U.S. SOIL CONSERVATION SERVICE.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDED, TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE SCDHEC REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
- CONTRACTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF DOES NOT LEAVE SITE LIMITS OR ENTER PROTECTED AREAS. ANY SEDIMENT DEPOSITED BEYOND DISTURBED AREA WITHIN SITE LIMITS SHALL BE REMOVED.
- WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
- ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.
- DURING Dewatering OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTFLET.
- STABILIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.

DEMOLITION NOTES:

- THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER. COORDINATION ITEMS ARE ANTICIPATED TO INCLUDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF ACCESS AND UTILITIES FOR EXISTING BUILDINGS TO REMAIN, AND EROSION CONTROL.
- ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITION AS OF TEST OF WORK.
- WHERE PAVEMENT REMOVAL AREAS ABOUT OTHER PAVEMENT AREAS TO REMAIN, THE EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A BOUNDARY WHICH IS STRAIGHT AND CLEAN IN APPEARANCE.
- ALL SANITARY SEWER MAIN FEATURES WILL GENERALLY BE PROTECTED IN PLACE UNLESS SPECIFICALLY MARKED FOR REMOVAL.
- THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE CONSTRUCTION SITE.

TOWN APPROVAL BOX

No.	REVISIONS	DATE	BY
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1			
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7			
8			
9			

Kimley >>> Horn
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115 FAIRCHILD STREET, SUITE 2500
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SCALE:	AS SHOWN
DRAWN BY:	GCC
DESIGNED BY:	GCC
CHECKED BY:	MDM

JP Morgan Chase
1111 POLARIS PARKWAY
COLUMBUS, OH 43240

PROJECT: PRELIMINARY DR SUBMITTAL | MEETING: NOVEMBER 21, 2019
CHASE BANK SUMMERVILLE
1300 N MAIN ST. | SUMMERVILLE | SC

TITLE:

DATE: 12/30/2019
PROJECT NO.: 015071022
SHEET NUMBER



LEGEND:

- BFP - BACK FLOW PREVENTOR
B.M. - BENCH MARK
C&G - CURB & GUTTER
CB - CATCH BASIN
CC - CURB CUT
CMF - CORRUGATED METAL PIPE
CO - CLEAN OUT
CRP - CREPE MYRTLE TREE
CWP - CROSS WALK POLE
D.B. - DEED BOOK
DI - DROP INLET
EIP - EXISTING IRON PIPE
EIR - EXISTING IRON ROD
EN - EXISTING NAIL
EOP - EDGE OF PAVEMENT
FPE - FINISH FLOOR ELEVATION
FH - FIRE HYDRANT
GDP - GUARD POST
GM - GAS METER
GMH - GREASE MAN HOLE
GP - GATE POST
GV - GAS VALVE
GW - GUY WIRE
LMP - LAMP POST
LP - LIGHT POLE
M.B. - MAP BOOK
N.G.S. - NATIONAL GEODETIC SURVEY
OHANG - OVERHANG
PB - POWER BOX
P.C. - PLAT CABINET
PIN - PARCEL IDENTIFICATION NUMBER
PL - PROPERTY LINE
PM - POWER METER
POB - POINT OF BEGINNING
POC - POINT OF COMMENCEMENT
PP - POWER POLE
PG - PAGE
PVC - PLASTIC PIPE
(R) - RECORDED
RW - RIGHT-OF-WAY
RCP - REINFORCED CONCRETE PIPE
SDMH - STORM DRAIN MANHOLE
SPEK - SPEAKER BOX
SQ.FT. - SQUARE FEET
SSMH - SANITARY SEWER MANHOLE
(T) - TOTAL
TB - TELEPHONE BOX
TSB - TRAFFIC SIGNAL BOX
TSP - TRAFFIC SIGNAL POLE
WB - WATER BOX
WM - WATER METER
WT - WATER VALVE

LINE LEGEND:

- EASEMENT
FENCE
PROPERTY LINE
PROPERTY LINE (NOT SURVEYED)
RIGHT-OF-WAY
RIGHT-OF-WAY (NOT SURVEYED)
SETBACK
FIBER OPTIC LINE
GAS LINE
POWER LINE
POWER LINE (UNDERGROUND)
SANITARY SEWER PIPE
STORM DRAIN PIPE
TELEPHONE LINE (UNDERGROUND)
WATER LINE
WOOD FENCE

SURVEYOR DESCRIPTION:

Lying and being situated in Summerville, Berkeley County, South Carolina, and being more particularly described as follows:

COMMENCING at NGS Monument "Farmington" having South Carolina Grid Coordinates of North: 438,718.65 FT and East: 2,261,732.66 FT South 89°18'36" West a ground distance of 3,576.08' to an existing iron rod being the intersection of the westerly right of way of Azalea Square Boulevard with the northerly right of way of North Main Street (U.S. Highway 17) as shown on Plat Cabinet P. Page 377P recorded in the Berkeley County Register of Deeds and said point also being the point of BEGINNING. Thence from said point of beginning and running with the northerly right of way of North Main Street (variable public right of way) South 56°28'20" West a distance of 142.43' to an existing iron rod being the southeasterly corner of Guy Tarrant as described in Deed Book 1507, Page 224, thence with the easterly line of Guy Tarrant the following two (2) courses and distances:

- 1) North 32°53'26" West a distance of 296.69' to an existing iron rod
2) South 09°25'57" West a distance of 30.03' to an existing iron rod being the southeasterly corner of Tract 5 as shown on Plat Cabinet P. Page 193A, thence with Tract 5 the following two (2) courses and distances:
1) North 33°11'23" West a distance of 27.81' to an existing iron rod
2) North 51°10'07" East a distance of 30.27' to an existing iron rod being the southwesterly corner of Tract 6 North 51°10'07" East a distance of 30.27' to an existing iron rod being the southwesterly corner of Tract 7 as shown on Plat Cabinet P. Page 193A, thence with the southerly line of Tract 7 North 50°55'44" East a distance of 98.74' to an existing iron rod being on the westerly right of way of aforementioned Azalea Square Boulevard (variable right of way); thence with the westerly right of way of Azalea Square Boulevard the following five (5) courses and distances:
1) South 69°49'41" East a distance of 26.60' to an existing iron rod
2) South 36°54'52" East a distance of 115.26' to an existing iron rod
3) South 30°19'41" East a distance of 78.09' to an existing "X" mark in the curb
4) South 36°55'15" East a distance of 87.27' to an existing iron rod
5) with a curve turning to the right with an arc length of 38.67', and a radius of 49.00', (chord of South 14°19'18" East 37.68') to the POINT OF BEGINNING, having an area of 50,289 square feet, or 1.1545 acres of land as shown on a survey prepared by R. B. Pharr & Associates, P.A. dated June 26, 2019 (Job Number 90162).

(The description above describes the same property as referenced in Fidelity National Title Insurance Company Commitment No 3-01941(R), bearing an effective date of May 27, 2019 at 8:00 a.m.)

FIDELITY NATIONAL TITLE INSURANCE COMPANY

COMMITMENT NUMBER: 3-01941(R), EFFECTIVE DATE: MAY 27, 2019 at 8:00 a.m. SCHEDULE B - II (EXCEPTIONS)

- (f) Easement from Pasco Corporation, a corporation to South Carolina Power Company, a corporation, dated April 11, 1930, recorded September 28, 1930, recorded in Book C188, Page 29, in the Register of Deeds for Berkeley County, South Carolina. (Does not appear to affect subject property, though location cannot be determined from record document)
(g) Easement from Narva Corporation and L.A. Walker to South Carolina Power Company, a corporation, dated May 2, 1938, recorded in Book C188, Page 257, aforesaid Records. (Does not appear to affect subject property, though location cannot be determined from record document)
(h) Easement from The Narva Corporation and L.A. Walker to South Carolina Power Company, a corporation, dated June 11, 1938, filed for record August 22, 1938 at 9:00 a.m., recorded in Book C31, Page 22, aforesaid Records. (Does not appear to affect subject property, though location cannot be determined from record document)
(i) Right of Way Agreement from Dorothy M. Rhodes to South Carolina Natural Gas Company, a South Carolina corporation, dated September 10, 1953, filed for record July 1, 1954 at 4:00 p.m., recorded in Book C35, Page 339, aforesaid Records. (General easement that does not appear to affect subject property, though location cannot be determined from record document)
(j) Drainage easement as contained in that certain Title to Real Estate from Salada Bowen to J. Edward Lutz, dated October 27, 1960, filed for record October 27, 1960 at 1:00 p.m., recorded in Book A-118, Page 102, aforesaid Records. (As Shown)
(k) [INTENTIONALLY DELETED]
(l) Right of Way Easement from JS Group, LLC, a South Carolina limited liability company and Silver Oak Associates, Limited Partnership, a Tennessee limited partnership to South Carolina Department of Transportation, dated April 19, 2002, filed for record April 22, 2002 at 2:20 p.m., recorded in Book 2705, Page 19, aforesaid Records; as affected by that certain Release of Setback Requirement by South Carolina Department of Transportation, dated October 2, 2012, filed for record March 13, 2013 at 11:43 a.m., recorded in Book 10006, Page 119, aforesaid Records. (See Exception (2) as it notes Plat P. Page 191-A)
(m) Roadway Easement Agreement by and between Silver Oak Associates, Limited Partnership, a Tennessee limited partnership and Commissioners of Public Works of the Town of Summerville, South Carolina, dated March 22, 2002, filed for record April 22, 2002 at 2:40 p.m., recorded in Book 2705, Page 56, aforesaid Records. (Does not affect subject property)
(n) Terms, conditions and obligations as contained in that certain Access Easement Agreement by and between Silver Oak Associates, Limited Partnership, a Tennessee limited partnership and W & W Associates, LLC, a South Carolina limited liability company, dated April 22, 2002, 2002 at 2:48 p.m., recorded in Book 2705, Page 175, aforesaid Records. (As Shown - Access Easement)
(o) Restrictive covenant as contained in that certain Access Easement Agreement by and between Silver Oak Associates, Limited Partnership, a Tennessee limited partnership and W & W Associates, LLC, a South Carolina limited liability company, dated April 22, 2002, 2002 at 2:48 p.m., recorded in Book 2705, Page 175, aforesaid Records; but omitting any restriction based on race, color, religion, sex, handicap, familial status, or national origin unless and only to the extent that said covenant (a) is exempt under Chapter 42, Section 3607 of the United States Code or relates to handicap but does not discriminate against handicapped persons. (As Shown - Access Easement)
(p) Lease as evidenced by that certain Memorandum of Lease by and between Canal Street Properties, Inc., a South Carolina corporation ("Landlord") and Whit-Fam, Inc., a South Carolina corporation ("Tenant"), dated as of July 17, 2013, filed for record July 18, 2013 at 11:36 a.m., recorded in Book 10254, Page 329, aforesaid Records. (no platable material within subject property)
(q) All those matters as disclosed by that certain plat recorded in Plat Book D, Page 199, aforesaid Records. (no platable material within subject property)
(r) All those matters as disclosed by that certain plat recorded in Plat Book F, Page 82-A, aforesaid Records. (no platable material within subject property)
(s) All those matters as disclosed by that certain plat recorded in Plat Book F, Page 92-A, aforesaid Records. (no platable material within subject property)
(t) All those matters as disclosed by that certain plat recorded in Plat Book G, Page 82, aforesaid Records. (no platable material within subject property)
(u) All those matters as disclosed by that certain plat recorded in Plat Book L, Page 55, aforesaid Records. (no platable material within subject property)
(v) All those matters as disclosed by that certain plat recorded in Plat Cabinet Q, Page 346-C, aforesaid Records. (As Shown 20' scot r/w)
(w) All those matters as disclosed by that certain plat recorded in Plat Cabinet P, Page 191-A, aforesaid Records. (As Shown 20' drainage easement to be abandoned & 20' re-located scot r/w)
(x) All those matters as disclosed by that certain plat recorded in Plat Book P, Page 193-A, aforesaid Records. (As Shown 20' drainage easement to be abandoned & 20' re-located scot r/w)
(y) All those matters as disclosed by that certain plat recorded in Plat Cabinet P, Page 193-B, aforesaid Records. (As Shown 20' drainage easement to be abandoned & 20' re-located scot r/w)
(z) All those matters as disclosed by that certain plat recorded in Plat Cabinet P, Page 194-A, aforesaid Records. (Subject property not within plat)
(aa) All those matters as disclosed by that certain plat recorded in Plat Cabinet P, Page 194-B, aforesaid Records. (Subject property not within plat)
(ab) All those matters as disclosed by that certain plat recorded in Plat Cabinet P, Page 195-A, aforesaid Records. (Subject property not within plat)
(ac) All those matters as disclosed by that certain plat recorded in Plat Cabinet P, Page 192-A, aforesaid Records. (As Shown 20' re-located drainage easement & 20' scot r/w & 10' drainage easement)
(ad) All those matters as disclosed by that certain plat recorded in Plat Cabinet P, Page 192-B, aforesaid Records. (Subject property not within plat)
(ae) All those matters as disclosed by that certain plat recorded in Plat Cabinet P, Page 377-P, aforesaid Records. (As Shown 30' road)



Know what's below. Call before you dig.

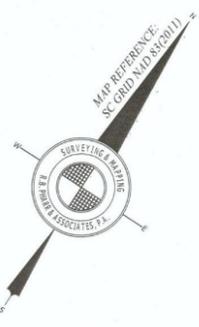
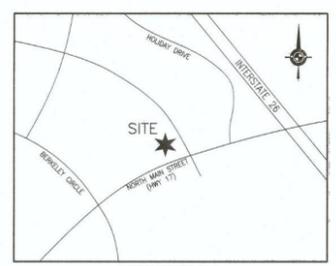
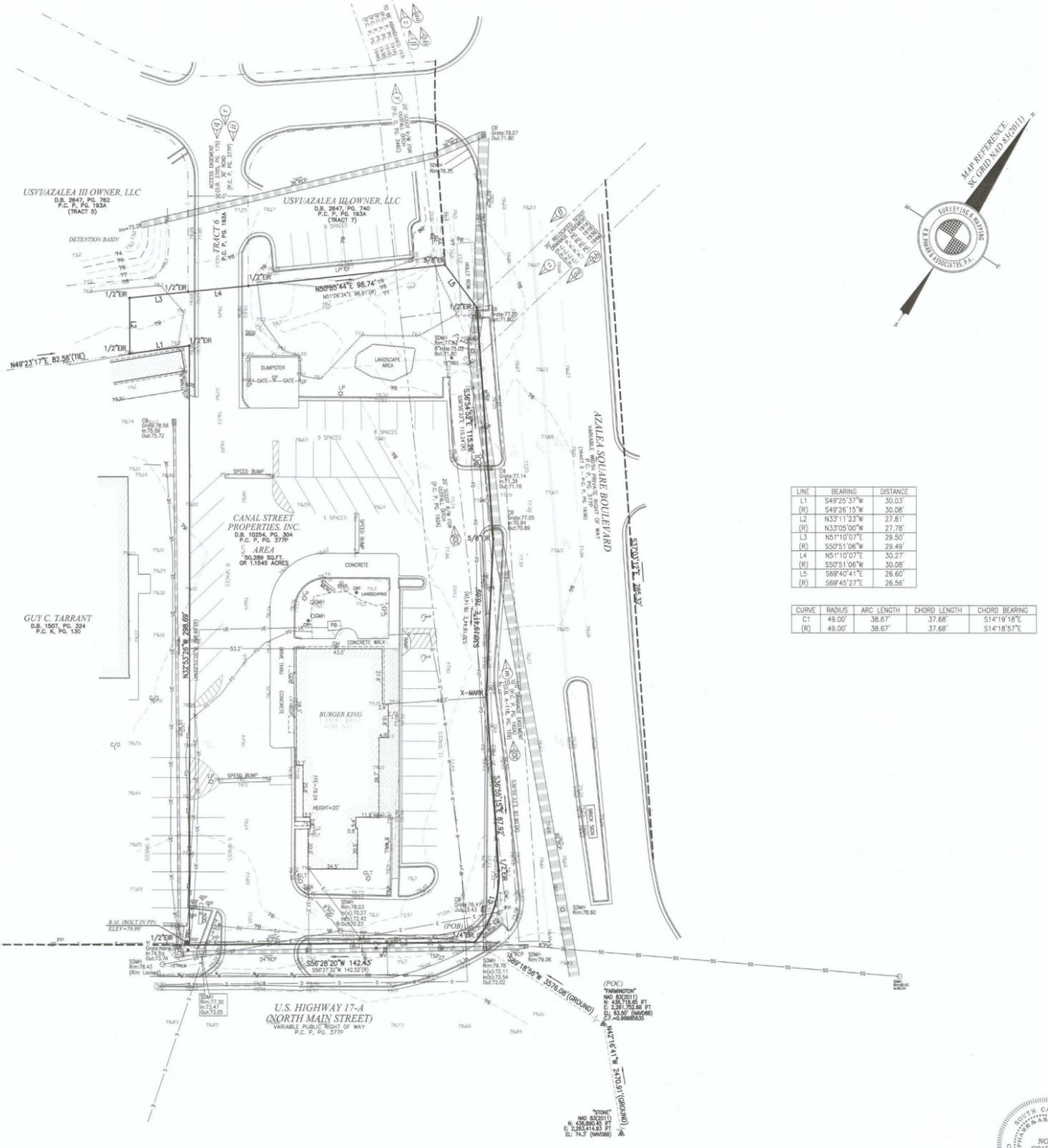
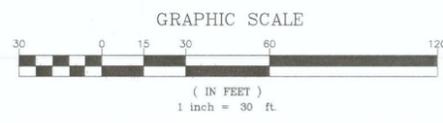


Table with columns: LINE, BEARING, DISTANCE. Lists lines L1 through L5 with their respective bearings and distances.

Table with columns: CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING. Lists curves C1 and C2 with their geometric data.

ALTA/NSPS CERTIFICATION:

TO: JPMORGAN CHASE BANK, NATIONAL ASSOCIATION; CALLOWAY TITLE AND ESCROW, LLC; FIDELITY NATIONAL TITLE GROUP; CHICAGO TITLE INSURANCE COMPANY... THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS...



NOTES:

- 1. ALL CORNERS MONUMENTED AS SHOWN.
2. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON. A UTILITY LOCATE REQUEST WAS MADE OF SC811 ON JUNE 20, 2019 (TICKET NO. 1906203489). THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
3. ELEVATIONS BASED ON N.G.S. MONUMENT "FARMINGTON", ELEVATION = 63.5 FEET, NAVD 88.
4. BROKEN LINES, UNLESS DESCRIBED WITH A COURSE AND DISTANCE, INDICATE PROPERTY LINES NOT SURVEYED.
5. THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT-OF-WAY WIDTH OR ANY ADJACENT PROPERTIES.
6. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED DURING THE PROCESS OF CONDUCTING THE FIELDWORK. SURVEYOR IS UNAWARE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES.
7. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED DURING THE PROCESS OF CONDUCTING THE FIELDWORK. SURVEYOR IS UNAWARE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES.
8. AT THE TIME OF THIS SURVEY, NO WETLAND DELINEATION MARKERS WERE OBSERVED ON SUBJECT PROPERTY.
9. AZALEA SQUARE BOULEVARD IS A PRIVATE RIGHT-OF-WAY AND HAS NOT BEEN DEDICATED, NOR ACCEPTED BY THE TOWN OF SUMMERVILLE, AS PUBLIC RIGHT-OF-WAY PER RUSS CORNETTE, TOWN ENGINEER. THIS ROAD IS NOT MAINTAINED BY THE CITY OF SUMMERVILLE.

FLOOD CERTIFICATION

THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED JULY 18, 2017. MAP NUMBER: 45035C0345E.

ZONING:

SUBJECT PROPERTY ZONED: B-3 (GENERAL BUSINESS)
ZONING RESTRICTIONS AS PER SECTION 12-131 OF THE TOWN OF SUMMERVILLE ZONING ORDINANCES.
MINIMUM SETBACK: 30 FEET
MINIMUM SIDE YARD: N/A *
MINIMUM REAR YARD: N/A *
MAXIMUM BUILDING HEIGHT: 55 FEET
* BUFFERS MAY BE REQUIRED FOR PROTECTION OF ADJACENT PROPERTY.
FOR FURTHER INFORMATION CONTACT THE SUMMERVILLE ZONING DEPARTMENT AT 843-851-4214.
NOTE: NO ZONING REPORT WAS PROVIDED TO THE SURVEYOR, PURSUANT TO ALTA TABLE A ITEM 6. PURCHASER / DEVELOPER TO VERIFY ZONING REQUIREMENTS PRIOR TO REDEVELOPMENT OF THIS SITE.

PARKING:

REGULAR PARKING SPACES = 44
HANDICAPPED PARKING SPACES = 2
TOTAL PARKING SPACES = 46

TITLE DESCRIPTION:

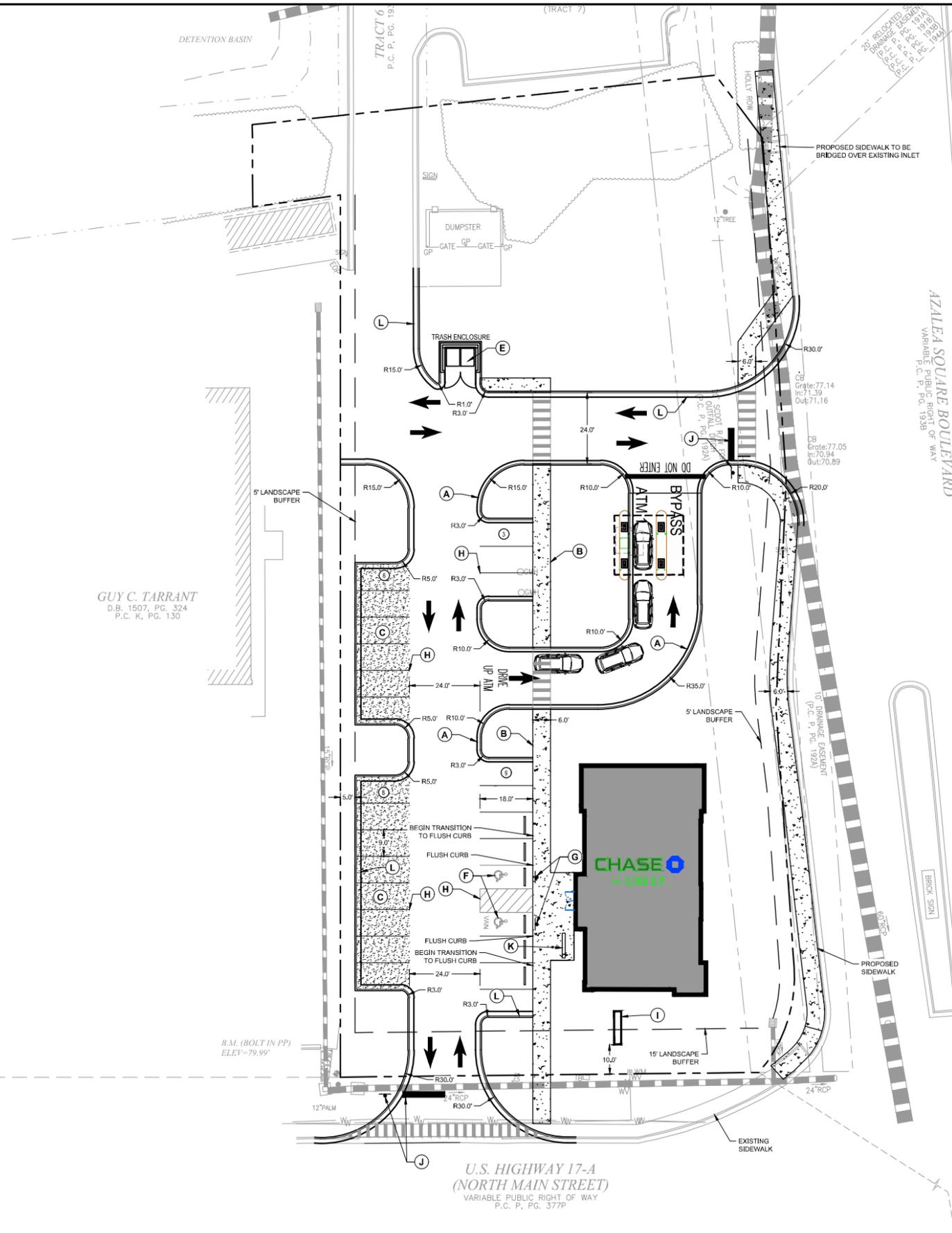
ALL THAT TRACT or parcel of land lying and being in Berkeley County, South Carolina, containing 1.16 acres, as more particularly shown on a plan entitled "2nd Bulk Survey of T.M.S. 232-06-01-009, owned by W and W Associates LLC, located in the Town of Summerville, Berkeley County, South Carolina," prepared by Ashley Land Surveying, Inc., dated June 17, 2013, as more particularly depicted in a plat recorded in Plat Cabinet P, Page 377-P, in the Register of Deeds for Berkeley County, South Carolina, which plat is incorporated herein by reference hereto.
TOGETHER WITH those easement rights as may be appurtenant arising under that certain Access Easement Agreement by and between Silver Oak Associates, Limited Partnership, a Tennessee limited partnership and W & W Associates, LLC, a South Carolina limited liability company, dated April 22, 2002, filed for record April 22, 2002 at 2:48 p.m., recorded in Book 2705, Page 175, aforesaid Records.

AREA = 50,289 SQ.FT. OR 1.1545 ACRES

Table with columns: REVISIONS, ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: JPMORGAN CHASE BANK, 1300 NORTH MAIN STREET, SUMMERVILLE, BERKELEY COUNTY, SOUTH CAROLINA, DEED REFERENCE: BOOK 10254, PAGE 304, MAP REFERENCE: PLAT CABINET P, PAGE 377P, TAX PARCEL NO.: 232-00-01-009, R.B. PHARR & ASSOCIATES, P.A. SURVEYING & MAPPING, 420 HAWTHORNE LANE, CHARLOTTE, N.C. 28204, TEL: (704) 376-2186, SCALE: 1" = 30', DATE: JUNE 26, 2019, JOB NO.: 90162.

Drawing name: K:\CHA_LDEV\015071 BDG Chase Bank\022 Summerville\02 - DWG\PlanSheets\C2-00 - SITE PLAN.dwg C2-00 SITE PLAN Dec 30, 2019 1:52pm by: Thomas Purcell

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SITE NOTES:

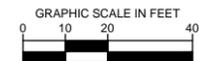
- EXISTING CONDITIONS SHOWN HEREON ARE FROM AN ALTA / NSPS LAND TITLE SURVEY PREPARED BY R.B. PHARR AND ASSOCIATES, P.A. DATED 08/26/2019.
- THE PROPOSED BUILDING INFORMATION SHOWN HEREON IS FROM AN ELECTRONIC FILE PROVIDED BY CHASE BANK ON 08/16/2019 AND IS FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING INFORMATION.
- ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SIDEWALK INSTALLED AGAINST BACK OF CURB SHALL BE INSTALLED PER THE PLAN AS MEASURED FROM THE BACK OF CURB.
- ALL SIGNAGE AND STRIPING MUST MEET THE LATEST REQUIREMENTS SET FORTH BY MUTCD, SCDOT, AND SOUTH CAROLINA STATE CODE.
- REFERENCE LANDSCAPE PLANS FOR ALL HARDSCAPE AND LANDSCAPE DETAILS AND SPECIFICATIONS.

PARKING COUNT:

BUILDING USE:	GENERAL BUSINESS (B-3)
BUILDING SIZE:	+/- 3,268 SF
REQUIRED PARKING:	12 SPACES (1 SPACE PER 300 SF, PLUS 1)
PARKING PROVIDED:	24 REGULAR SPACES 1 STANDARD ADA SPACES 1 ADA VAN SPACES 26 TOTAL SPACES
PARKING RATIO:	1.0 SPACE PER 300 SF, PLUS 1
ADA SPACES REQUIRED:	1 (1 TO 25 SPACES)
ADA REQUIREMENTS MET:	YES

- SITE LEGEND**
- (A) 18" CONCRETE CURB AND GUTTER TYPICAL (SEE SITE DETAIL SHEET)
 - (B) STANDARD DUTY CONCRETE SIDEWALK (SEE SITE DETAIL SHEET)
 - (C) PROPOSED PERVIOUS PAVEMENT
 - (D) NOT USED
 - (E) TRASH ENCLOSURE WITH GATES (SEE DETAIL THIS SET)
 - (F) ACCESSIBLE PARKING SPACE TYPICAL. SEE SITE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE AND SIGN
 - (G) ADA PARKING SIGN (SEE SITE DETAIL SHEET)
 - (H) 4" SOLID WHITE PAINT STRIPE, TYPICAL
 - (I) FREE STANDING MONUMENT SIGN
 - (J) STOP SIGN AND 24" WIDE PAINTED WHITE STOP BAR (SEE SITE DETAIL SHEET)
 - (K) BIKE RACK (REFER TO ARCHITECTURAL PLANS FOR DETAIL)
 - (L) 24" CONCRETE CURB AND GUTTER (SEE SITE DETAIL SHEET)

	PROPOSED 18" CURB AND GUTTER - CATCH
	PROPOSED 18" CURB AND GUTTER - SPILL
	PROPOSED SITE NOTE
	PROPOSED PARKING SPACES
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	PROPOSED PERVIOUS PAVEMENT
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED BUILDING



TOWN APPROVAL BOX

No.	REVISIONS	DATE	BY
6			
5			
4			
3			
2			
1			
0			

Kimley-Horn
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 DRAWN BY: GCC
 DESIGNED BY: GCC
 CHECKED BY: MDH

CLIENT: **JPMorganChase**
 1111 POLARIS PARKWAY
 COLUMBUS, OH 43240

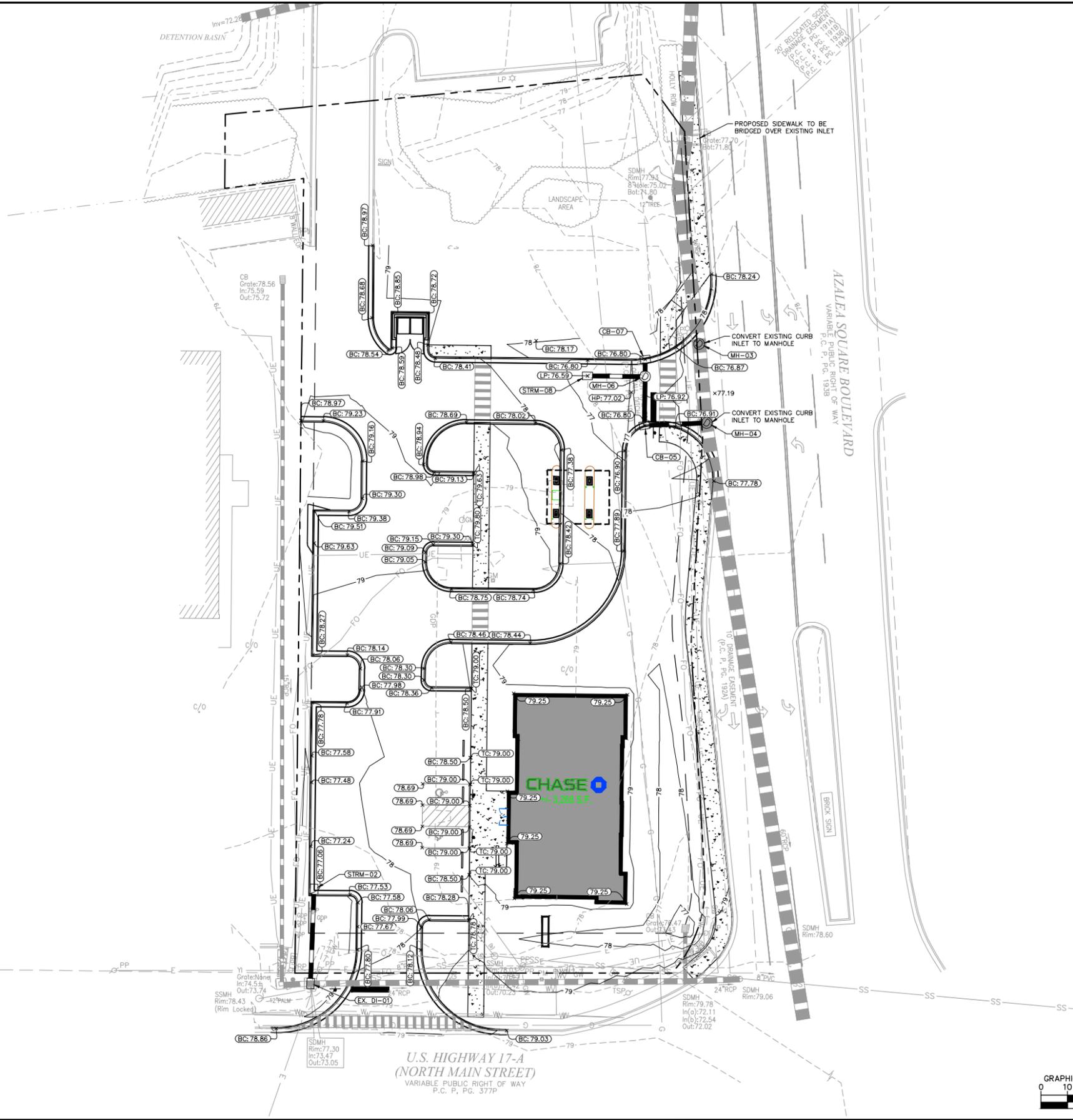
PROJECT: PRELIMINARY DRG SUBMITTAL | MEETING: NOVEMBER 21, 2019
CHASE BANK SUMMERVILLE
 1300 N MAIN ST., SUMMERVILLE, SC

TITLE: **SITE PLAN**

DATE: 12/30/2019
 PROJECT NO.: 015071022
 SHEET NUMBER

C2-00

Drawing name: K:\CHA_LDEV\015071 BDG Chase Bank\022 Summerville\02 - DWG\PlanSheets\C3-00 - GRADING PLAN.dwg C3-00 CLEARING AND DRAINAGE PLAN Dec 30, 2019 1:52pm by: Thomas Purcell
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CLEARING, GRADING AND DRAINAGE LEGEND	
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED ELEVATION
	PROPOSED ELEVATION - MATCH EXISTING
	PROPOSED STORM PIPE
	EXISTING STORM PIPE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN CATCH BASIN
	TREE PROTECTION FENCE
	TEMPORARY HIGH HAZARD SILT FENCE/PROTECTION FENCE. (SCDHEC DETAIL SC-06)

NOTE: SEE PROFILE SHEETS FOR STORM SEWER INFORMATION

GRADING NOTES

- SEE GENERAL NOTES SHEET FOR OVERALL PAVING, GRADING AND DRAINAGE NOTES.
- CONTRACTOR SHALL REVIEW, UNDERSTAND AND IMPLEMENT ALL REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO ANY DISTURBANCE.
- ALL SPOT ELEVATIONS ALONG CURB REPRESENT FINISHED PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
- ALL STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH FINAL PAVEMENT.
- 8' TALL SCREEN FENCE AS SHOWN ON PLAN SHALL BE A MINIMUM OF 6" ABOVE GRADE TO ALLOW FOR RUNOFF BELOW.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT AND EXISTING PAVEMENT AND STORM STRUCTURES.
- ALL CLEANOUT COVERS SHOULD BE RATED FOR HEAVY DUTY TRAFFIC.
- CONTRACTOR SHALL COORDINATE PAVING IMPROVEMENTS TO AVOID TIRE MARKS FROM CONSTRUCTION ACTIVITY. FINAL PAVING SHALL BE AS SMOOTH AS POSSIBLE AND FREE FROM ANY PARKS, SCRAPED, GOUGED, TIRE MARKS, ETC. CAUSED DURING CONSTRUCTION.
- DURING CONSTRUCTION AND AFTER FINAL GRADING, ALL SURFACE WATER RUNOFF MUST BE ROUTED TO FOLLOW PRE-DEVELOPED DRAINAGE PATTERNS. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.
- REFERENCE ARCHITECT PLANS FOR ROOF DRAIN INFORMATION.

TOWN APPROVAL BOX

REVISIONS	
No.	DATE

Kimley-Horn
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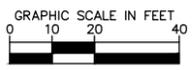
SCALE: AS SHOWN
 DRAWN BY: GCC
 DESIGNED BY: GCC
 CHECKED BY: MDH

CLIENT:
JPMorganChase
 1111 POLARIS PARKWAY
 COLUMBUS, OH 43240

PROJECT:
 PRELIMINARY DR SUBMITTAL | MEETING: NOVEMBER 21, 2019
 CHASE BANK SUMMERVILLE
 1300 N MAIN ST., SUMMERVILLE SC

TITLE:
CLEARING, GRADING, AND DRAINAGE PLAN

DATE: 12/30/2019
 PROJECT NO.: 015071022
 SHEET NUMBER: C3-00



Drawing name: K:\CHA_LDEV\015071 BDG Chase Bank\022 Summerville\02 - DWG\PlanSheets\C3-52 - DRIVEWAY ENCROACHMENT PLAN AND PROFILE.dwg C3-52 - DRIVEWAY ENCROACHMENT PLAN AND PROFILE Dec 30, 2019 1:52pm by: Thomas Purcell
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SCDOT NOTES:

- SCDOT STANDARD NOTES:**
- THERE CAN BE NO WORK PERFORMED IN THE SCDOT R/W BEFORE AN ENCROACHMENT PERMIT HAS BEEN ISSUED AND A PRECONSTRUCTION MEETING HAS BEEN HELD. THE PROPERTY OWNER AND CONTRACTOR MUST SCHEDULE AND ATTEND THE PRECONSTRUCTION MEETING.
 - ANY WORK PERFORMED BEFORE THE PRECONSTRUCTION MEETING WILL HAVE TAKEN PLACE WITHOUT SCDOT KNOWLEDGE, OVERSIGHT, AND CONSENT AND SHALL BE SUBJECT TO REMOVAL BY THE APPLICANT AND/OR AT THE APPLICANT'S EXPENSE.
 - ANY REVISIONS TO THIS APPROVED PLAN SET MUST HAVE PRIOR, WRITTEN APPROVAL FROM SCDOT OR ARE SUBJECT TO REMOVAL AT THE APPLICANT'S EXPENSE.
 - THE CONSTRUCTION ENTRANCE MUST BE ESTABLISHED AT THE LOCATION DESIGNATED IN THIS PLAN SET AND ACCORDING TO SCDOT TYPICAL 815-505-00. NO ADDITIONAL ENTRANCES OR LOCATIONS OTHER THAN SHOWN IN THIS PLAN SET ARE ALLOWED WITHOUT WRITTEN NOTICE FROM SCDOT. APPROVED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PROPERLY AND SHALL BE MAINTAINED AT ALL TIMES. KEEP ROADWAY PROTECTED AND SWEEP OFF AT ALL TIMES. ANY ADDITIONAL EXISTING DRIVEWAYS OR CONSTRUCTION ENTRANCES, IF ANY, SHALL BE REMOVED FROM SCDOT RIGHT OF WAY AT NO EXPENSE TO SCDOT.
 - NO DEWATERING ACTIVITIES SHALL BE PERFORMED WITHIN SCDOT R/W OR BRING FORTH WATER TO THE SCDOT RIGHT OF WAY BY DIRECT OR INDIRECT METHODS.
 - POST DEVELOPMENT STORMWATER FLOWS TO THE SCDOT R/W CANNOT EXCEED PREDEVELOPMENT FLOW RATES AT ANY TIME FOR ANY REASON.
 - THE APPLICANT IS SOLELY RESPONSIBLE FOR REPAIRS OF ANY AND ALL DAMAGE TO THE TRAVEL WAY DUE TO ANY WORK ALONG THE FRONTAGE OF THIS SITE. AT NO EXPENSE TO SCDOT AND ALL REPAIRS MUST MEET CURRENT SCDOT STANDARDS.
 - ANY DAMAGE TO THE TRAVEL LANE WILL REQUIRE A FULL DEPTH ASPHALT PATCH AND TOTAL ROADWAY (ALL ADJACENT TRAVEL LANES) ASPHALT OVERLAY. PATCHES LARGER THAN A FEW SQUARE FEET OR EXTENDING PAST 1 FOOT INTO THE TRAVEL LANE SHALL REQUIRE AN OVERLAY OF THE ENTIRE WIDTH OF THE EXISTING TRAVEL WAY FOR 50 FEET BEYOND EACH SIDE OF THE FULL DEPTH PATCH. ALL OF THIS WORK WILL BE SOLELY AT THE EXPENSE OF THE APPLICANT AND MUST MEET CURRENT SCDOT STANDARDS.
 - BEFORE INSTALLATION OF ANY NEW DRIVEWAY, THE EXISTING TRAVEL EDGE MUST BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM EDGE ALONG THE MOUTH OF THE PROPOSED DRIVEWAY. CARE MUST BE TAKEN TO NOT TO DAMAGE THE EDGE ONCE CUT. ANY DAMAGE TO THE TRAVEL LANE MUST BE REPAIRED AT THE APPLICANT'S EXPENSE.
 - PAVEMENT SECTION IN THE SCDOT R/W SHALL BE, AT A MINIMUM:
 - 6 INCHES OF COMPACTED GABC
 - 4 INCHES OF COMPACTED TYPE B BINDER COURSE HOT MIX ASPHALT
 - 2 INCHES OF COMPACTED TYPE B SURFACE COURSE HOT MIX ASPHALT
 SEE SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION FOR SURFACE COURSE HOT MIX ASPHALT INSTALLATION TIME AND TEMPERATURE RESTRICTIONS AND THERMO PLASTIC TIME AND TEMPERATURE RESTRICTIONS.
 OR
 - 8 INCHES OF COMPACTED GABC
 - 4 INCHES OF 4,000 PSI CONCRETE
 NO REINFORCEMENT WIRE, REBAR, OR METAL OF ANY KIND IS PERMITTED.
 - DRIVEWAY LANES SHALL BE A MINIMUM OF 12 FEET IN WIDTH MEASURED FROM EDGE TO EDGE OF ASPHALT.
 - DRIVEWAY RAMP SHALL BE 30 FEET, (UNLESS NOTED OTHERWISE ON THE SCDOT APPROVED PLANS.)
 - PAVEMENT MARKINGS SHALL BE THERMOPLASTIC WITH REFLECTIVE BEADS PER SECTION 627 OF THE SCDOT STANDARD SPECIFICATIONS:
 - ALL WHITE MARKINGS SHALL BE 125 MIL MINIMUM THICKNESS
 - ALL YELLOW MARKINGS SHALL BE 90 MIL MINIMUM THICKNESS
 - ALL PERMANENT SIGNAGE SHALL BE INSTALLED ON BREAKAWAY POSTS PER SCDOT STANDARD DRAWING 651-110-00 AND SHALL HAVE A 7 VERTICAL FOOT CLEARANCE FROM THE GROUND TO THE BOTTOM OF THE SIGN.
 - DRIVEWAYS SHALL BE CONSTRUCTED TO HAVE A MINIMUM OF A 2 FOOT GRASSED SHOULDER ON EACH SIDE OF THE DRIVEWAY THROAT.
 - DITCH SLOPES SHALL BE NO STEEPER THAN 3H:1V.
 - ALL DRIVEWAY CULVERTS SHALL BE INSTALLED AND SEALED ACCORDING TO SCDOT TYPICAL 714-205-01 DETAIL 4 AND 5 WITH AN AASHTO M 315 RUBBER GASKET SEAL. ON PROPER GRADE TO ALLOW FOR POSITIVE STORM WATER FLOW WITHIN THE PIPE AND TO/FROM ADJACENT PIPES/CROSS LINES.
 - ALL CULVERTS INSIDE OF THE SCDOT R/W ARE TO BE INSTALLED WITH BEVELED ENDS PER SCDOT STANDARD DRAWING 719-810-00 AND SEALED PER SCDOT STANDARD DRAWING 714-205-01 AND CANNOT BE COVERED UNTIL AFTER AN INSPECTION BY THE SCDOT INSPECTOR ASSIGNED TO THE PROJECT AT THE REQUIRED SCDOT PRECONSTRUCTION MEETING.
 - LANE CLOSURES ARE REQUIRED FOR ALL WORK WITHIN ONE FOOT OF THE TRAVEL WAY. SEE SCDOT LOCAL MAINTENANCE WORK RESTRICTIONS FOR ADDITIONAL INFORMATION.
 - SHOULDER CLOSURES ARE REQUIRED FOR ALL WORK IN THE SCDOT R/W BEYOND ONE FOOT FROM THE TRAVEL WAY.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SCHEDULE ALL REQUIRED INSPECTIONS IN ADVANCE. IF WORK REQUIRING INSPECTION IS PERFORMED WITHOUT PRIOR NOTICE BEING GIVEN TO SCDOT, THAT INSTALLATION SHALL BE SUBJECT TO REMOVAL AT THE APPLICANT'S EXPENSE. SEVERAL MEANS OF CONTACT WILL BE GIVEN AT THE PRECONSTRUCTION MEETING. FAILURE TO OBTAIN CONTACT IS NOT AN APPROVAL TO PROCEED WITH ANY WORK.
 - NO VEGETATION INSTALLED ON PRIVATE PROPERTY SHALL BLOCK THE SCDOT SIGHT TRIANGLES OR SIGHT DISTANCES FOR MOTORISTS INGRESS OR EGRESS FROM APPROVED DRIVEWAYS AND OR ROADWAY INTERSECTIONS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR KEEPING OFFSITE LANDSCAPINGS PROPERLY MAINTAINED TO IMPROVE ALL SIGHT DISTANCES. THE PROPERTY OWNER SHALL ALSO BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGES TO SIDEWALK, DRIVEWAY OR ROADWAY, UTILITY DRAINAGE OR OTHER STRUCTURES DAMAGED DUE TO THE INSTALLATION OR EXISTENCE OF OFFSITE LANDSCAPING.
 - THE DEPARTMENT SHALL NOT BE RESPONSIBLE FOR DAMAGE TO ANY UTILITY STRUCTURES LOCATED WITHIN THE RIGHT-OF-WAY AS A RESULT OF ROUTINE HIGHWAY MAINTENANCE OPERATIONS. THESE STRUCTURES INCLUDE BUT ARE NOT LIMITED TO ARV, METERS, VALVES, MANHOLES. ALL TYPE OF PEDESTALS AND UTILITY LINES (OVERHEAD AND/OR UNDERGROUND). THE APPLICANT SHOULD USE MECHANICAL MOWERS TO CUT AROUND THESE TYPE STRUCTURES TO INCREASE VISIBILITY FOR HIGHWAY MAINTENANCE WORKERS.
 - APPLICANT IS RESPONSIBLE FOR THE INSTALLATION AND SECURING OF ANY VALVE OR MANHOLE KEYS AS NEEDED.
 - THE DEPARTMENT SHALL BE HELD HARMLESS FROM AND AGAINST ANY AND ALL CLAIMS, DAMAGES AND LOSSES ASSOCIATED WITH WORK AS APPROVED UNDER THIS PERMIT APPLICATION. ANY SUCH DAMAGE CLAIMS RECEIVED BY THE DEPARTMENT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO PROCESS ACCORDINGLY. THE HOLD HARMLESS AGREEMENT SHALL BE FOR THE LIFE OF THE FACILITY, STRUCTURE(S) OR ENCROACHMENT AS IT REMAINS WITHIN PUBLIC RIGHT-OF-WAY.
 - APPLICANT IS RESPONSIBLE FOR THE REPAIR OF ANY TRAFFIC SIGNAL LOOPS/WIRES/HEAD/CABINETS IF DAMAGED DUE TO THIS INSTALLATION. ALL WORK SHALL BE APPROVED UNDER THE DIRECTION OF THE SCDOT DISTRICT SIGNAL SHOP AND PERFORMED BY A SCDOT APPROVED SIGNAL CONTRACTOR, AT NO EXPENSE TO THE DEPARTMENT.
 - IF REQUIRED UNDER THE APPROVED SCDOT ENCROACHMENT PERMIT, A THIRD PARTY TESTER SHALL BE REQUIRED AT THE APPLICANT'S EXPENSE TO PERFORM COMPACTION ANALYSIS AND WITNESS A PASSING PROOF ROLL ON ALL SUB-GRADE, BASE, AND ASPHALT. ONE THIRD PARTY INSPECTOR SHALL TAKE DENSITY READINGS AT RANDOM STATION NUMBERS. A SECOND (2nd) THIRD PARTY INSPECTOR/TESTER SHALL BE AT THE ASPHALT PLANT TESTING THE ASPHALT AT THE TIME THAT SURFACE ASPHALT IS BEING PRODUCED AND PUT DOWN ON THE JOB. ONE CORE SAMPLE (LOCATIONS TO BE DETERMINED) SHALL BE TAKEN AND WEIGHED BY THE THIRD PARTY INSPECTOR. ALL RESULTS TO BE SUBMITTED IN WRITING TO SCDOT FOR REVIEW THE FOLLOWING DAY. WINTER WORK RESTRICTIONS AND HOLIDAY WORK RESTRICTIONS MUST BE ADHERED TO. SEE PERMIT FOR MORE DETAILS.
 - AN INSPECTION DATE SHALL BE SET UP IN ADVANCE FOR WHICH THE INSPECTOR WILL COME OUT AND INSPECT THE SIDEWALK FORMS BEFORE POURING CONCRETE. DO NOT LEAVE MORE THAN A 2" DROP OFF UNATTENDED. NO MORE THAN A 2" DROP OFF OR A 3:1 DITCH SLOPE IS PERMITTED ANYWHERE WITHIN THE RIGHT OF WAY DUE TO THE CONSTRUCTION ASSOCIATED WITH THIS SIDEWALK. THE INSTALLATION OF SIDEWALK SHALL BE FLUSH WITH SHOULDER OR HAVE A DRAINAGE FLEET BUILT UNDERNEATH TO ALLOW FOR PROPER STORM WATER FLOW. NO WATER SHALL POND IN SHOULDER, ROADWAY, DRIVEWAYS, OR RIGHT OF WAY DUE TO THIS INSTALLATION.
 - ADA MATS (RAISED DETECTABLE WARNING PADS) SHALL BE INSTALLED AS WET INSETS AND AT ROADWAY INTERSECTIONS ONLY.
 - NO VALVES OR OTHER APPURTENANCES IN ROADWAY ASPHALT, WITHIN 5 FEET OF EDGE OF PAVEMENT, OR WITHIN DITCH LINE OR SWALE LINE. APPLICANT SHALL INSTALL 8-16 FEET OF NEW, UNDAMAGED RCP ON PROPER GRADE, FACING THE PROPER DIRECTION, MATCHING THE DIAMETER OF DRIVEWAY AND/OR CROSS LINE UPSTREAM, BUT NOT EXCEEDING THE PIPE DIAMETER DOWNSTREAM. IF THE ABOVE CANNOT BE AVOIDED, INSTALL RCP AROUND ANY EXPOSED PIPES, COVER AND SOID TO MEET SCDOT MINIMUM STANDARDS. CALL SCDOT ENCROACHMENT OFFICE FOR INSPECTION OF PIPE BEFORE COVERING.
 - PROPOSED UTILITY INSTALLATION LOCATED IN SHOULDER AREA SHALL HAVE A MINIMUM COVER OF 42" ACCORDING TO FIGURE 6 OF APPENDIX B. ANY EXPOSED ROOTS TO BE REMOVED OR TRIMMED FLUSH WITH SHOULDER/DITCH.



ALL ITEMS IN SECTION 100 OF THE CURRENT ARMS MANUAL FOR BOTH CONSTRUCTION AND POST-CONSTRUCTION DESIGN HAVE BEEN STUDIED AND ADDRESSED. ALL NECESSARY BMPs HAVE BEEN IMPLEMENTED FOR BOTH PHASES (CONSTRUCTION AND POST-CONSTRUCTION) TO AVOID NEGATIVELY IMPACTING IMPAIRED WATERS OF THE SCOT SYSTEM AND/OR ITS DISCHARGES. ALL REQUIREMENTS IN SECTION 108 OF THE CURRENT ARMS MANUAL FOR POST-DEVELOPMENT RELEASE RATES HAVE BEEN MET. THERE WILL BE ZERO INCREASE IN RUNOFF TO SCOT RIGHT-OF-WAY.

SIGNATURE OF P.E. _____ DATE _____

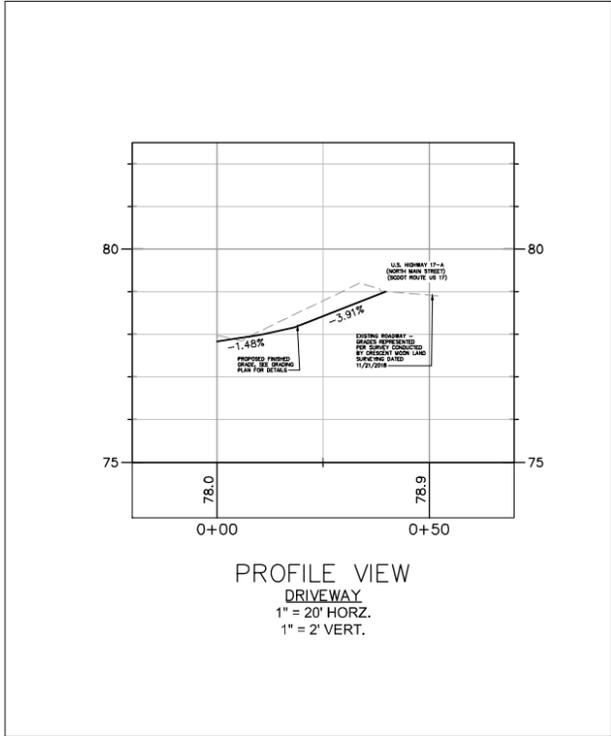
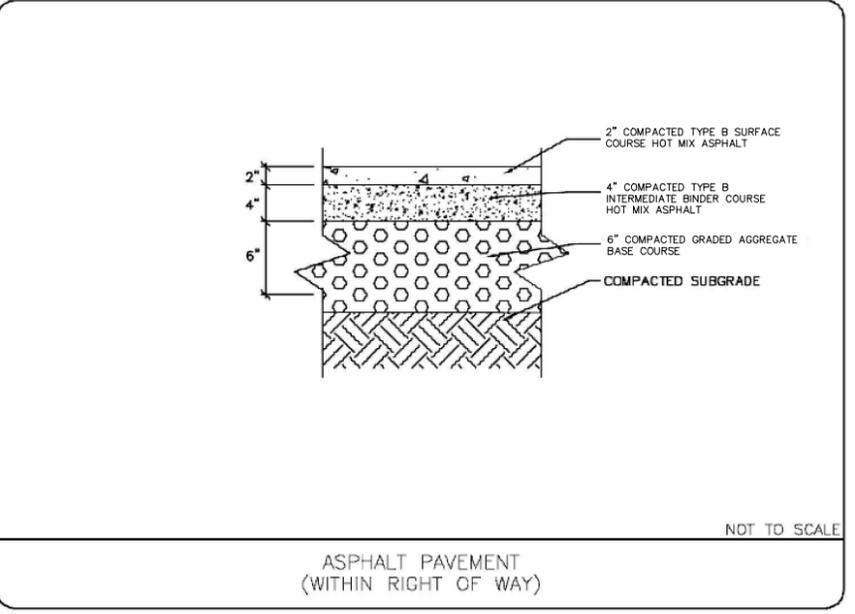
NOTE: CONSTRUCTION SIGNING SHALL BE PLACED ACCORDINGLY ON U.S. HIGHWAY 17-A (NORTH MAIN STREET). SEE SCDOT STANDARD DRAWING 605-010-02 SCHEME C (BOTH DIRECTIONS). ONLY USE CONSTRUCTION AHEAD SIGN WITH ARROW PLACARD POINTING TOWARDS SITE AND END CONSTRUCTION SIGN.

NOTE: ANY WORK REQUIRING A SHOULDER CLOSURE IS TO BE DONE USING SCDOT STANDARD DRAWING 610-205-00. ALL SHOULDER CLOSURE WORK IS TO BE DONE DURING DAYLIGHT HOURS BETWEEN 9:00 AM AND 4:00 PM.

NOTE: ANY WORK REQUIRING TRAFFIC DISRUPTION OR LANE CLOSURE ON U.S. HIGHWAY 17-A (NORTH MAIN STREET) WILL BE PERFORMED DURING DAY TIME HOURS. WORK WILL BE BETWEEN THE HOURS OF 9:00 AM AND 2:00 PM WITH ALL TRAFFIC CONTROL REMOVED FROM THE ROADWAY AT THAT TIME. ANY CLOSURE WILL REQUIRE NOTIFYING ALL REQUIRED MEDIA OUTLETS, SCDOT, TOWN OF SUMMERVILLE, AND EMERGENCY AGENCIES A MINIMUM OF ONE WEEK PRIOR TO THE IMPLEMENTATION OF THE CLOSURE. SEE SCDOT STANDARD DRAWING 610-005-00.

NOTE: CONTRACTOR TO REFER TO MOST CURRENT EDITION OF SCDOT STANDARD DRAWINGS FOR PROJECT DETAILS. STANDARD DRAWINGS WERE LAST UPDATED JANUARY 2013.

NOTE: FOR ANY PORTION OF U.S. HIGHWAY 17-A DAMAGED BY CONSTRUCTION, THE CONTRACTOR MUST MILL THE ENTIRE LANE WIDTH 2" AND OVERLAY THAT DISTANCE PLUS 10' IN EACH DIRECTION.



TOWN APPROVAL BOX

No.	REVISIONS	DATE	BY
0			
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 DRAWN BY: GCC
 DESIGNED BY: GCC
 CHECKED BY: MDH

CLIENT:
JPMorganChase
 1111 POLARIS PARKWAY
 COLUMBUS, OH 43240

PROJECT:
 PRELIMINARY DRB SUBMITTAL | MEETING: NOVEMBER 21, 2019
 CHASE BANK SUMMERVILLE
 1300 N MAIN ST., SUMMERVILLE, SC

TITLE:
 DRIVEWAY ENCROACHMENT
 PLAN AND PROFILE

DATE:
 12/30/2019

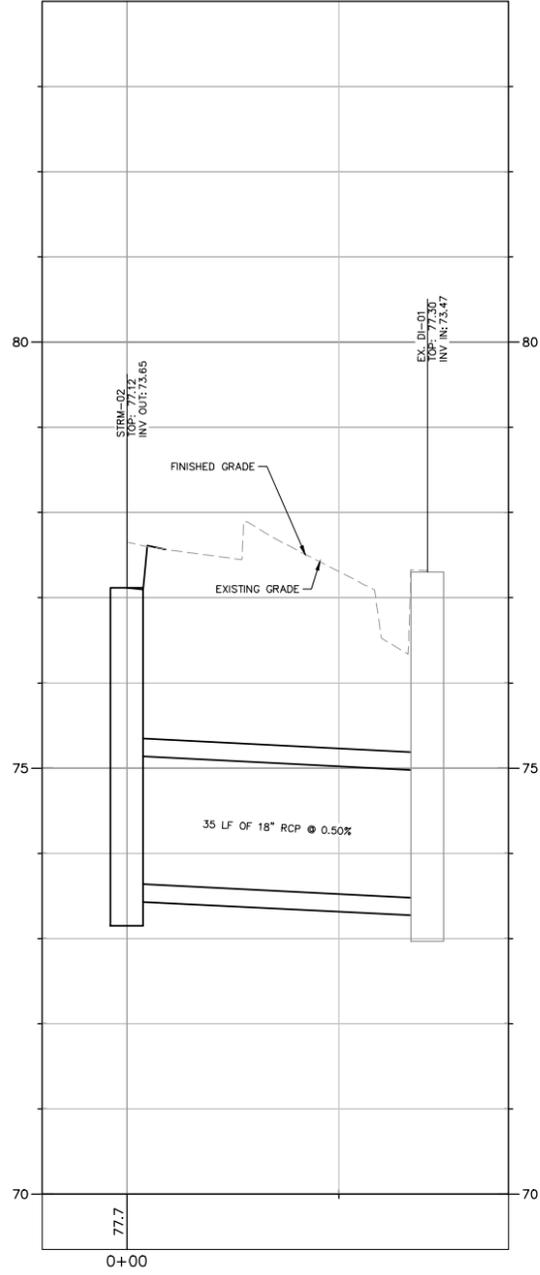
PROJECT NO.
 015071022

SHEET NUMBER

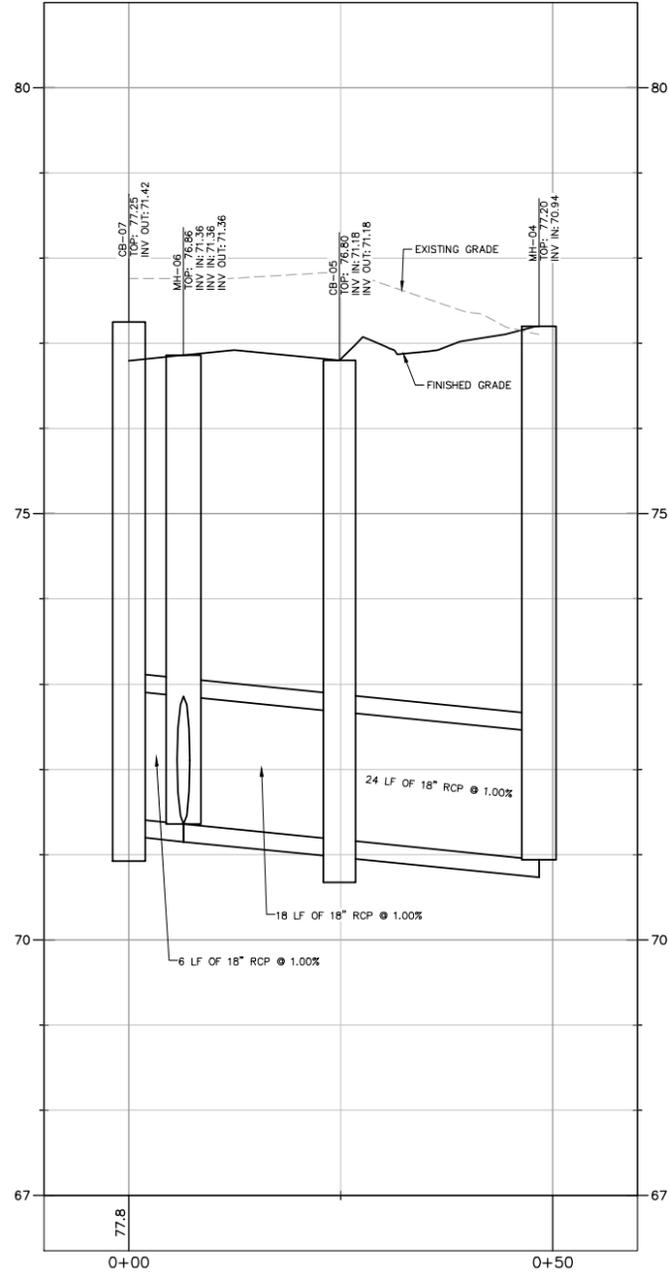
South Carolina 811
 Call 811 before you dig

C3-52

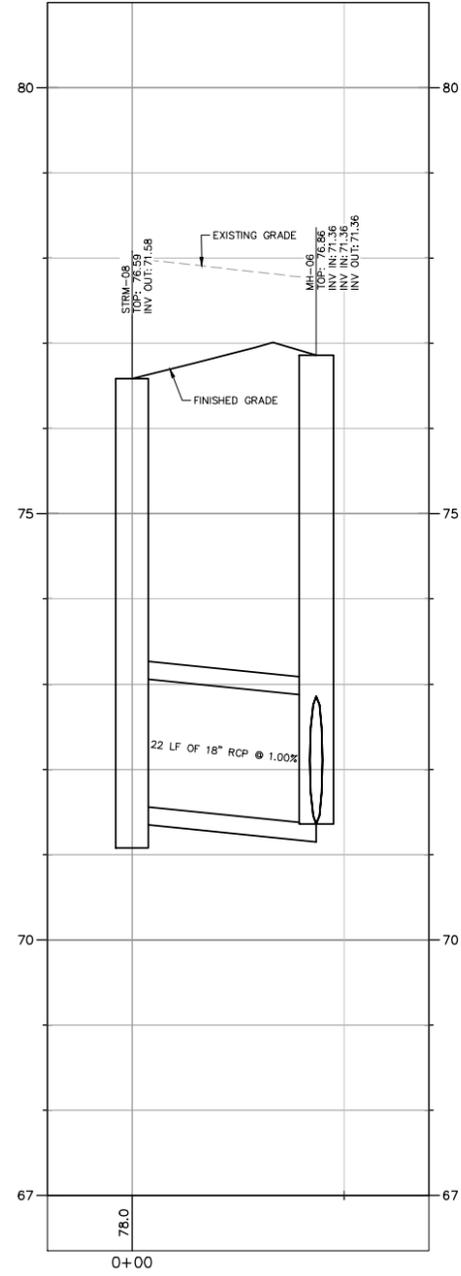
Drawing name: K:\CHA_LDEV\015071 BDG Chase Bank\022 Summerville\02 - DWG\PlanSheets\C3-50 - STORM SEWER PROFILES.dwg C3-50 - STORM SEWER PROFILES Dec 30, 2019 1:52pm by: Thomas Purcell
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PROFILE VIEW
 STRM-01
 1" = 10' HORZ.
 1" = 1' VERT.



PROFILE VIEW
 STRM-02
 1" = 10' HORZ.
 1" = 1' VERT.



PROFILE VIEW
 STRM-03
 1" = 10' HORZ.
 1" = 1' VERT.

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 DESIGNED BY: GCC
 CHECKED BY: MDH



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PROJECT: PRELIMINARY DRB SUBMITTAL | MEETING: NOVEMBER 21, 2019
 CHASE BANK SUMMERVILLE
 1300 N MAIN ST., SUMMERVILLE | SC

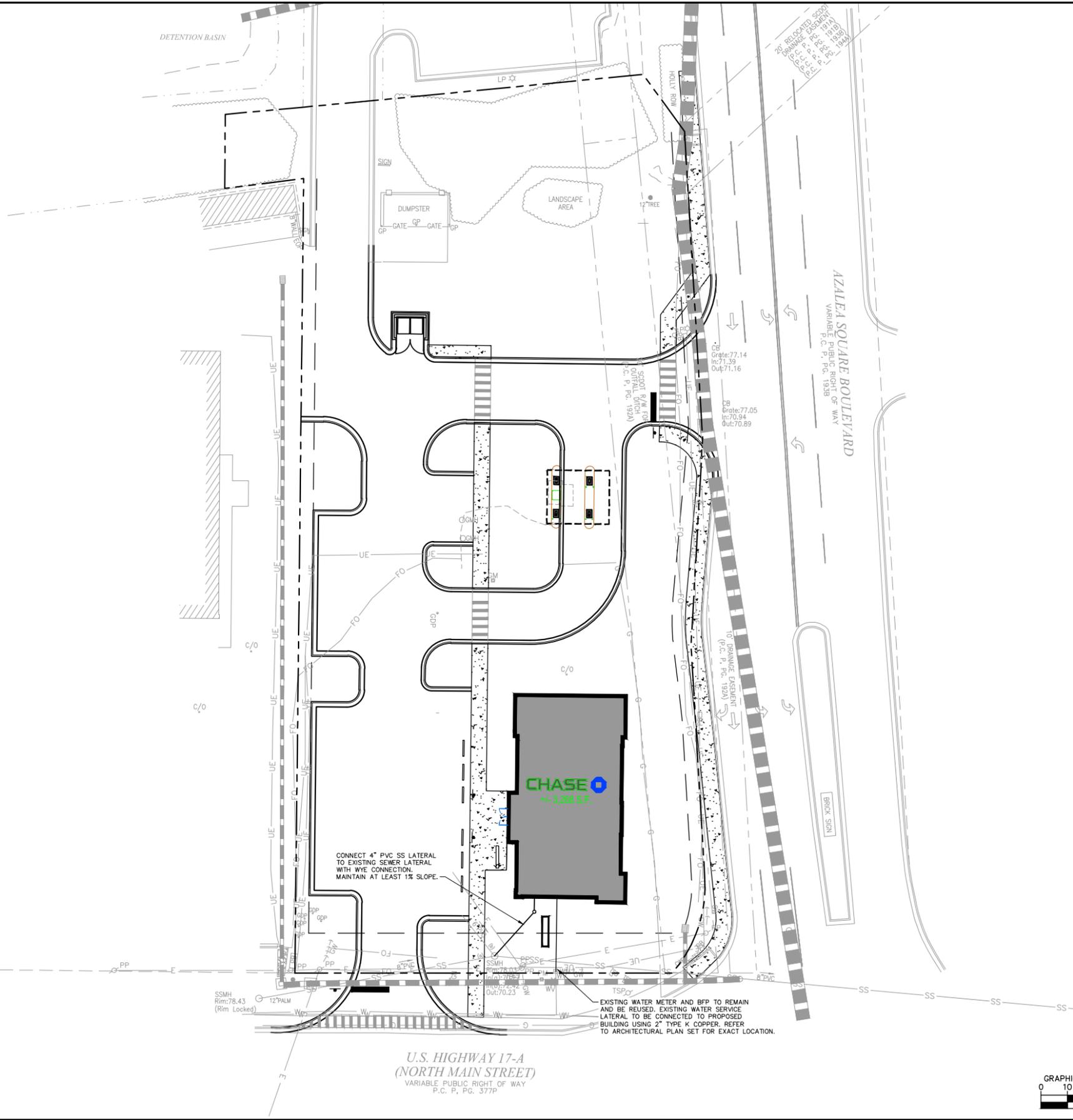
TITLE: STORM SEWER PROFILES

DATE: 12/30/2019
 PROJECT NO.: 015071022
 SHEET NUMBER

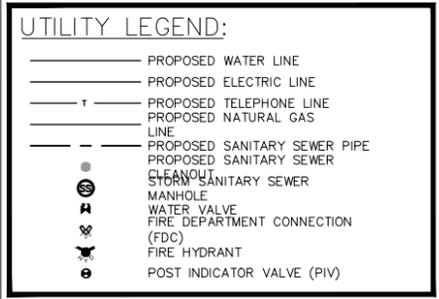
C3-50



Drawing name: K:\CHA_LDE\015071 BDG Chase Bank\022 Summerville\02 - DWG\PlanSheets\C4-00 - UTILITY PLAN.dwg C4-00 - UTILITY PLAN Dec 30, 2019 1:52pm by: Thomas Purcell
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- UTILITY NOTES:**
1. ALL SANITARY SEWER CLEANOUTS IN PAVED AREAS SHALL HAVE A BRASS CAP SET FLUSH WITH THE PROPOSED GRADE. SEE MPW DETAIL WW-05 ON SHEET C6-07.
 2. CONTRACTOR SHALL COORDINATE UTILITY CONNECTION AND REROUTING LOCATIONS WITH APPLICABLE AGENCIES.
 3. ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MOUNT PLEASANT WATERWORKS SANITARY SEWER AND WATER DETAILS AND SPECIFICATIONS.
 4. ALL PIPE LENGTHS SPECIFIED IN THESE PLANS ARE THE HORIZONTAL DISTANCE AND ARE SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE ACTUAL LENGTHS BASED ON PROPOSED PIPE SLOPE. PIPE LENGTHS IN PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 5. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
 6. ALL UTILITY CONNECTIONS END AT 5' OUTSIDE OF THE BUILDING FOOTPRINT. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR BUILDING LAYOUT AND INTERNAL UTILITY SERVICE.
 7. ALL ONSITE UTILITIES SHALL BE LOCATED UNDERGROUND.
 8. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR SANITARY SEWER SERVICE CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.



TOWN APPROVAL BOX

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No.	REVISIONS	DATE	BY

SCALE: AS SHOWN

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DESIGNED BY: GCC

CHECKED BY: MDH

JPMorganChase

CLIENT: 1111 POLARIS PARKWAY
 COLUMBUS, OH 43240

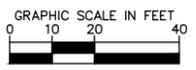
PROJECT: PRELIMINARY DRG SUBMITTAL | MEETING: NOVEMBER 21, 2019
 CHASE BANK SUMMERVILLE
 1300 N MAIN ST., SUMMERVILLE, SC

TITLE: UTILITY PLAN

DATE: 12/30/2019

PROJECT NO.: 015071022

SHEET NUMBER: C4-00



Drawing name: K:\CHA_LDEV\015071 BDG Chase Bank\022 Summerville\02 - DWG\PlanSheets\C5-80 - EROSION CONTROL DETAILS.dwg C5-81 EROSION CONTROL DETAILS Dec 30, 2019 1:53pm by: Thomas Purcell
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Erosion Prevention Measures **Mulching**

Mulching

Plan Symbol

(M)

Description

Mulching is a temporary soil stabilization erosion control method where materials such as grass, hay, wood chips, wood fibers, or straw are placed on the soil surface. In addition to stabilizing soils, mulching can enhance the absorption of water by the soil, reduce evaporation losses, regulate soil temperatures and reduce the speed of storm water runoff over an area.

When and Where to Use It

Use erosion control mulching on level areas or on slopes up to 50 percent. Where soil is highly erodible, nets should only be used in connection with organic mulch such as straw and wood fiber.

Mulch is an effective ground cover when the establishment of vegetation is improbable due to severe weather conditions (winter conditions), poor soil, or steep slopes.

Installation

Grading is not necessary before mulching but may be required if vegetation is expected to grow.

Anchor loose hay or straw by applying tackifier, stapling netting over the top, or crimping with a mulch-crimping tool.

Effective use of netting and matting material requires firm, continuous contact between the materials and the soil. If there is no contact, the material will not hold the soil and erosion will occur underneath the material.

South Carolina DHEC Storm Water Management BMP Field Manual
July, 2005 1-12

Erosion Prevention Measures **Mulching**

Mulching

Materials that are heavy enough to stay in place (for example, bark or wood chips on flat slopes) do not need anchoring.

Apply hydro-mulch in spring, summer, or fall to prevent deterioration of mulch before vegetation becomes established.

There must be adequate coverage to prevent erosion, washout, and poor plant establishment. If an appropriate tacking agent is not applied, or is applied in insufficient amounts, mulch is lost to wind and runoff.

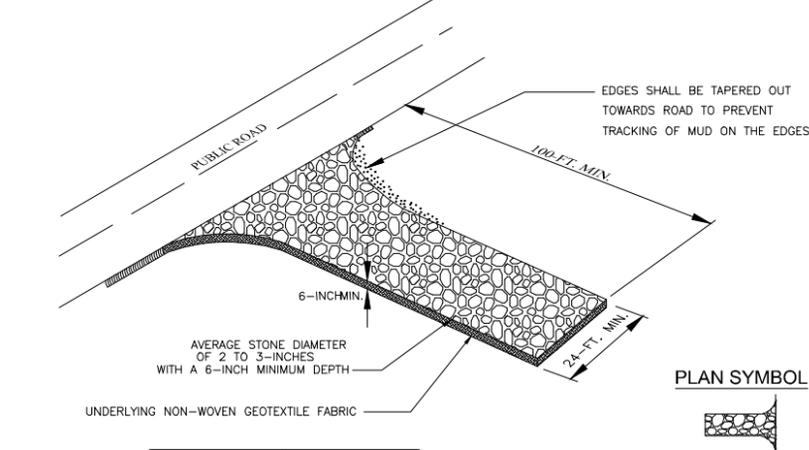
Inspection and Maintenance

- Inspect every 7 calendar days and within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Repair or replace damaged areas of mulch or tie-down material immediately.




Straw Mulching Straw Mulch

South Carolina DHEC Storm Water Management BMP Field Manual
July, 2005 1-13



PLAN SYMBOL

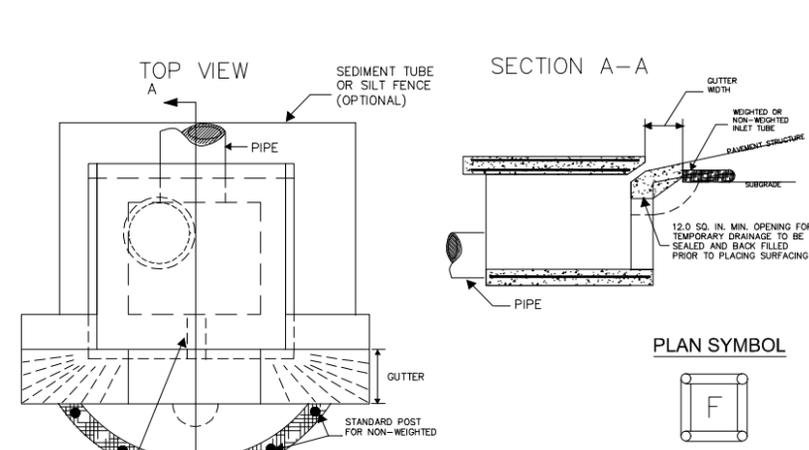
SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE	D = 2-3 INCHES

South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
STANDARD DRAWING NO. SC-06 PAGE 1 of 2
NOT TO SCALE FEBRUARY 2014 DATE

- CONSTRUCTION ENTRANCE - GENERAL NOTES**
- Stabilized construction entrances should be used at all points where traffic will egress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
 - Install a non-woven geotextile fabric prior to placing any stone.
 - Install a culvert pipe across the entrance when needed to provide positive drainage.
 - The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
 - Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
 - The edges of the entrance shall be tapered out towards the road to prevent tracking at the edge of the entrance.
 - Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
 - Limestone may not be used for the stone pad.

- CONSTR. ENTRANCE - INSPECTION & MAINTENANCE**
- The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
 - Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
 - During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
 - Reshape the stone pad as necessary for drainage and runoff control.
 - Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone pad.
 - Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin.
 - During maintenance activities, any broken pavement should be repaired immediately.
 - Construction entrances should be removed after the site has reached final stabilization. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve post-construction.

South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
STANDARD DRAWING NO. SC-06 PAGE 2 of 2
GENERAL NOTES FEBRUARY 2014 DATE



PLAN SYMBOL

(F)

South Carolina Department of Health and Environmental Control
Type F INLET TUBES
STANDARD DRAWING NO. SC-11 PAGE 1 of 2
NOT TO SCALE FEBRUARY 2014 DATE

- TYPE F - INLET TUBES INLET PROTECTION**
- GENERAL NOTES**
- Inlet tubes should be composed of compacted geotextiles, curled excelsior wood, natural coconut fibers, a hardwood mulch, or a mix of these materials enclosed by a flexible netting material.
 - Inlet tubes should utilize an outer netting that consists of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material. Curled wood excelsior fiber, or natural coconut fiber rolled erosion control products rolled up to create an inlet tube device are not allowed.
 - Do not use straw, straw fiber, straw bales, pine needles, or leaf mulch as fill material within inlet tubes.
 - Weighted inlet tubes must be capable of staying in place without external stabilization measures and may have a weighted inner core or other weighted mechanism to keep them in place.
 - Install weighted tubes lying flat on the ground, with no gaps between the underlying surface and the inlet tube. Do not stack inlet tubes. Do not completely block inlet with tube.
 - Non-weighted inlet tubes require staking or other stabilization methods to keep them safely in place.
 - Overflow or overtopping of inlet tubes must be allowed to flow into inlet unobstructed.
 - To avoid possible flooding, two or three concrete cinder blocks may be placed between the tube and the inlet.

- INSPECTION AND MAINTENANCE**
- The key to functional inlet protection is weekly inspection, routine maintenance, and regular sediment removal.
 - Regular inspections of all inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
 - Attention to sediment accumulations in front of the inlet protection is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
 - Remove accumulated sediment when it reaches 1/3 the height of the blocks. If a sump is used, sediment should be removed when it fills approximately 1/3 the depth of the hole.
 - Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
 - Large debris, trash, and leaves should be removed from in front of tubes when found.
 - Replace inlet tube when damaged or as recommended by manufacturer's specifications.
 - Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bore areas immediately.

South Carolina Department of Health and Environmental Control
Type F INLET TUBES
STANDARD DRAWING NO. SC-11 PAGE 2 of 2
GENERAL NOTES FEBRUARY 2014 DATE

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South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
STANDARD DRAWING NO. SC-06 PAGE 2 of 2
GENERAL NOTES FEBRUARY 2014 DATE

SCALE: AS SHOWN

DRAWN BY: GCC

DESIGNED BY: GCC

CHECKED BY: MDH

JPMorganChase

CLIENT: JPMorganChase

1111 POLARIS PARKWAY
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PROJECT: PRELIMINARY DRG SUBMITTAL | MEETING: NOVEMBER 21, 2019
CHASE BANK SUMMERVILLE
1300 N MAIN ST., SUMMERVILLE, SC

TITLE: EROSION CONTROL DETAILS

DATE	12/30/2019
PROJECT NO.	015071022
SHEET NUMBER	



C5-81

Drawing name: K:\CHA_LDEV\015071 BDG Chase Bank\022 Summerville\02 - DWG\PlanSheets\C5-82 - EROSION CONTROL DETAILS.dwg C5-82 EROSION CONTROL DETAILS Dec 30, 2019 1:53pm by: Thomas Purcell
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Erosion Prevention Measures Temporary Seeding

Temporary Seeding

Plan Symbol

(TS)

Description

The purpose of temporary seeding is to reduce erosion and sedimentation by stabilizing disturbed areas that would otherwise lay bare for long periods of time before they are worked or stabilized. Temporary seeding is also used where permanent vegetation growth is not necessary or appropriate.

When and Where to Use It

Temporary seeding is used on exposed soil surfaces such as denuded areas, soil stockpiles, dikes, dams, banks of sediment basins, banks of sediment traps, and temporary road banks. Temporary seeding prevents and limits costly maintenance operations on other sediment control structures. Sediment clean-out requirements for sediment basins, sediment traps, and silt fence is reduced if the drainage area is seeded when grading and construction operation are not taking place.

Temporary stabilization is required within 14 days after construction activity is complete **unless construction activity is going to resume within 21 days**. Cover seeded areas with an appropriate mulch to provide protection from the weather. When the temporary vegetation does not grow quickly or thick enough to prevent erosion, re-seed as soon as possible. Keep seeded areas adequately moist. Irrigate the seeded area if normal rainfall is not adequate for the germination and growth of seedlings. Water seeded areas at controlled rates that are less than the rate at which the soil can absorb water to prevent runoff. Runoff of irrigation water wastes water and can cause erosion.

South Carolina DHEC Storm Water Management BMP Field Manual
July, 2005 1-7

Erosion Prevention Measures Temporary Seeding

Seed Selection

Seed selection is based on geographical location, soil type and the season of the year in which the planting is to be done. Use the tables in Appendix C as a guide for conventional tillage methods (plowing, seedbed preparation, hydroseeding, etc.). If a fast growing crop to nurse the permanent specie or species is required, then use the mix rate. Failure to carefully follow agronomic recommendations results in an inadequate stand of temporary vegetation that provides little or no erosion control.

Installation

Tillage

If the area has been recently plowed, no tillage is required other than raking or surface roughening to break any crust that has formed leaving a textured surface. Disk the soil for optimal germination when the soil is compacted less than 6-inches.

Soil Testing

Soil testing is available through Clemson University Cooperative Extension Service.

Lime

Lime is not required for temporary seeding unless a soil test shows that the soil pH is below 5.0. It may be desirable to apply lime during the temporary seeding operation to benefit the long-term permanent seeding. Apply a minimum of 1.5 tons of Lime/acre (70 lbs./1000 ft²) when used.

Fertilizer

Apply a minimum of 500 pounds per acre of 10-10-10 fertilizer (1.5 pounds per 1000 square feet) or equivalent during temporary seeding unless a soil test indicates a different requirement. Incorporate fertilizer and lime (if used) into the top 4-6 inches of the soil by disking or other means where conditions allow.

South Carolina DHEC Storm Water Management BMP Field Manual
July, 2005 1-8

Erosion Prevention Measures Temporary Seeding

Seeding

Loosen the soil surface before broadcasting the seed. Apply seed evenly by the most convenient method available for the type of seed used and the location of the temporary seeding. Typical application methods include but are not limited to cyclone seeders, rotary spreaders, drop spreaders, broadcast spreaders, hand spreaders, cultipacker seeder, and hydro-seeders. Cover applied seed by raking or dragging a chain, and then lightly firm the area with a roller or cultipacker.

Mulching

Use mulch with temporary seed applications to retain soil moisture and reduce erosion during the establishment of vegetation. Typical mulch applications include straw, wood fiber, hydromulches, BFM and FGM. Use hydromulches with a minimum blend of 70% wood fibers.

The most commonly accepted mulch used in conjunction with temporary seeding is small grain straw. This straw should be dry and free from mold damage and noxious weeds. The straw may need to be anchored with netting or emulsions to prevent it from being blown or washed away. Apply the straw mulch by hand or machine at the rate 1.5-2 tons per acre (90 pounds per 1000 square feet). Frequent inspections are necessary to check that conditions for growth are good.

Irrigation

Seeded areas should be kept adequately moist. Irrigate the seeded area if normal rainfall is not adequate for the germination and growth of seedlings. Water seeded areas at controlled rates that are less than the rate at which the soil can absorb water to prevent runoff. Runoff of irrigation water wastes water and can cause erosion.

Re-seeding

Re-seed areas where seeding does not grow quickly, thick enough, or adequately to prevent erosion. Base seed selection should on the requirements of local Specifications.

South Carolina DHEC Storm Water Management BMP Field Manual
July, 2005 1-9

Erosion Prevention Measures Temporary Seeding

Inspection and Maintenance

- Inspect every 7 calendar days and within 24-hours after each rainfall event that produces 1/2-inches or more of precipitation.
- Cover seeded with mulch to provide protection. Frequent inspections are necessary to check that conditions for growth are good.
- Supply temporary seeding with adequate moisture. Supply water as needed, especially in abnormally hot or dry weather or on adverse sites. Control water application rates to prevent runoff.
- Base seed selection on local Specifications.
- Re-seed areas where the plants do not grow quick enough, thick enough, or adequately enough to prevent erosion should be re-seeded.




Temporary Slope Stabilization

South Carolina DHEC Storm Water Management BMP Field Manual
July, 2005 1-10

Erosion Prevention Measures Permanent Seeding

Permanent Seeding

Plan Symbol

(PS)

Description

Controlling runoff and preventing erosion by establishing a perennial vegetative cover with seed.

When and Where to Use It

A major consideration in the selection of the type of permanent grass to establish is the intended use of the land. Land use is separated in two categories, high-maintenance and low-maintenance.

High-maintenance

High maintenance areas are mowed frequently, lime or fertilized on a regular basis, and require maintenance to an aesthetic standard. Land uses with high maintenance grasses include homes, industrial parks, schools, churches, and recreational areas such as parks, athletic fields, and golf courses.

Low-maintenance

Low maintenance areas are mowed infrequently, if at all, and lime and fertilizer may not be applied on a regular schedule. These areas are not subject to intense use and do not require a uniform appearance. The vegetation must be able to survive with little maintenance over long periods of time. Grass and legume mixtures are favored in these areas because legumes are capable of fixing nitrogen in the soil for their own use and the use of the grasses around them. Land uses requiring low-maintenance grasses include steep slopes, stream and channel banks, road banks, and commercial and industrial areas with limited access.

South Carolina DHEC Storm Water Management BMP Field Manual
July, 2005 1-29

Erosion Prevention Measures Permanent Seeding

Seed Selece

The use of native species is preferred when selecting vegetation. Base plant seed selection on geographical location, the type of soil, the season of the year in which the planting is to be done, and the needs and desires of the permanent land user. Failure to carefully follow agronomic recommendations results in an inadequate stand of permanent vegetation that provides little or no erosion control.

Installation

Topsoil

Apply topsoil if the surface soil of the seedbed is not adequate for plant growth.

Tillage

If the area has been recently plowed, no tillage is required other than raking or surface roughening to break any crust that has formed leaving a textured surface. Disk the soil for optimal germination when the soil is compacted less than 6-inches. If the soil is compacted more than 6-inches, sub-soiled and disk the area.

Soil Testing

Soil testing is available through Clemson University Cooperative Extension Service.

Lime

Unless a specific soil test indicates otherwise, apply 1 1/2 tons of ground course textured agricultural limestone per acre (70 lbs./1000 ft²).

Fertilizer

Apply a minimum of 1000 pounds per acre of a complete 10-10-10 fertilizer (23 pounds per 1000 square feet) or equivalent during permanent seeding of grasses unless a soil test indicates a different requirement. Incorporate fertilizer and lime (if used) into the top 4-6 inches of the soil by disking or other means where conditions allow. Do not mix the lime and the fertilizer prior to the field application.

South Carolina DHEC Storm Water Management BMP Field Manual
July, 2005 1-30

Erosion Prevention Measures Permanent Seeding

Seeding

Loosen the surface of the soil just before broadcasting the seed. Evenly apply seed by the most convenient method available for the type of seed applied and the location of the seeding. Typical application methods include but are not limited to cyclone seeders, rotary spreaders, drop spreaders, broadcast spreaders, hand spreaders, cultipacker seeder, and hydro-seeders. Cover applied seed by raking or dragging a chain or brush mat, and then lightly firm the area with a roller or cultipacker. Do not roll seed that is applied with a hydro-seeder and hydro-mulch.

Mulching

Cover all permanent seeded areas with mulch immediately upon completion of the seeding application to retain soil moisture and reduce erosion during establishment of vegetation. Apply the mulch evenly in such a manner that it provides a minimum of 75% coverage. Typical mulch applications include straw, wood fiber, hydromulches, BFM and FGM. Use hydromulches with a minimum blend of 70% wood fibers.

The most commonly accepted mulch used in conjunction with permanent seeding is small grain straw. Select straw that is dry and free from mold damage and noxious weeds. The straw may need to be anchored with netting or asphalt emulsions to prevent it from being blown or washed away. Apply straw mulch by hand or machine at the rate 2 tons per acre (90 pounds per 1000 square feet). Frequent inspections are necessary to check that conditions for growth are good.

Irrigation

Keep permanent seeded areas adequately moist, especially late in the specific growing season. Irrigate the seeded area if normal rainfall is not adequate for the germination and growth of seedlings. Water seeded areas at controlled rates that are less than the rate at which the soil can absorb water to prevent runoff. Runoff of irrigation water wastes water and can cause erosion.

South Carolina DHEC Storm Water Management BMP Field Manual
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Erosion Prevention Measures Permanent Seeding

Re-seeding

Inspect permanently seeded areas for failure, make necessary repairs and re-seed or overseed within the same growing season if possible. If the grass cover is sparse or patchy, re-evaluate the choice of grass and quantities of lime and fertilizer applied. Final stabilization by permanent seeding of the site requires that it be covered by a 70% coverage rate.

Inspection and Maintenance

- Inspect seeded areas for failure and make necessary repairs and re-seed immediately. Conduct a follow-up survey after one year and replace failed plants where necessary.
- If vegetative cover is inadequate to prevent rill erosion, overseed and fertilize in accordance with soil test results.
- If a stand of permanent vegetation has less than 40 percent cover, re-evaluate choice of plant materials and quantities of lime and fertilizer.
- Re-establish the stand following seed bed preparation and seeding recommendations, omitting lime and fertilizer in the absence of soil test results.
- If the season prevents re-sowing, mulch is an effective temporary cover.
- Final stabilization of the site requires a 70 percent overall coverage rate. This does not mean that 30 percent of the site can remain bare. The coverage is defined as looking at a square yard of coverage, in which 70 percent of that square yard is covered with vegetation.

South Carolina DHEC Storm Water Management BMP Field Manual
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Erosion Prevention Measures Dust Control

Dust Control

Plan Symbol

(DC)

Description

Wind erosion occurs when the surface soil is loose and dry, vegetation is sparse or absent, the wind is sufficiently strong, and when construction traffic disturbs the soil. Wind erodes soils and transports the sediment off site in the form of fugitive dust, where it may be washed into receiving water bodies by the next rainfall event. Fugitive dust is a nuisance for neighbors. It settles on automobiles, structures and windows and finds its way into homes. It also makes breathing difficult for those with respiratory problems and becomes a safety problem when it blinds motorists, equipment operators, and laborers.

When and Where to Use It

Utilize dust control methods whenever there are offsite impacts, especially during periods of drought. Implemented dust control until final stabilization is reached.

Inspection and Maintenance

- Add additional dust control or re-spray area as necessary to keep dust to a minimum.
- Spray exposed soil areas only with approved dust control agents as indicated by the SCDHEC Standard Specifications.

South Carolina DHEC Storm Water Management BMP Field Manual
July, 2005 1-43

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PROJECT: PRELIMINARY DRB SUBMITTAL | MEETING: NOVEMBER 21, 2019
CHASE BANK SUMMERVILLE
1300 N MAIN ST., SUMMERVILLE, SC

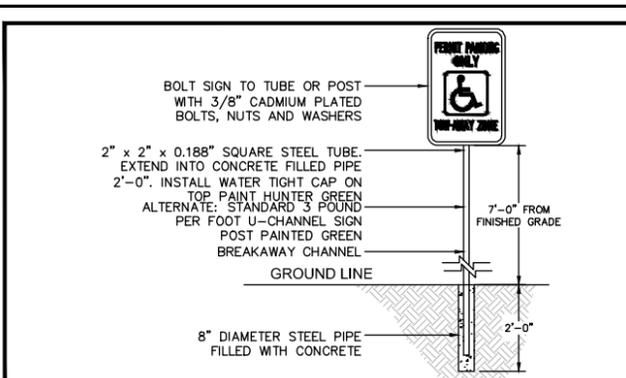
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DATE: 12/30/2019
PROJECT NO.: 015071022
SHEET NUMBER

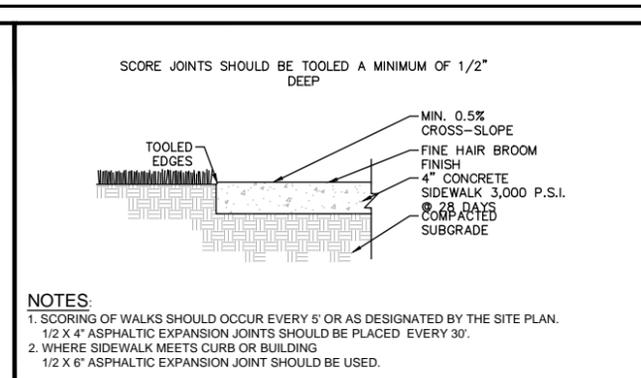
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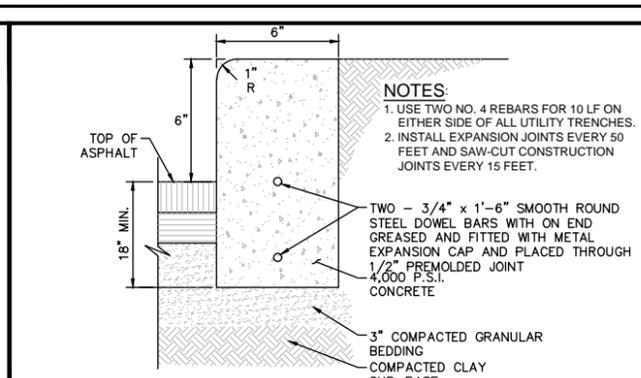
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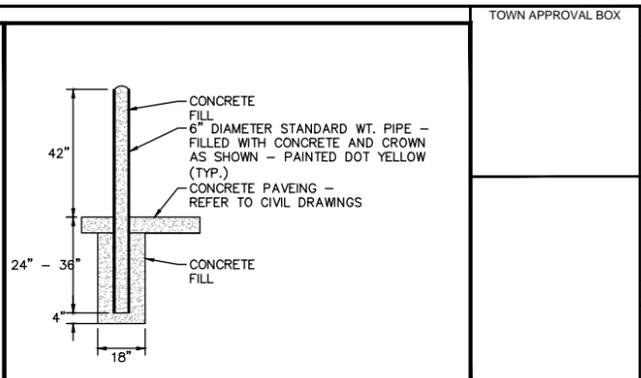
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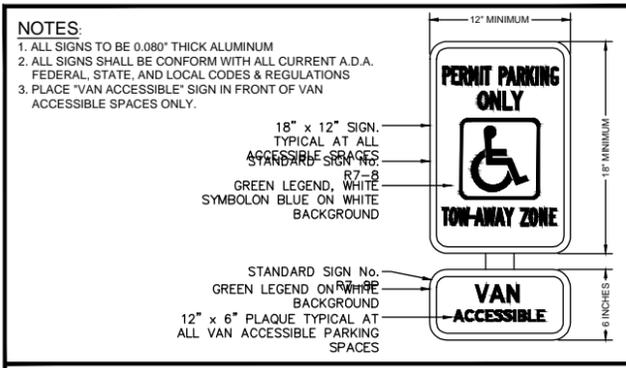
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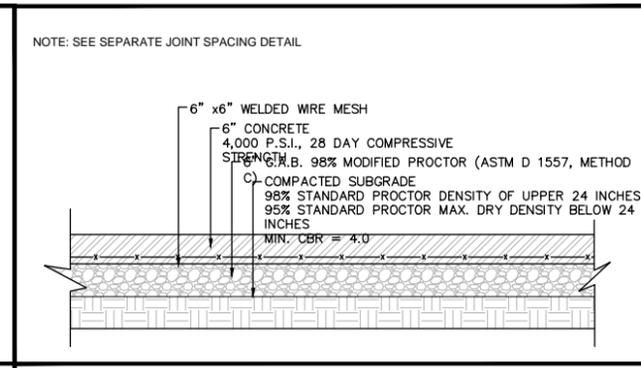
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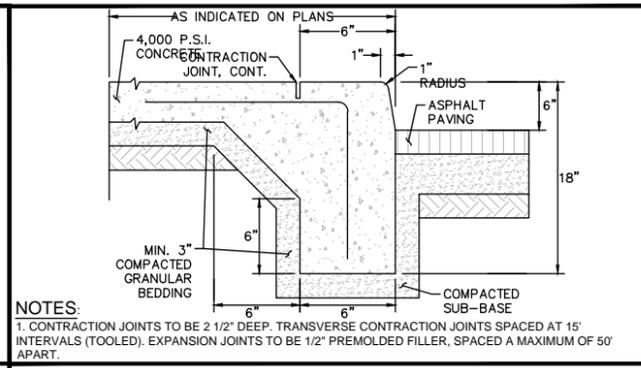
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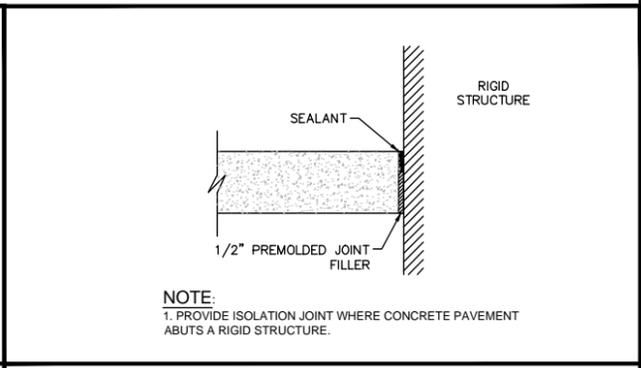
VAN ACCESSIBLE ADA SIGN DETAIL



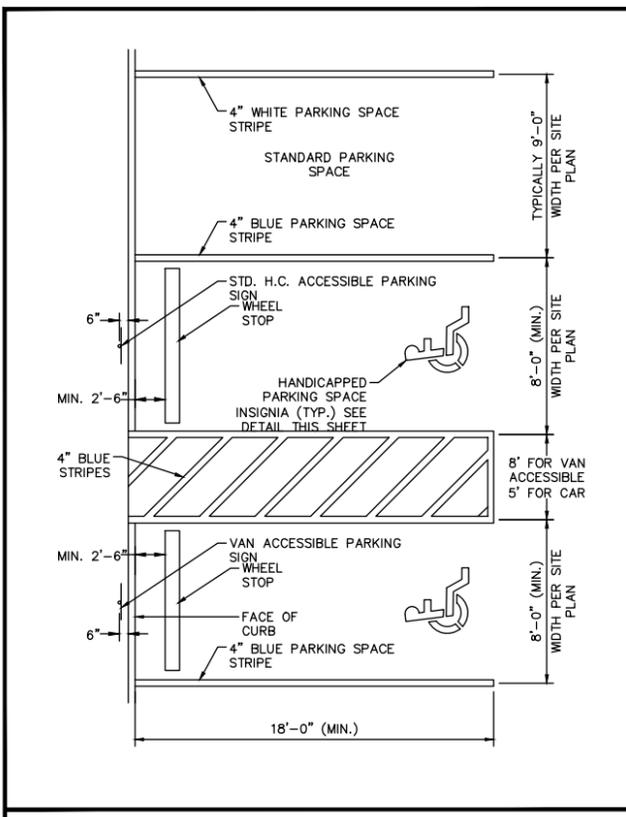
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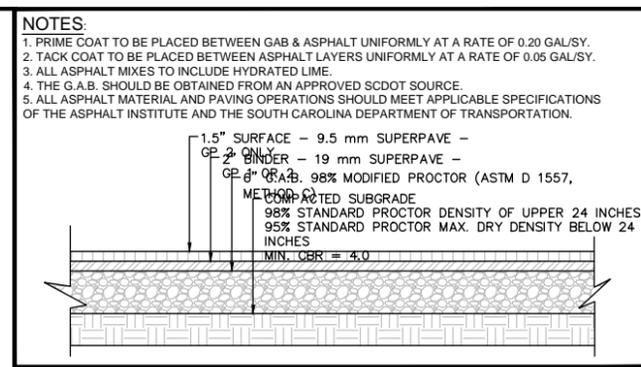
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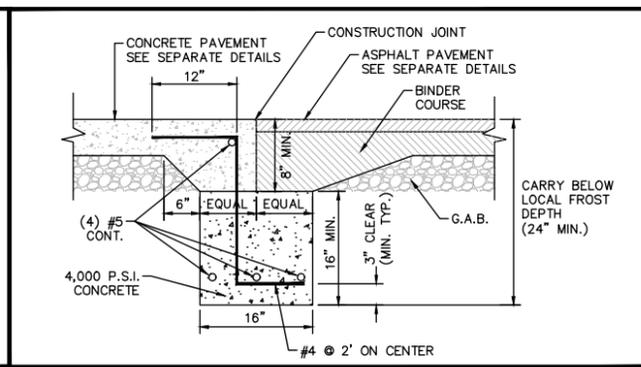
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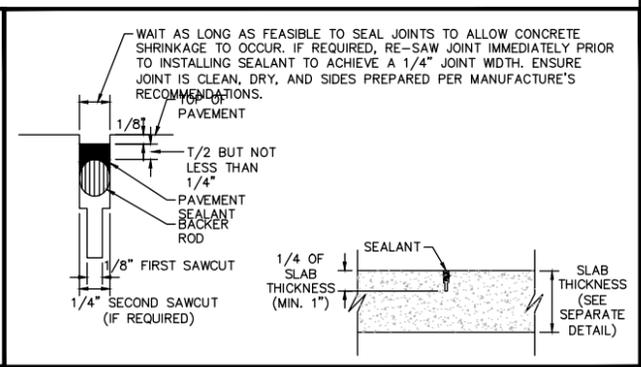
STANDARD ACCESSIBLE HANDICAP PARKING SPACE



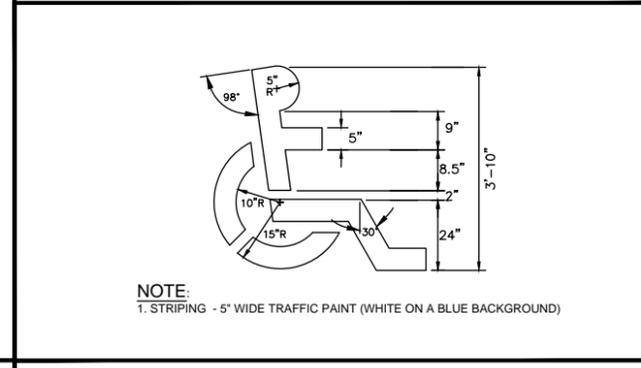
HEAVY DUTY ASPHALT PAVEMENT SECTION



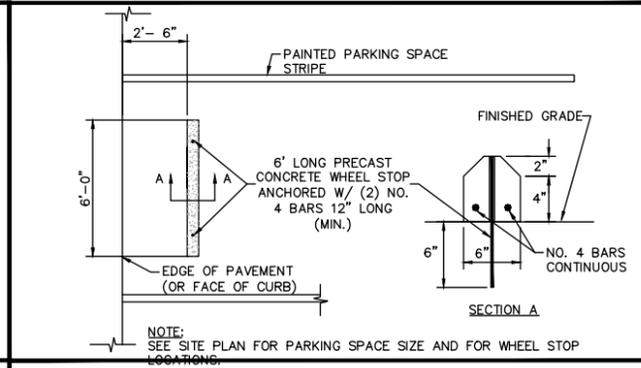
CONCRETE / ASPHALT JOINT DETAIL



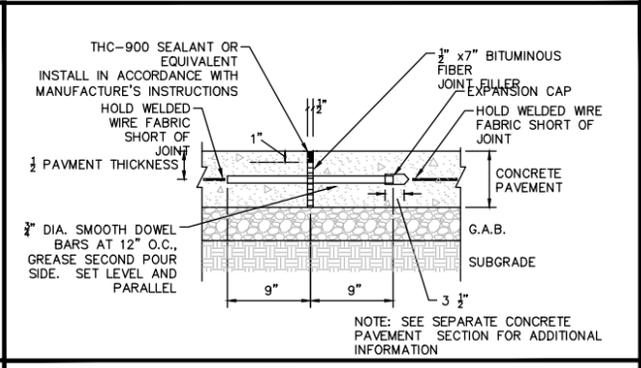
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HANDICAP PARKING INSIGNIA DETAIL



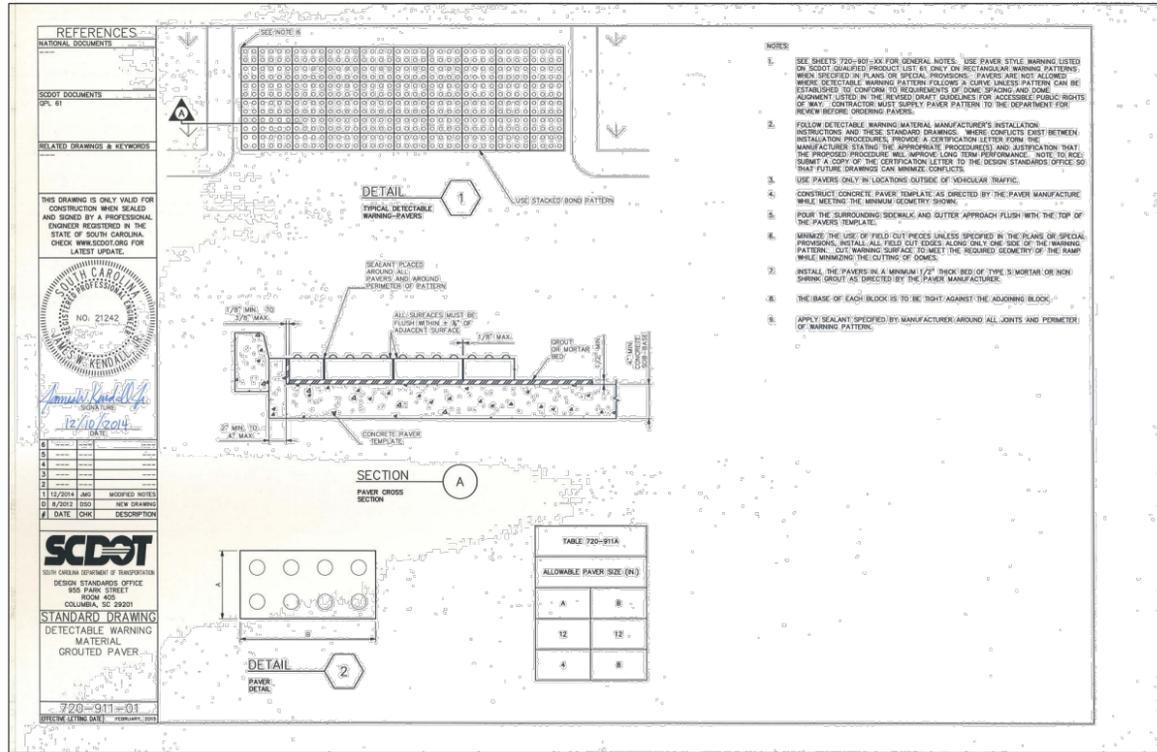
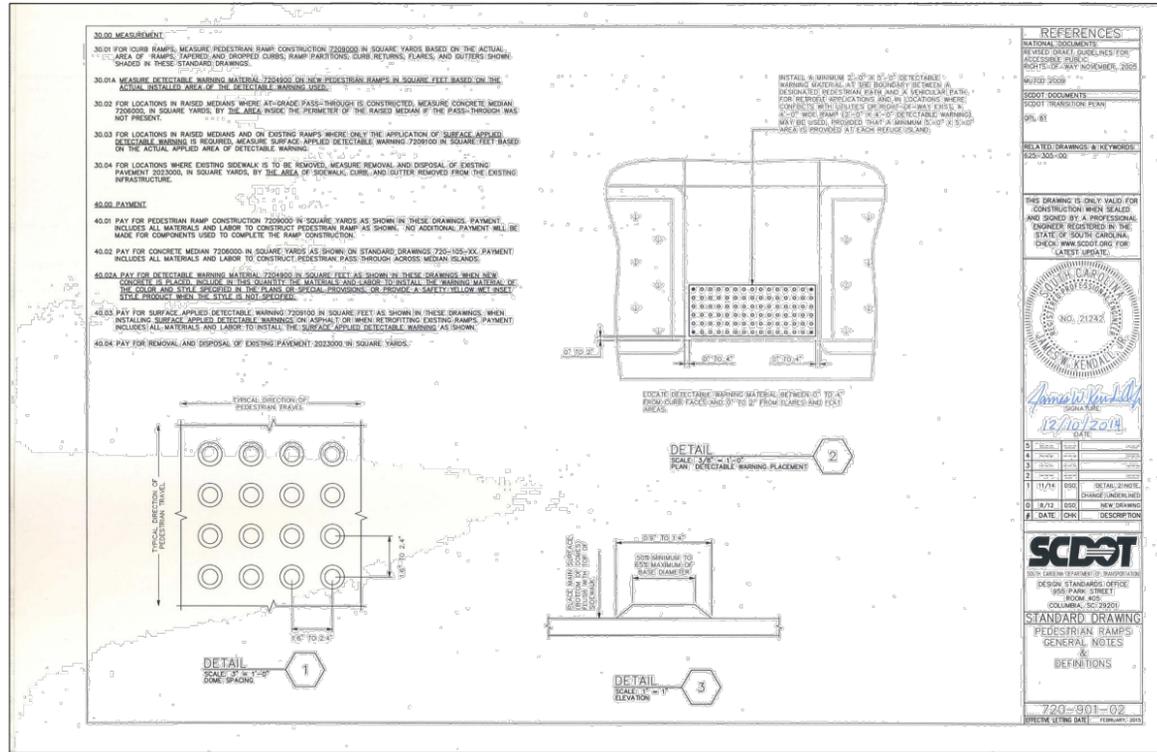
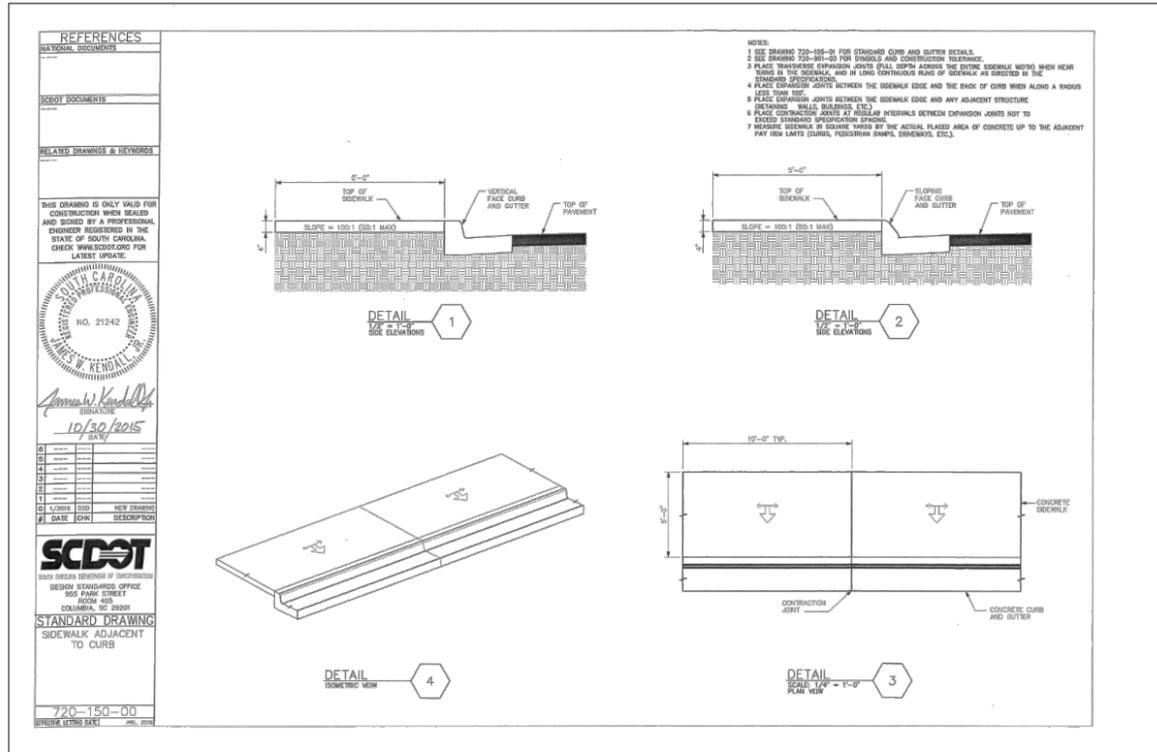
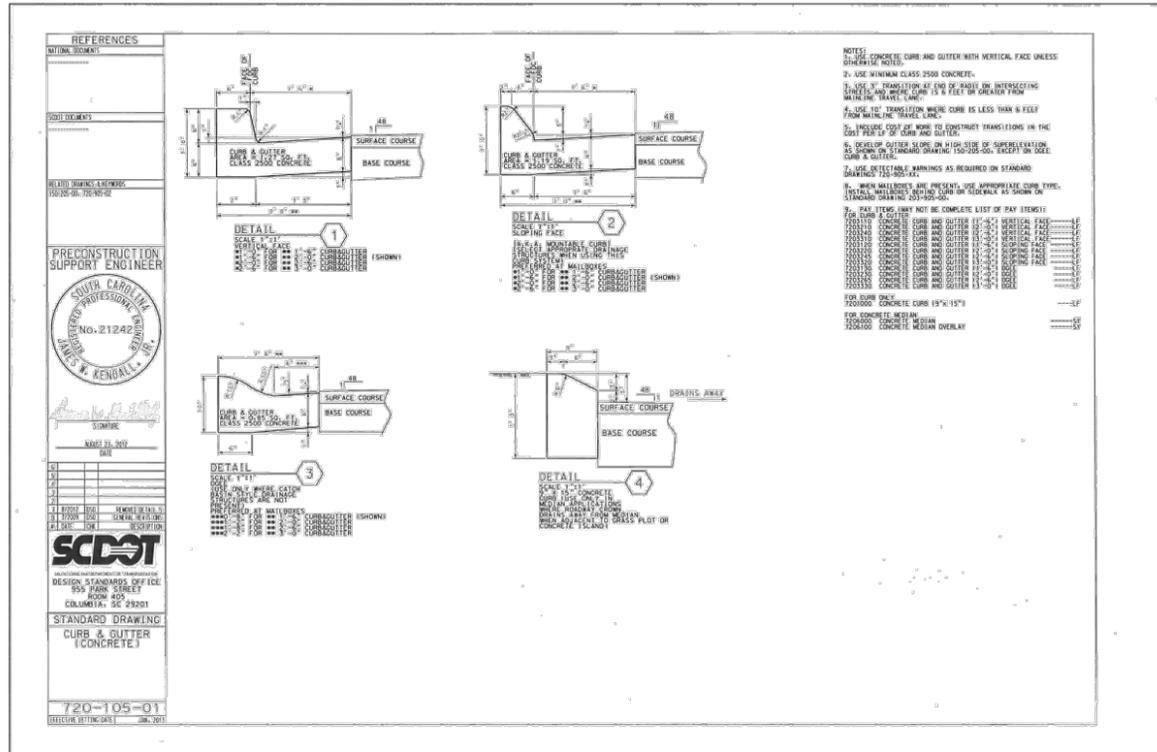
CONCRETE WHEEL STOP DETAIL



CONCRETE EXPANSION JOINT DETAIL

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5		SCALE: AS SHOWN DRAWN BY: GCC DESIGNED BY: GCC CHECKED BY: MDH	CLIENT: 1111 POLARIS PARKWAY COLUMBUS, OH 43240
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3		PROJECT: PRELIMINARY DR SUBMITTAL MEETING: NOVEMBER 21, 2019 CHASE BANK SUMMERVILLE 1300 N MAIN ST., SUMMERVILLE, SC	TITLE: CONSTRUCTION DETAILS
2			
1		DATE: 12/30/2019	PROJECT NO.: 015071022
0		SHEET NUMBER: C6-00	

Drawing name: K:\CHA_LDEV\015071 BDG Chase Bank\022 Summerville\02 - DWG\PlanSheets\C6-01 - CONSTRUCTION DETAILS.dwg C6-01 - CONSTRUCTION DETAILS Dec 30, 2019 1:53pm by: Thomas Purcell



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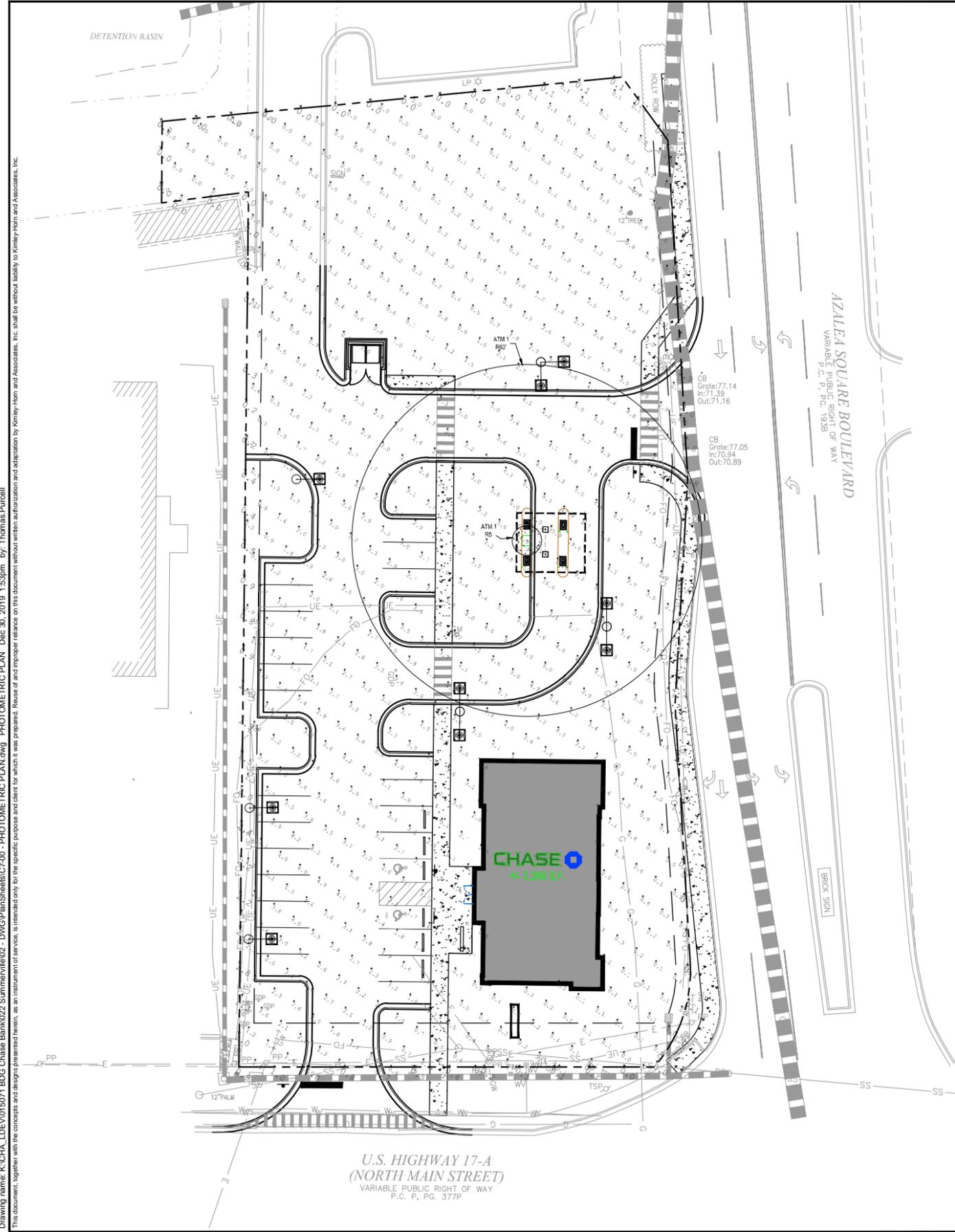
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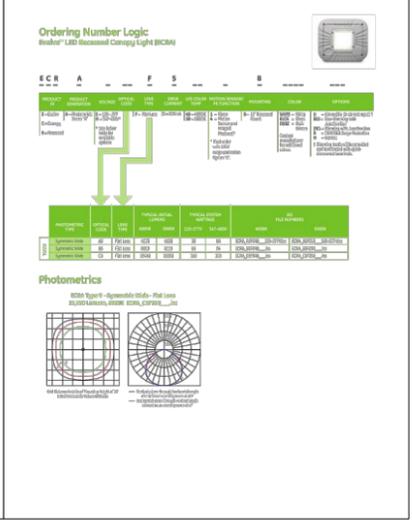
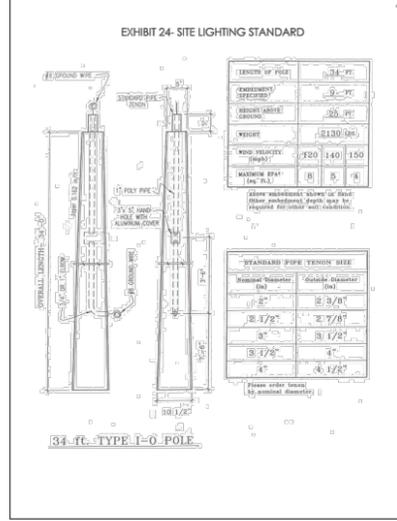
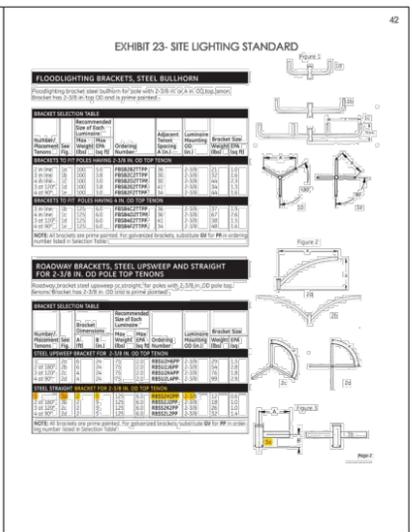
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Drawing name: K:\CHA_LDE\015071 BDG Chase Bank\022 Summerville\02 - DWG\PlanSheets\C7-00 - PHOTOMETRIC PLAN.dwg PHOTOMETRIC PLAN Dec 30, 2019 1:53pm by: Thomas Purcell
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Ordering Number Logic
 Order LED Area Light Fixtures (EANB)

Area	Ordering Number	Notes
ATM 1	EANB_F4740	LED, 125W, 25'-0" Pole
Parking Lot	ECRA_B5F540	LED, 64W, Canopy



CHASE SITE DESIGN LIGHTING REQUIREMENTS

Area	MINIMUM @ 5'	MINIMUM @ 50'	MINIMUM @ 60'
ATM 1	13.3 FC	N/A	2.00

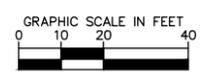
PARKING LOT LIGHTING

Parking Lot	MINIMUM	AVERAGE	UNIFORMITY RATIO (MAX/MIN)
Parking Lot	0.50	2.97	12.40

- PHOTOMETRIC NOTES**
- SITE LIGHTING SHALL COMPLY WITH THE TOWN OF SUMMERVILLE LIGHTING CODE PER CHAPTER 9 OF THE SUMMERVILLE UDO.
 - MOUNTING HEIGHT IS AS SHOWN ON PLAN
 - ALL LUMINARIES SHALL BE LED 4000K

LIGHT FIXTURE SCHEDULE

SYMBOL	LAMPS	FIXTURE WATTS	EQUAL TO		COLOR	ARRANGEMENT	MOUNTING	BUG RATING
			MANUFACTURER	IES File				
☐	LED	125	GE	EANB_F4740	DARK BRONZE (DKBZ)	BACK-BACK	CONCRETE POLE @ 25'-0"	B2-U0-G3
☐	LED	125	GE	EANB_F4740	DARK BRONZE (DKBZ)	TWO @ 90	CONCRETE POLE @ 25'-0"	B2-U0-G3
○	LED	125	GE	EANB_F4740	DARK BRONZE (DKBZ)	SINGLE	CONCRETE POLE @ 25'-0"	B2-U0-G3
☐	LED	64	GE	ECRA_B5F540	WHITE	SINGLE	CANOPY	N/A



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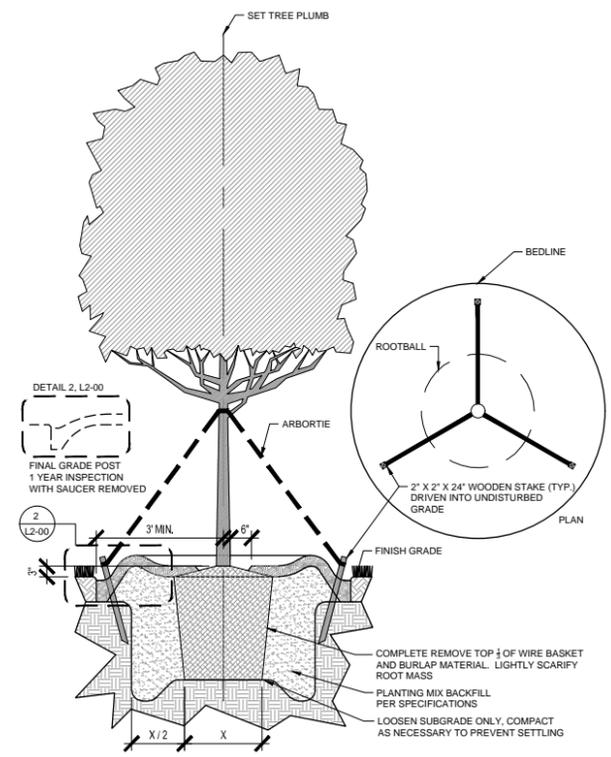
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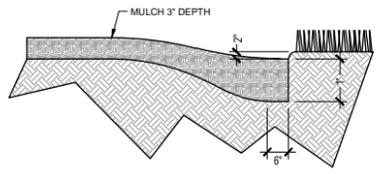
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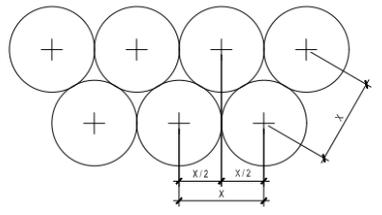
- TREE PLANTING NOTES:**
1. SET TREE MIN. 3" ABOVE SURROUNDING FINISH GRADE. MEASURED AT BASE OF TRUNK.
 2. MAINTAIN 6" CLEAR RADIUS AREA SURROUNDING WOODY TRUNK FOR MULCH.

1 TYPICAL TREE PLANTING & GUYING
 SCALE: 1/2"=1'-0"
 PLAN & SECTION



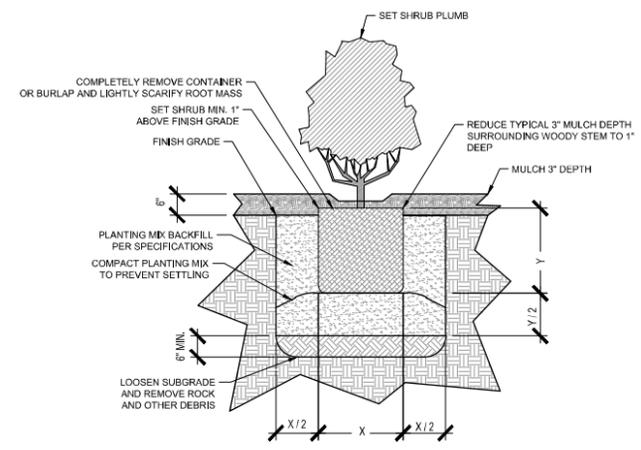
- PLANTING BED TRENCH EDGING NOTES:**
1. TRENCH EDGE SHALL BE LOCATED BETWEEN PLANTING BED AND ALL TURF OR NATIVE GRASS AREAS.
 2. TRENCH EDGE SHALL BE CONSTRUCTED ALONG ALL HARDSCAPE AREAS FOR SIMILAR CONDITION.
 3. MAINTAIN POSITIVE DRAINAGE IN ALL PLANTING BEDS.
 4. SEE PLANT SCHEDULE FOR TYPE OF MULCH.

2 PLANT BED TRENCH EDGING
 SCALE: 1"=1'-0"
 SECTION



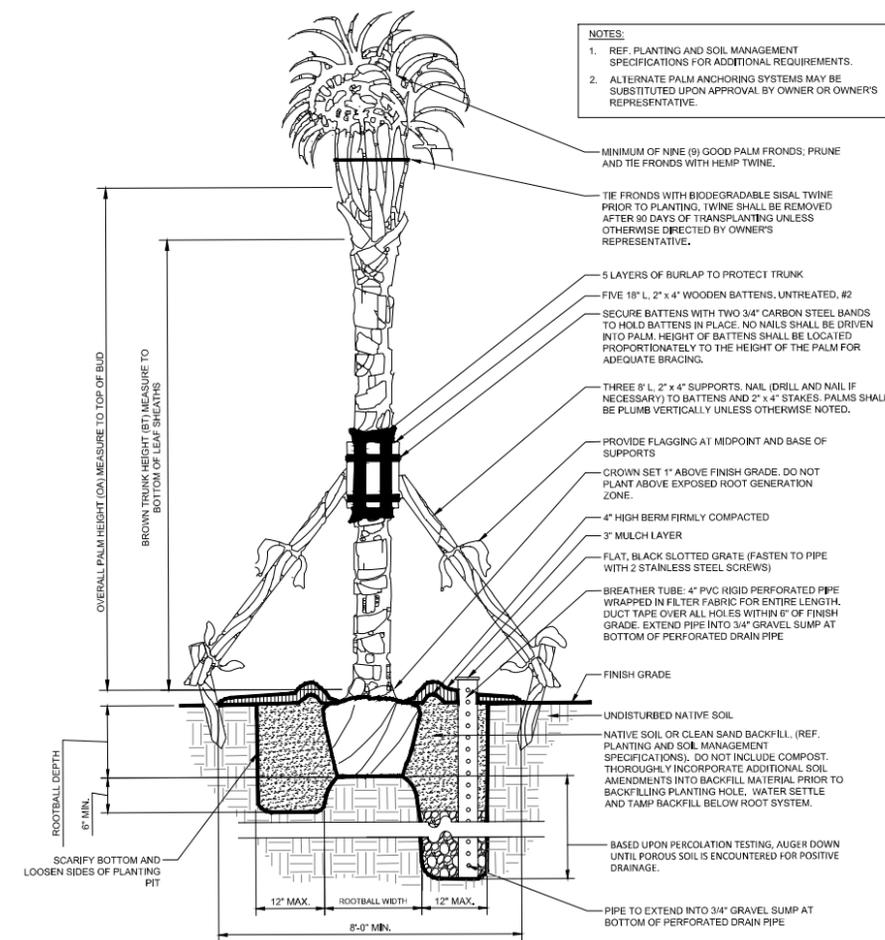
- PLANTING SPACING NOTES:**
1. SEE PLANTING PLAN FOR SHRUB AND GROUND COVER AREAS.
 2. PLANT MATERIAL SHALL BE INSTALLED IN STRAIGHT AND PARALLEL ROWS UNLESS OTHERWISE SHOWN ON DRAWINGS.
 3. SEE PLANTING PLAN AND / OR PLANT SCHEDULE FOR ACTUAL PLANT SPACING.

3 TYPICAL TRIANGLE ROW SPACING
 SCALE: 1/2"=1'-0"
 PLAN



- SHRUB PLANTING NOTES:**
1. ALL PLANT MATERIAL PRICING SHALL INCLUDE MULCH, BED PREPARATION, AND STAKING.
 2. ALL PLANTING BEDS SHALL RECEIVE 3" (THREE INCHES) OF MULCH. MULCH TYPE FOR PROJECT: TRIPLE GROUND HARDWOOD MULCH OR CURRENT TOWN STANDARD.
 3. PLANT MATERIAL SPACING SHOWN ON LANDSCAPE PLANS SHALL OVERRIDE TYPICAL PLANT SPACING INDICATED ON PLANT SCHEDULE. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFYING ALL PLANT SPACING AND MAKING MINOR FIELD ADJUSTMENTS DUE TO UTILITY CONFLICTS.

4 TYPICAL SHRUB PLANTING
 SCALE: 1"=1'-0"
 SECTION



5 PALM PLANTING & GUYING
 N.T.S.
 SECTION

GENERAL LANDSCAPE NOTES:

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT SCHEDULE.
3. ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
6. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE MASTER PLANT LIST) AT THE NURSERY FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASE OF THESE MATERIALS. SUBMIT DIGITAL PHOTOGRAPHS AND SOURCE LIST TO LANDSCAPE ARCHITECT FOR APPROVAL MINIMUM 6 WEEKS PRIOR TO INSTALLATION SCHEDULE.
7. ALL SHADE TREES ADJACENT TO PEDESTRIAN WALKWAYS SHALL BE BRANCHED 6'-7' PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES. ALL SHADE TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.
8. ALL PLANTING BEDS AND TREE RINGS MUST BE COMPLETELY MULCHED AS SPECIFIED.
9. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
10. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THE LANDSCAPE PLAN. ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO PLANTING.
11. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, MOWING, EDGING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL SUBSTANTIAL COMPLETION.
12. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
13. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANTING BEDS AND SOD LINES PRIOR TO INSTALLATION.
14. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
15. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
16. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
17. ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH TRIPLE GROUND HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES.
18. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
19. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
20. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
21. THE ROOT FLAIR SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
22. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
23. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
24. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS. REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL OR UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL PLANTING MIX STANDARDS FOR TREES. SEE DETAILS THIS SHEET.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND ZONING ORDINANCE COMPLIANCE. FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
26. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND TO RAKE ENTIRE SITE.
27. THE CONTRACTOR SHALL INSTALL PERMEABLE BLACK GEOTEXTILE FABRIC UNDER PLANTING BED MULCH TO PREVENT WEED GROWTH.
28. CONTRACTOR SHALL MAINTAIN LANDSCAPING FOR AT LEAST 30 DAYS AFTER SODDING AND PLANTING SHRUBS, AND 60 DAYS AFTER SEEDING, OR AS LONG AS IS NECESSARY TO ESTABLISH UNIFORM STAND OF THE SPECIFIED GRASSES, OR UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT, OR UNTIL ACCEPTANCE OF THE LAWNS AND SHRUBS, WHICHEVER IS LATER.
29. ALL SHRUBS INSTALLED AS VEHICULAR USE SCREENING WILL BE MAINTAINED AS A CONTINUOUS HEDGE AT A MINIMUM HEIGHT OF 36 INCHES.
30. ALL MECHANICAL EQUIPMENT, WASTE DISPOSAL FACILITIES, AND VEHICULAR USE AREAS (DRIVES AND PARKING) SHALL BE SCREENED FROM PUBLIC VIEW.
31. WHERE EXISTING OR PROPOSED VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, THE TOWN OF SUMMERVILLE SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE LANDSCAPE PLAN BASED ON ACTUAL FIELD CONDITIONS.
32. THE SIZE OF THE PLANTING AREA AND OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A TWO AND ONE-HALF FEET WIDE BUMPER OVERHANG MEASURED FROM THE BACK OF CURB.
33. NO TREE SHALL BE LOCATED WITHIN A ROADWAY RIGHT-OF-WAY, WITHIN FIVE FEET OF A SIDEWALK, OR WITHIN TEN FEET OF A LIGHTING LOCATION.
34. ALL ABOVE-GROUND EQUIPMENT ASSOCIATED WITH ON-SITE ELECTRIC, CABLE, TELEPHONE, GAS, OR SIMILAR UTILITY SHALL BE SCREENED, TO THE EXTENT PRACTICAL, WITH EVERGREEN PLANTS. PLANTINGS SHALL ALLOW A MINIMUM OF FIVE FEET OF CLEARANCE AROUND THE STRUCTURE WITH TEN FEET OF CLEARANCE ON ANY SIDE CONTAINING A DOOR. ALLOW ACCESS FOR MAINTENANCE. THE CLEARANCES SHALL ACCOUNT FOR THE MATURE SIZE OF THE PLANT MATERIAL.
35. ALL DRAIN INLETS SHALL BE INSTALLED OUTSIDE MULCH AREAS, WHERE POSSIBLE, TO PREVENT MULCH AND BED DEBRIS FROM ENTERING SYSTEM.

TOWN APPROVAL BOX

--	--	--	--	--	--	--	--	--	--

No.	REVISIONS	DATE	BY

Kimley & Horn
 © 2019 KIMLEY-HORN AND ASSOCIATES, INC.
 1515 ARCHBOLD STREET, SUITE 250
 CHARLESTON, SOUTH CAROLINA 29402
 PHONE (843) 737-8300
 WWW.KIMLEY-HORN.COM

SCALE: AS SHOWN	DESIGNED BY: LOO	CHECKED BY: MRG
DRAWN BY: LOO		

JPMorganChase
 CLIENT:
 1111 POLARIS PARKWAY
 COLUMBIUS, OH 43240

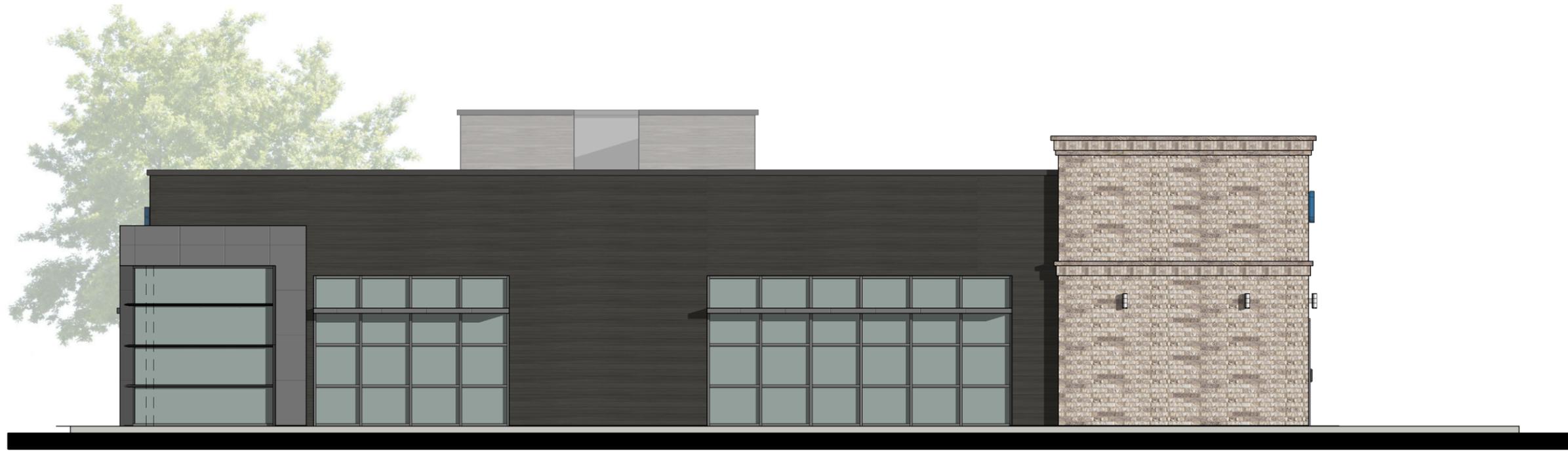
PROJECT: PRELIMINARY DRG SUBMITTAL | MEETING: NOVEMBER 21, 2019
 CHASE BANK SUMMERVILLE
 1300 N MAIN ST., SUMMERVILLE, SC

TITLE: LANDSCAPE DETAILS

DATE	12/30/2019
PROJECT NO.	015071022
SHEET NUMBER	

L2-00





EAST ELEVATION



T.O. HIGH PARAPET
21' - 0"

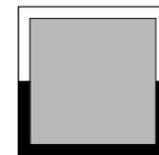
T.O. LOW PARAPET
17' - 0"

T.O. WALL
12' - 8"

T.O. CURTANWALL
10' - 0"

B.O. SUNSHADE
7' - 6"

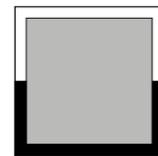
T.O. CONC. SLAB
0' - 0"



METALLIC GRAY



VINTAGE WOOD
ASH COLOR



BRUSHED STAINLESS
STEEL



VINTAGE COLOR
BARK COLOR



ESCALANTE 826066

SOUTH ELEVATION

CHASE BANK

SUMMERVILLE
1300 N. Main St., Summerville, SC 29483



194032 (38100P354386)
2019-12-16

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.

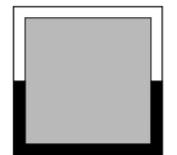




WEST ELEVATION



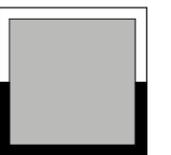
NORTH ELEVATION



METALLIC GRAY



VINTAGE WOOD
ASH COLOR



BRUSHED STAINLESS
STEEL



VINTAGE COLOR
BARK COLOR



ESCALANTE 826066

CHASE BANK

SUMMERVILLE
1300 N. Main St., Summerville, SC 29483



194032 (38100P354386)
2019-12-16

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.



STAFF REPORT
CDRB Meeting
January 16, 2020 at 4:00 p.m.

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: January 9, 2020

GENERAL INFORMATION

Applicant: Christine Garcia

Property Owner: Trolley Car Wash LLC

Requested Action: The applicant is requesting Preliminary Approval of the proposed renovation and reuse of the existing carwash into office space

Requested Approval: Preliminary Approval

Existing Zoning: UC-MX

Adjacent Zoning: **North:** MF-R
South: UC-MX
East: MF-R
West: UC-MX and Out – Dorchester County

Location: 605 Old Trolley Road

Existing Land Use: Closed Car Wash

Last Meeting: Conceptual Review 12/2019

Ordinance Reference: Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based upon preliminary staff review, the following are staff's site related comments. A tree removal permit will be required for the removal of any protected trees. The proposed Landscape Plan does not meet the full landscaping requirements. Section 8.5.2 requires an 8 foot wide screening area around all parking and travel areas. The paved area that is being proposed for use as a parking lot was not originally used as a parking lot and therefore by striping the area for use as a parking lot the parking lot landscaping standards are required. All existing landscaping will contribute to the landscape requirement for the property. Staff still recommends the removal of the connection from the front parking area to the rear and side of the building. The location of the drive at the corner of the building creates a very awkward situation with the proposed parking if it is not going to be utilized it should be removed and an island installed. The rear drive aisle must maintain a minimum 20 foot fire lane. Staff still recommends the installation of something in the center of the parking field to help channelize and direct traffic pattern in the parking lot. A lighting plan has not been provided. A signage plan has not been provided.

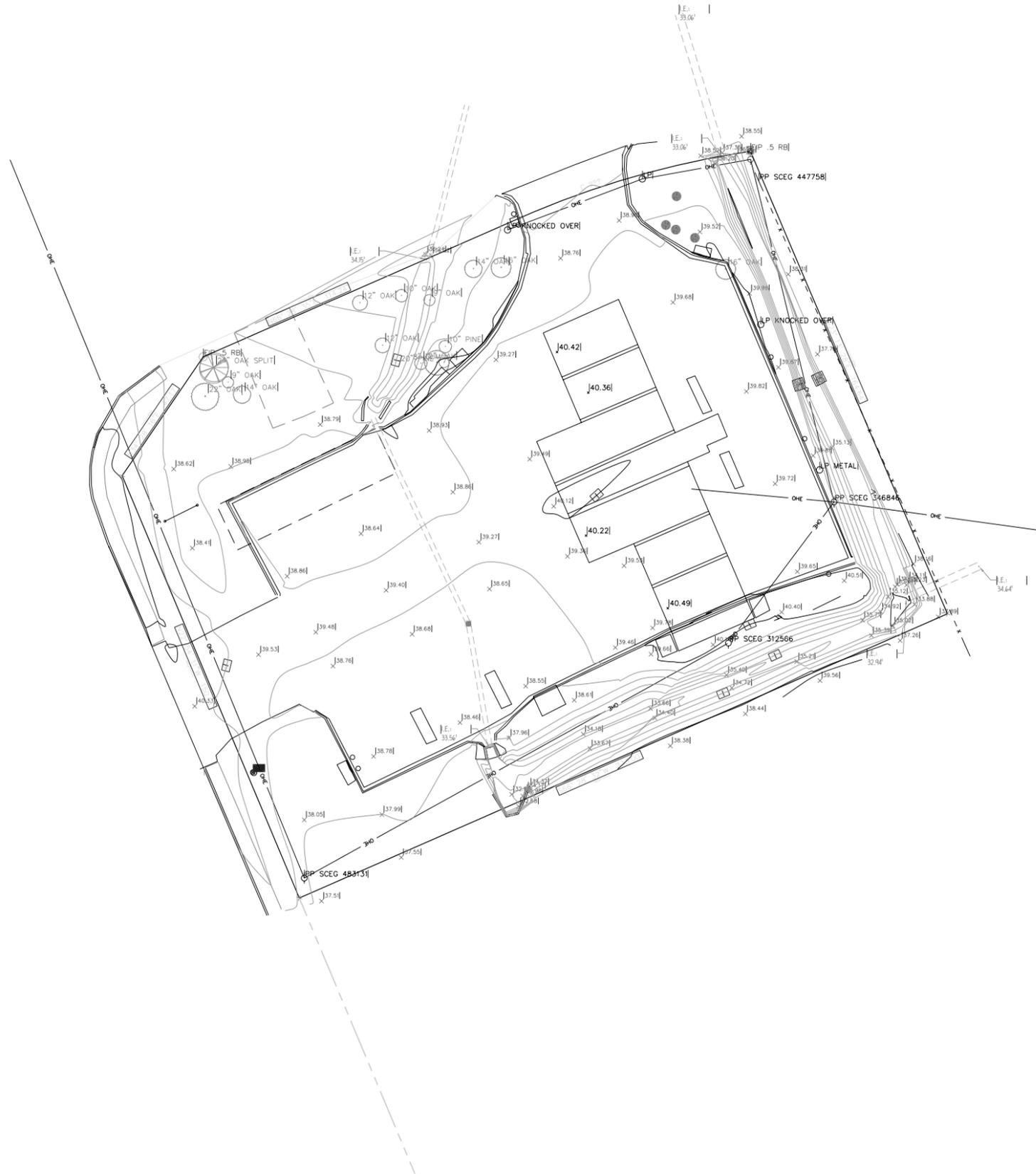
The following are building related comments. The proposed building does not meet the 65% façade transparency requirement (Sect. 4.2.9). More detail is needed for the exterior finish materials. Mechanical equipment will need to be completely screened.



LEGEND

=====	BUILDING OUTLINE
=====	CONCRETE CURB & GUTTER
-----	EXISTING MAJOR CONTOUR
-----	EXISTING MINOR CONTOUR
-----	EXISTING R/W
-----	EXISTING PROPERTY LINE
-----	EXISTING EASEMENT
-----	UNDERGROUND ELECTRICAL (LEVEL B)
-----	UNDERGROUND COMMUNICATIONS (LEVEL B)
-----	WATER LINE (LEVEL B)
-----	HIGH PRESSURE STEAM (LEVEL B)
-----	GAS LINE (LEVEL B)
-----	SANITARY LINE
-----	STORM DRAIN
-----	UNDERGROUND ELECTRICAL (LEVEL C)
-----	OVERHEAD ELECTRIC AND COMMUNICATION LINES
-----	UNDERGROUND COMMUNICATIONS (LEVEL C)
-----	WATER LINE (LEVEL C)
-----	HIGH PRESSURE STEAM (LEVEL C)
-----	GAS LINE (LEVEL C)
-----	TREE LINE

●	COMMUNICATION MANHOLE
●	DRAINAGE MANHOLE
■	ELECTRIC TRANSFORMER/ JUNCTION BOX
○	FIRE HYDRANT
○	GAS VALVE
○	GAS METER
○	GAS VENT
○	GUY WIRE
○	LIGHT POLE
○	POST INDICATOR VALVE
○	POWER POLE
○	SEWER CLEANOUT
○	SEWER MANHOLE
■	TELEPHONE PEDESTAL/JUNCTION BOX
■	TELEVISION PEDESTAL/ JUNCTION BOX
○	WELL
○	WATER METER
○	WATER VALVE



GENERAL NOTES:

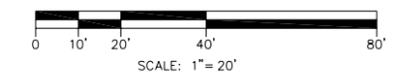
- HORIZONTAL DATUM: NAD 1983/2011(SC)
VERTICAL DATUM: NAVD 1988
- SURVEY BASED ON PHYSICAL EVIDENCE FOUND ON MONTH 2019.
- BOUNDARY INFORMATION TAKEN FROM PLATS AS SHOWN.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT REPORT. M. H. WEATHERFORD, PE, PLS. DOES NOT CLAIM THAT ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.
- BROKEN LINES INDICATE ADJONER PROPERTY LINES AND ARE NOT PART OF THIS SURVEY.
- THE OFF-SITE RIGHT-OF-WAY/PROPERTY LINE SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAY/PROPERTY LINES SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT-OF-WAY WIDTH/PROPERTY LINE OF ANY ADJACENT PROPERTIES.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN 2000' OF A HORIZONTAL NGS MONUMENT.
- HORIZONTAL COORDINATES BASED UPON RTK GPS OBSERVATIONS USING SPECTRA PRECISION SP 80 UNITS. THE NETWORK POSITIONAL ACCURACY OF THE RTK DERIVED POSITIONAL COORDINATES MEETS OR EXCEEDS THE CLASS A HORIZONTAL POSITIONS. COORDINATES BASED UPON GEOID 12B NSRS 2011 AND HAVE A 95% CONFIDENCE RATING. VERTICAL DATUM HAS BEEN ADJUSTED TO NAVD '88.
- PROPERTY MAY BE SUBJECT TO UNRECORDED RIGHT-OF-WAYS OR EASEMENTS NOT OBSERVED.
- AREAS COMPUTED BY COORDINATE METHOD.
- CURRENT PARCEL ZONING: R-1 & B-2
- THIS PROPERTY IS LOCATED WITHIN A FLOOD AREA "X". ACCORDING TO FLOOD INSURANCE RATE MAPS BY FEDERAL EMERGENCY MANAGEMENT AGENCY PANEL NUMBER 45019C0295J DATED 11/17/2004.

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

MARION H. WEATHERFORD S.C.P.L.S. #25146

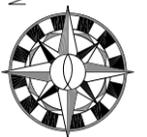
LEGEND

-----	PROPERTY LINE SURVEYED
-----	ADJONER PROPERTY LINES
-----	EXISTING EASEMENT LINES
-----	WETLANDS/ CRITICAL LINES
-----	EXISTING RIGHT OF WAY
-----	OCRM
-----	CONCRETE MONUMENT
-----	EXISTING IRON PIN (EIP)
●	COMPUTED POINT



TYPE OF PLAT
DESCRIPTION OF PLAT
PROPERTY ADDRESS/ LOCATION
TOWNSHIP/ PARISH
CITY, STATE

M. H. WEATHERFORD, PE, PLS
514 DOGWOOD CIRCLE
SUMMERVILLE, SC 29485
843-408-8661
PROFESSIONAL ENGINEER, NC, WI
PROFESSIONAL LAND SURVEYOR, GA, SC, NC, VA, MD, KY, PA



SURVEYOR:

PRELIMINARY
FOR REVIEW ONLY

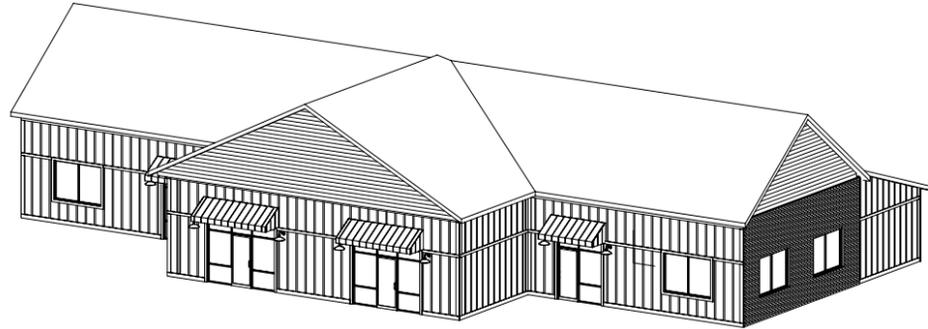
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DRAWN BY: XXX
CHECKED BY: XXX
FILE #: XXX-XXX-SRV
DATE: XX-XX-2019

SHEET
1 OF 1

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PROFESSIONAL OFFICES
605 TROLLEY ROAD
SUMMERVILLE, SC



BASIC INFORMATION

MUNICIPALITY TOWN OF SUMMERVILLE
TMS# 153-00-00-004.00
ZONING UC-MX URBAN COORIDOR - MIXED USE

EXISTING FOOT PRINT 3585 SF

NEW SPACE

UNIT A 1295 SF
UNIT B 2405 SF
UNIT C 1295 SF
TOTAL 4995 SF

FLOOD ZONE

ZONE "X"
FEMA FIRM MAP 45015C-0338E DATED 7/18/2017

UTILITY PROVIDERS

ELECTRIC - SOUTH CAROLINA ELECTRIC & GAS
WATER/WASTE - DORCHESTER COUNTY WATER AUTHORITY

SCOPE OF PROJECT

PROJECT CONSISTS OF RENOVATING THE EXISTING CAR WASH INTO A PROFESSIONAL OFFICE BUILDING.

THE FOLLOWING PHASES WILL BE CONDUCTED TO COMPLETE THE RENOVATION

1. SITE PREPARATION

REMOVAL OF CANOPY OVER CAR VACUUM PEDISTALS.
REMOVAL OF VACUUM EQUIPMENT AND PEDISTALS.
REMOVAL OF OTHER SITE ELEMENTS USED FOR CAR WASH.
REMOVAL OF CAR WASH EQUIPMENT LOCATED IN WASH BAYS AND ROOMS OF STRUCTURE.

2. DEMOLITION OF UNREINFORCED ELEMENTS

THE ORIGINAL STRUCTURE CONSISTS OF A STEEL POST, STEEL BEAM STEEL PURLIN SYSTEM. THE ROOF WAS CREATED BY METAL DECK SUPPORTED ON PURLINS. BRICK VENER WALLS WERE CREATED TO CREATE WASH BAYS AND WRAP STEEL COLUMNS. BRICK VENER WAS NOT ATTACHED TO THE ROOF SYSTEM AND ONLY PROVIDED LATERAL SUPPORT TO THE STEEL COLUMNS.

STRUCTURE WAS LATER RENOVATED. THIS RENOVATION PROVIDED ADDITIONAL ROOMS, A NEW FRONT CANOPY AND A GABLE ROOF SYSTEM PLACED ON TOP OF THE EXISTING METAL DECK, STEEL SUPPORT SYSTEM. ALSO WASH BAY WALLS WERE INFILLED WITH ADDITIONAL MASONRY. NO CONNECTIONS WERE MADE BETWEEN THE ROOF SYSTEM AND THE BRICK VENER WALL SYSTEMS.

THE BAY SYSTEM IS NOT SUITED FOR A PROFESSIONAL OFFICE SPACE AND THE BRICK VENER SYSTEM DOES NOT PROVIDE ANY LATERAL SUPPORT TO THE ROOF DUE TO THE LACK OF CONNECTIONS. ALSO THE LACK OF REINFORCEMENT MAKES IT UNSUITABLE TO FOR SEISMIC LATERAL RESISTANCE.

THE BRICK VENER SYSTEM WILL BE REMOVED. THE STEEL FRAME AND ROOF SYSTEM WILL REMAIN. THIS WILL REQUIRE SHORING AND BRACING OF THE ROOF SYSTEM UNTIL NEW LATERAL FORCE ELEMENTS CAN BE CONSTRUCTED.

3. NEW CONSTRUCTION

NEW EXTERIOR WALLS WILL BE CONSTRUCTED TO ENCLOSE THE SPACE BELOW THE EXISTING ROOF SYSTEM. THESE ELEMENTS WILL ALSO PROVIDE THE LATERAL FORCE RESISTANCE TO THE RENOVATED STRUCTURE.

SITE PLAN WILL BE MODIFIED TO ALLOW PARKING AND ACCESSIBILITY.

NEW MECHANICAL AND ELECTRICAL ELEMENTS WILL BE ADDED FOR USABLE SPACES.

GENERAL NOTES

THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.

ALL EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR. FAILURE TO VERIFY THE EXISTING CONDITIONS SHALL RELIEVE GENERAL CONTRACTOR OF ANY EXPENSES OR RESPONSIBILITY RESULTING FROM THAT FAILURE. ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS, AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK.

EACH CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING PERMITS, LICENSES AND CERTIFICATES OF OCCUPANCY. COPIES OF PERMITS ARE TO BE POSTED PRIOR TO COMMENCING WORK. ONE APPROVED SET OF DRAWINGS SHALL BE KEPT ON THE PREMISES AT ALL TIMES.

ALL INSTALLATIONS SHALL COMPLY WITH ALL LOCAL AND NATIONAL CODES AND WITH THE REQUIREMENTS OF THE OWNER.

ALL WORK SHALL INCLUDE THE COMPLETION OF SUCH DETAILS NOT MENTIONED OR SHOWN WHICH ARE NECESSARY FOR THE SUCCESSFUL OPERATION OF ALL SYSTEMS SHOWN.

CONTRACTOR OR SUBCONTRACTORS WISHING TO SUBSTITUTE MATERIALS MUST SUBMIT SPECIFICATIONS FOR SUBSTITUTE MATERIALS TO THE ENGINEER FOR APPROVAL.

ANY MATERIALS OR EQUIPMENT SUBSTITUTIONS WITHOUT PRIOR APPROVAL BY THE ENGINEER WILL RESULT IN REPLACEMENT WITH CORRECT MATERIALS OR EQUIPMENT AS SPECIFIED AT THE SOLE COST OF THE GENERAL CONTRACTOR.

ALL SUB-CONTRACTORS ARE TO RECEIVE FULL WORKING DRAWINGS FROM THE GENERAL CONTRACTOR FOR BIDDING AND CONSTRUCTION.

ALL FIXTURES, MATERIALS, EQUIPMENT AND FINISHES SUPPLIED BY THE CONTRACTOR TO BE NEW UNLESS OTHERWISE SPECIFIED.

THE GENERAL CONTRACTOR SHALL PROVIDE OWNER WITH A COMPLETE SET OF "AS BUILT" PLANS AFTER PROJECT COMPLETION.

THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

'TYP.' MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS NOTED OTHERWISE, DETAILS ARE KEYED AND NOTED 'TYP.' ONLY ONCE WHEN THEY FIRST OCCUR.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER OTHER DRAWINGS FOR LAYOUT DIMENSIONS AND NUMBER OF ITEMS PROVIDED. UPON DISCOVERY OF DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND ENGINEERING DRAWINGS, ENGINEER SHALL BE NOTIFIED.

DIMENSIONS SHOWN ON PLANS ARE TO FACE OF STRUCTURAL WALL MEMBERS UNLESS OTHERWISE NOTED OR DETAILED.

No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE

606 Old Trolley Road
Suite 202
Summerville, SC 29485
843-821-1678

Sheet Title
GENERAL NOTES

Date
8 JAN 2020

Scale
NONE

Sheet

N1.0

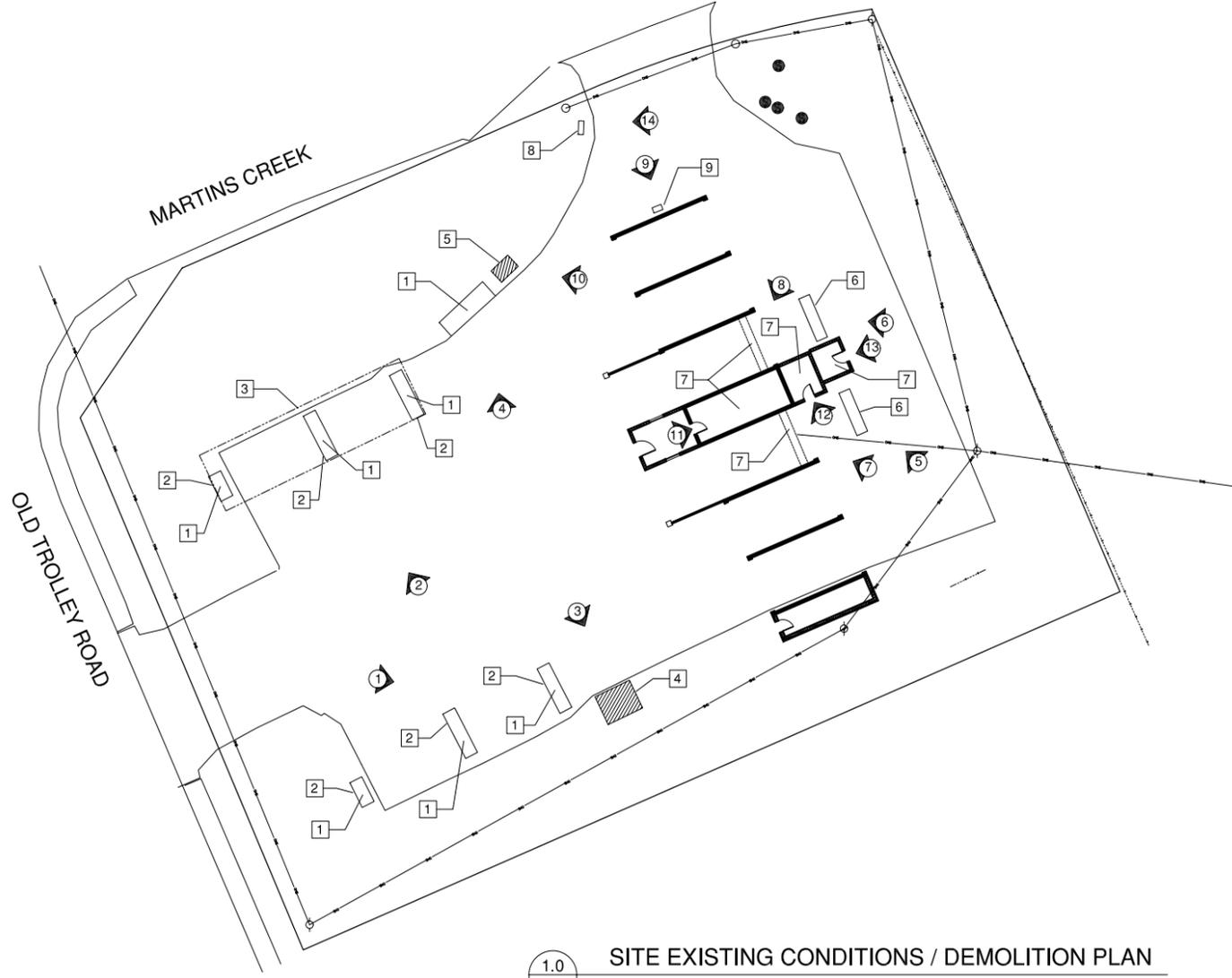
CONCEPT REVIEW - NOT FOR CONSTRUCTION

PROFESSIONAL OFFICE
605 OLD TROLLEY ROAD
SUMMERVILLE, SC

SHEET NUMBER DESIGNATION	
N1.0	SCOPE OF PROJECT / GENERAL NOTES / INDEX
X1.0	EXISTING CONDITIONS / SITE DEMOLITION PLAN
C1.0	SITE PLAN
C1.1	LANDSCAPE PLAN
C2.0	SITE DETAILS
A1.0	FLOOR PLAN
A2.0	ELEVATIONS

SYMBOL LEGEND				
DRAWING NUMBER SHEET DRAWING IS SHOWN ON DRAWING LABEL	SECTION NUMBER SHEET SECTION IS SHOWN ON BUILDING SECTION	ELEVATION HEIGHT	WINDOW KEY	ROOM LABEL
		DOOR KEY	ROOF PITCH	ROOM NUMBER

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1.0 SITE EXISTING CONDITIONS / DEMOLITION PLAN
X1.0 SCALE: 1"=20'

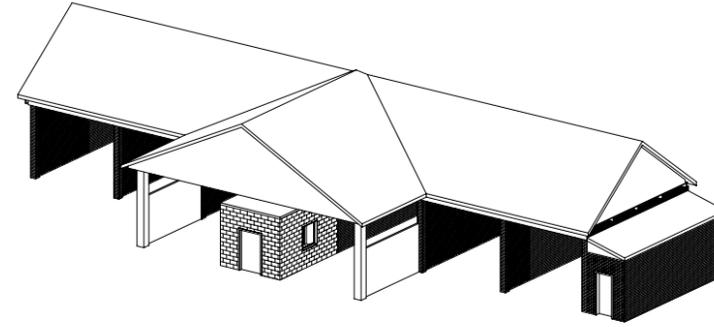
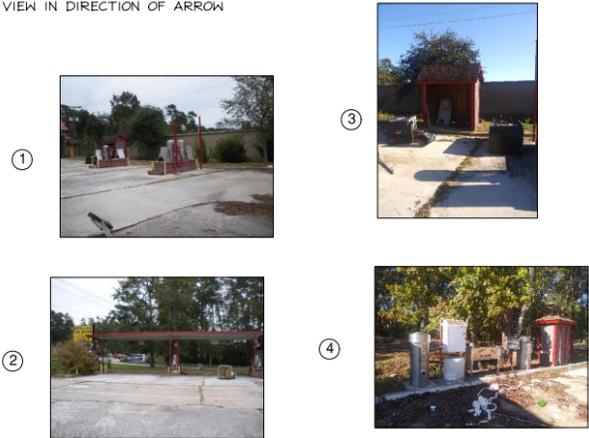


DEMOLITION NOTES

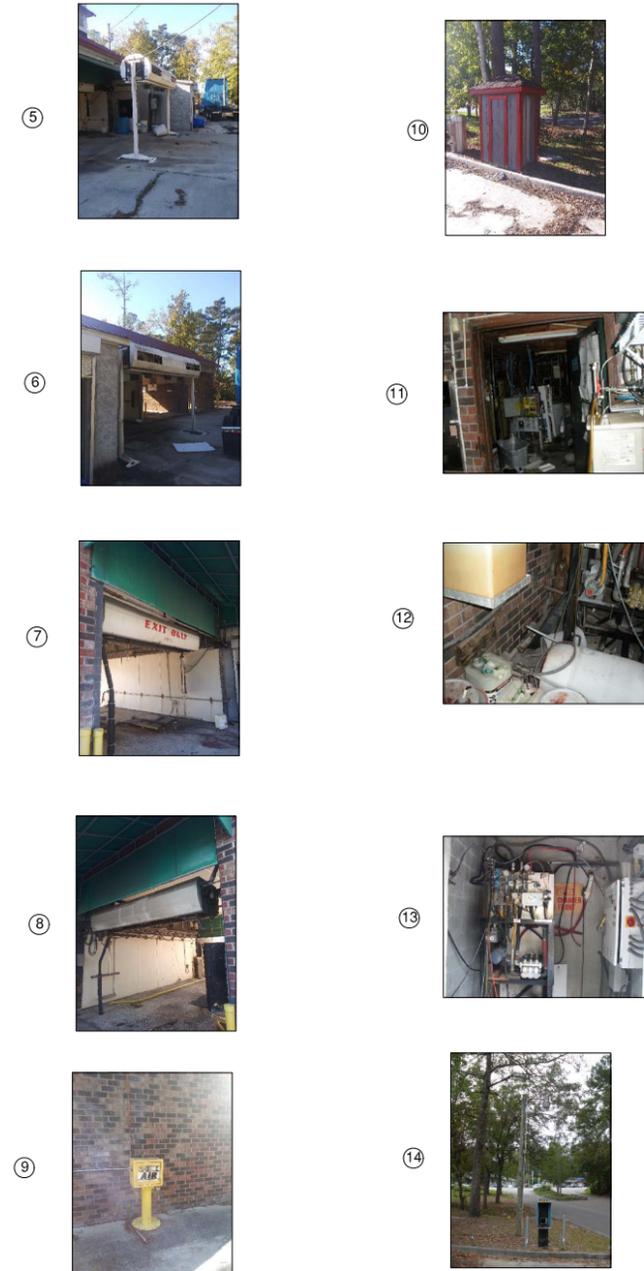
- 1 VACUUM EQUIPMENT
- 2 VACCUM EQUIPMENT MASONRY PEDESTAL DOWN TO CONCRETE SLAB
- 3 METAL CANOPY
- 4 VENDING MACHINES / WOOD VENDING MACHINE ENCLOSURE
- 5 WOOD SHED
- 6 AIR DRYERS
- 7 ALL CAR WASH EQUIPMENT
- 8 TELEPHONE BOOTH
- 9 REMOVE AIR PUMP STATION

LEGEND

➤ HORIZONTAL VIEW IN DIRECTION OF ARROW



EXISTING ISOMETRIC



CONCEPT REVIEW - NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE

606 Old Trolley Road
Suite 202
Summerville, SC 29485
843-821-1678

Sheet Title
**EXISTING CONDITIONS /
SITE DEMO**

Date
8 JAN 2020

Scale
1" = 20'-0"

Sheet

X1.0

PROFESSIONAL OFFICE
605 OLD TROLLEY ROAD
SUMMERVILLE, SC

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PARKING

PARKING SPACES BASED ON WORST CASE OF MEDICAL OFFICE OR ALL OTHER OFFICE SPACE.

3 PER 1000 FT² = (3 / 1000) x 5486 = 16.48 USE 17 SPACES

MAXIMUM = 2 x 17 = 34 SPACES

USE 1 SPACE AS HANDICAP PARKING SPACE - VAN ACCESSIBLE

SITE NOTES

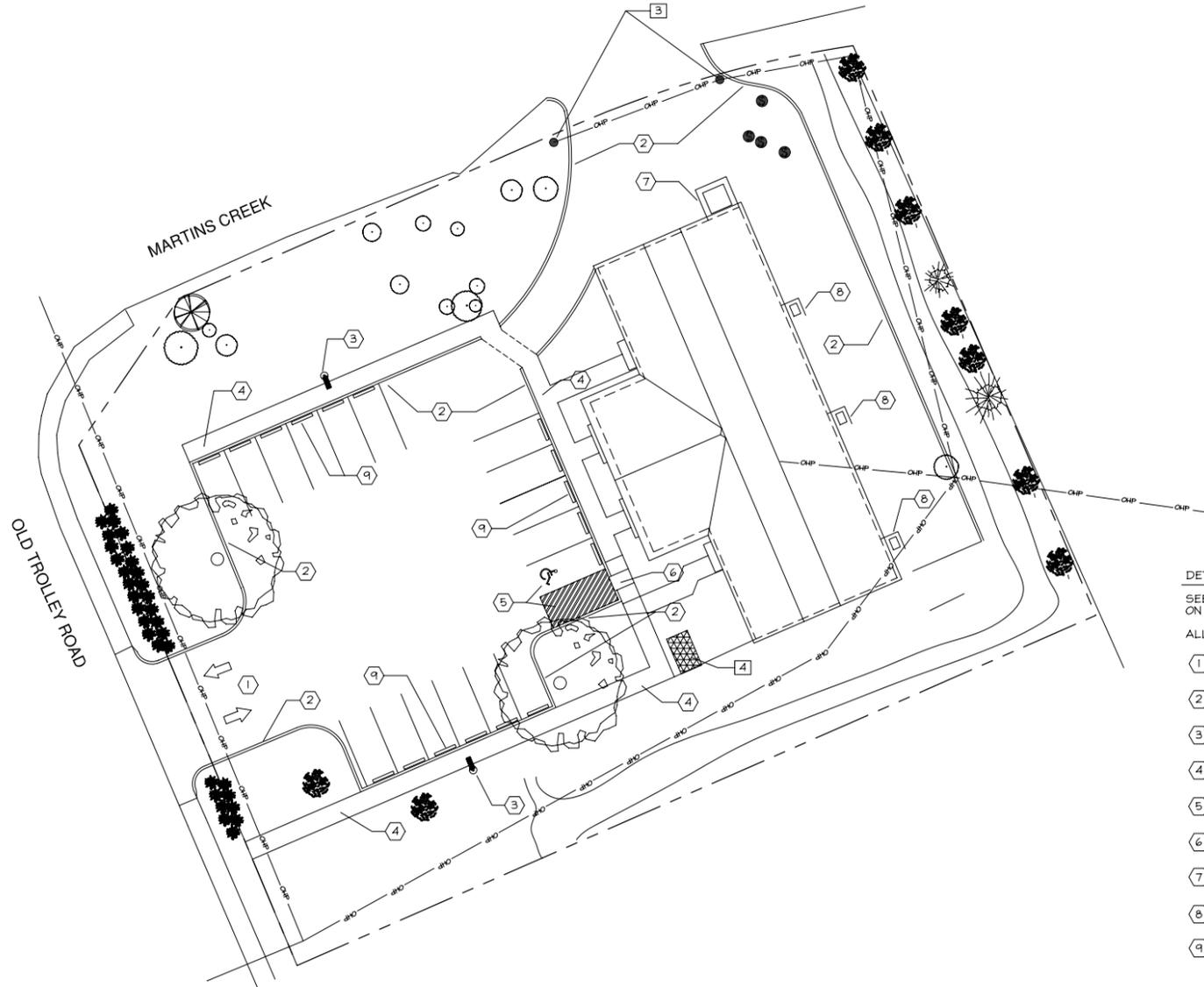
SEE C2.0 AND C2.1 FOR ALL DETAILS SHOWN ON THIS PLAN

- 1 4" TRAFFIC YELLOW LANE STRIPES - TYPICAL
- 2 4" BABY BLUE LANE STRIPES FOR ALL HANDICAP SPACES
- 3 EXISTING WOOD POWER POLE WITH EXTERIOR LIGHTING
- 4 BICYCLE PARKING AREA



**KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG**

THE SOUTH CAROLINA STATE LAW REQUIRES THAT EXCAVATORS GIVE A 72--HOUR NOTICE, (3 WORKING DAYS EXCLUDING WEEKENDS AND HOLIDAYS), FOR THE LOCATORS TO GET OUT TO MARK THE AREA. AFTER A TICKET HAS BEEN PROCESSED, YOU WILL KNOW WHEN YOU ARE LEGALLY FREE TO PROCEED WITH THE DIGGING WORK AND WHICH UTILITIES IN THE AREA P.U.P.S. WILL BE NOTIFYING FOR YOU. ANY UTILITIES THAT P.U.P.S. DOES NOT NOTIFY, YOU WILL BE RESPONSIBLE FOR NOTIFYING DIRECTLY. THE UTILITY COMPANIES ASK THAT YOU LEAVE A 2 1/2 FEET MARGIN ON EACH SIDE OF A MARKED UTILITY LINE. ALSO NOTE THAT YOUR REQUEST IS GOOD FOR 15 WORKING DAYS AFTER IT HAS BEEN PROCESSED BY OUR SYSTEM.



DETAIL NOTES

SEE C2.0 AND C2.1 FOR ALL DETAILS SHOWN ON THIS PLAN

ALL PARKING SPACES TO BE 9' x 19' UNLESS NOTED OTHERWISE

- 1 TRAFFIC FLOW ARROW
- 2 EXTRUDED CURB
- 3 EXTERIOR LIGHTING POLE WITH FOUNDATION
- 4 CONCRETE SIDE WALK
- 5 HANDICAP PARKING SPACE DETAILS
- 6 HANDICAP RAMP IN CONCRETE SIDE WALK
- 7 TRASH DUMPSTER SCREENING
- 8 HVAC UNIT SCREENING
- 9 WHEEL STOP - TYPICAL

1
C1.0

NEW SITE PLAN

SCALE: 1"=20'



No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE

606 Old Trolley Road
Suite 202
Summerville, SC 29485
843-821-1678

Sheet Title
NEW SITE PLAN

Date
8 JAN 2020

Scale
1"=20'-0"

Sheet

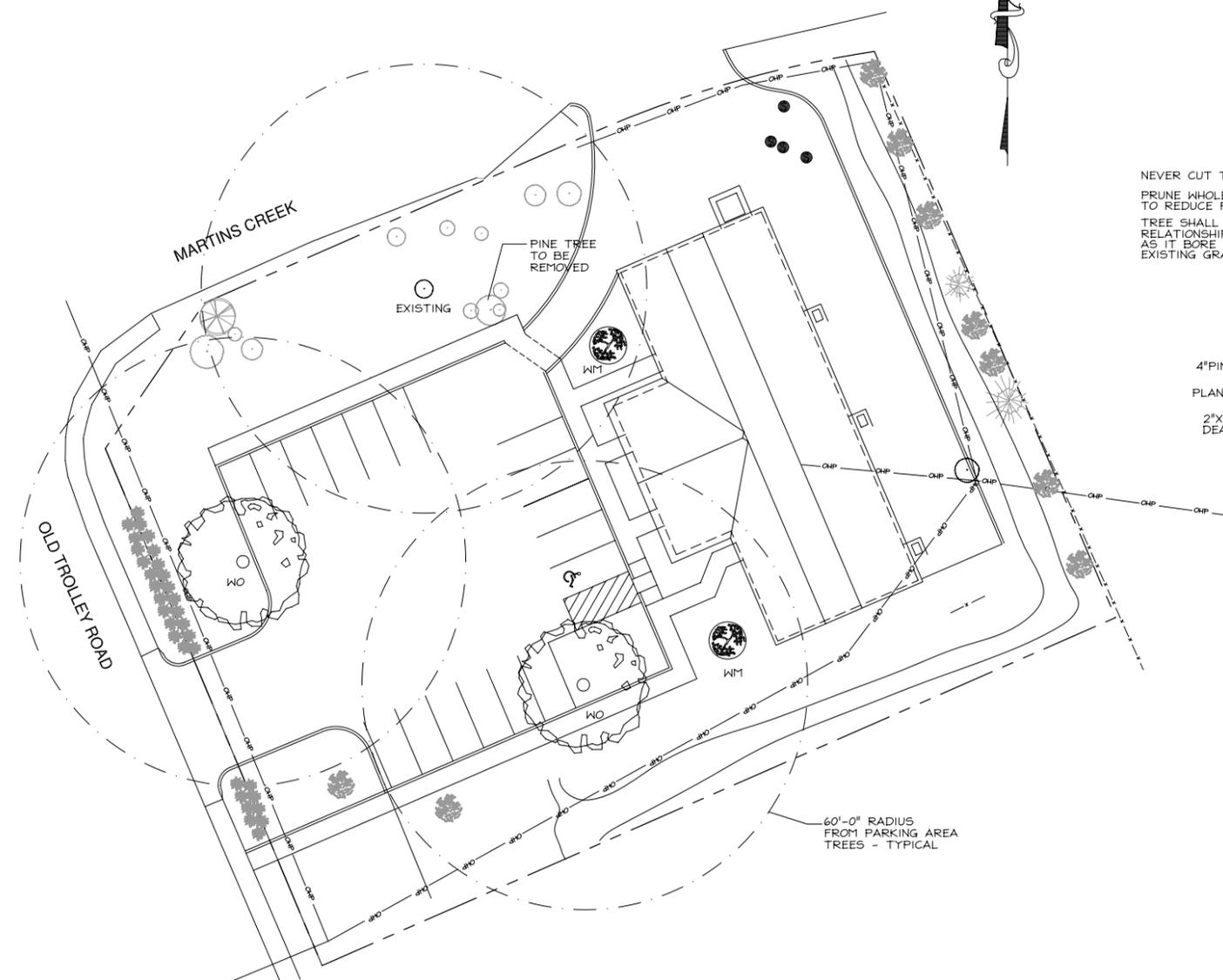
C1.0

PROFESSIONAL OFFICE
605 OLD TROLLEY ROAD
SUMMERVILLE, SC

CONCEPT REVIEW - NOT FOR CONSTRUCTION

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PROFESSIONAL OFFICE
605 OLD TROLLEY ROAD
SUMMERVILLE, SC



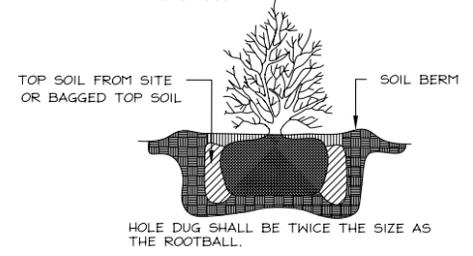
TREE PRESERVATION
PARKING HAS BEEN ARRANGED TO ALLOW EXISTING TREES TO REMAIN. ONE (1) PINE TREE WILL BE REMOVED THAT IS DEAD AS IS NOTED ON PLAN.

SITE LANDSCAPE REQUIREMENTS
NONE REQUIRED. SITE IS NOT LOCATED IN SUBURBAN BUSINESS DISTRICT (N-G, G-B) OR IN A INDUSTRIAL DISTRICT (L-1, H-1).

PARKING LANDSCAPE REQUIREMENTS
TWO ADDITIONAL TREES WILL BE ADDED IN ENSURE ALL PARKING SPACES ARE WITHIN 60'-0" OF A TREE. ONE EXISTING TREE WILL BE USED FOR THIS REQUIREMENT. RADIUS REQUIREMENTS SHOW ON PLAN.

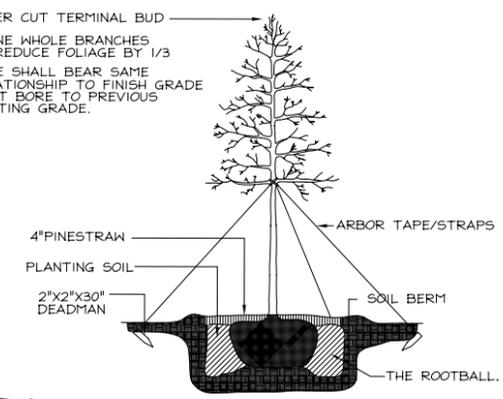
BUFFER REQUIREMENTS
NONE REQUIRED. SITE IS NOT ADJACENT TO GR-2, GR-3 OR GR-5 DISTRICTS.

PLANT SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



DETAIL - SHRUB PLANTING
NO SCALE

NEVER CUT TERMINAL BUD
PRUNE WHOLE BRANCHES TO REDUCE FOLIAGE BY 1/3
TREE SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



DETAIL - TREE PLANTING
NO SCALE

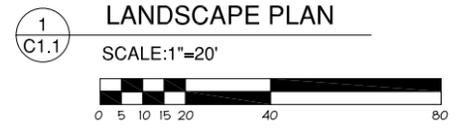


KNOW WHAT'S BELOW,
CALL BEFORE YOU DIG

THE SOUTH CAROLINA STATE LAW REQUIRES THAT EXCAVATORS GIVE A 72--HOUR NOTICE, (3 WORKING DAYS EXCLUDING WEEKENDS AND HOLIDAYS), FOR THE LOCATORS TO GET OUT TO MARK THE AREA. AFTER A TICKET HAS BEEN PROCESSED, YOU WILL KNOW WHEN YOU ARE LEGALLY FREE TO PROCEED WITH THE DIGGING WORK AND WHICH UTILITIES IN THE AREA P.U.P.S. WILL BE NOTIFYING FOR YOU. ANY UTILITIES THAT P.U.P.S. DOES NOT NOTIFY, YOU WILL BE RESPONSIBLE FOR NOTIFYING DIRECTLY. THE UTILITY COMPANIES ASK THAT YOU LEAVE A 2 1/2 FEET MARGIN ON EACH SIDE OF A MARKED UTILITY LINE. ALSO NOTE THAT YOUR REQUEST IS GOOD FOR 15 WORKING DAYS AFTER IT HAS BEEN PROCESSED BY OUR SYSTEM.

PLANT SCHEDULE				
TAG	COMMON NAME	BOTANICAL NAME	MIN SIZE @ INSTALL	QUANTITY
	CANOPY TREE			
WO	WILLOW OAK	QUERCUS PHELLOS	2 1/2" CALIPER	3
	UNDERSTORY TREE			
WM	SOUTHERN WAX MYRTLE	MYRICA CERIFERA	2" CALIPER	7
	SHRUBS			
BH	DWARF BUFORD HOLLY	ILEX COMMUTA	24" HEIGHT	16

NOTE - EXISTING TREES AND SHRUBS ARE SHOW AS SUBDUED COLOR



No.	Revision/Issue	Date

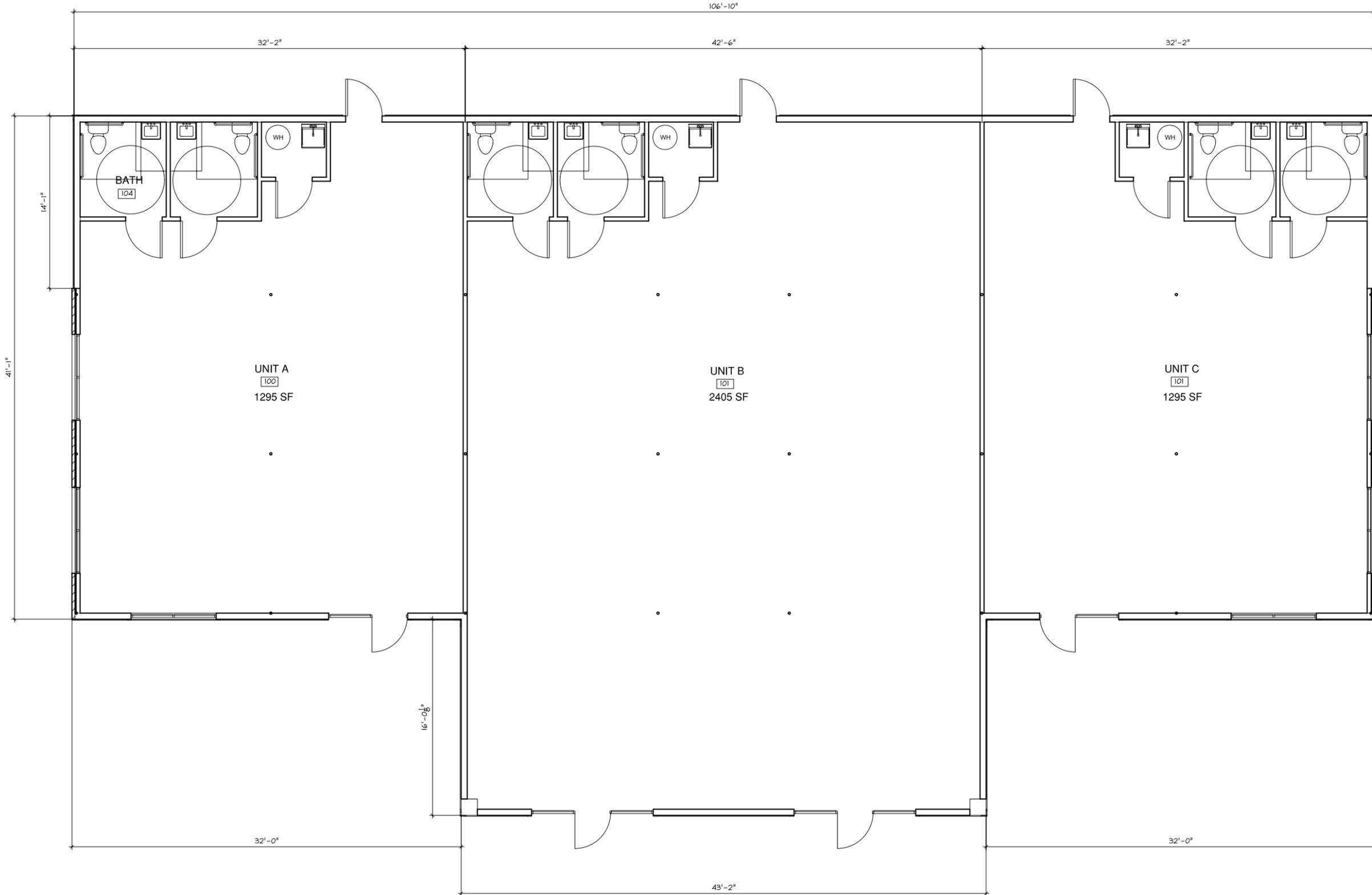
Eugene H. Brislin Jr., PE
606 Old Trolley Road
Suite 202
Summerville, SC 29485
843-821-1678

Sheet Title
LANDSCAPE PLAN

Date 8 JAN 2020	Sheet C1.1
Scale 1"=20'-0"	

CONCEPT REVIEW - NOT FOR CONSTRUCTION

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FLOOR PLAN NOTES

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODES.

SEE N1.2 FOR LIFE SAFETY REQUIREMENTS.

SEE ENERGY COMPLIANCE REPORT FOR THERMAL REQUIREMENTS FOR WINDOWS AND DOORS.

SEE 2/A1.2 AND 3/A1.2 FOR ENLARGED BATHROOM PLANS & DETAILS

SEE 4/A1.2 FOR ACCESSIBLE WATER FOUNTAIN REQUIREMENTS



1
A1.0

FLOOR PLAN

SCALE: 1/4" = 1'-0"

No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE

606 Old Trolley Road
Suite 202
Summerville, SC 29485
843-821-1678

Sheet Title
FLOOR PLAN

Date
8 JAN 2020

Scale
1/4"=1'-0"

Sheet

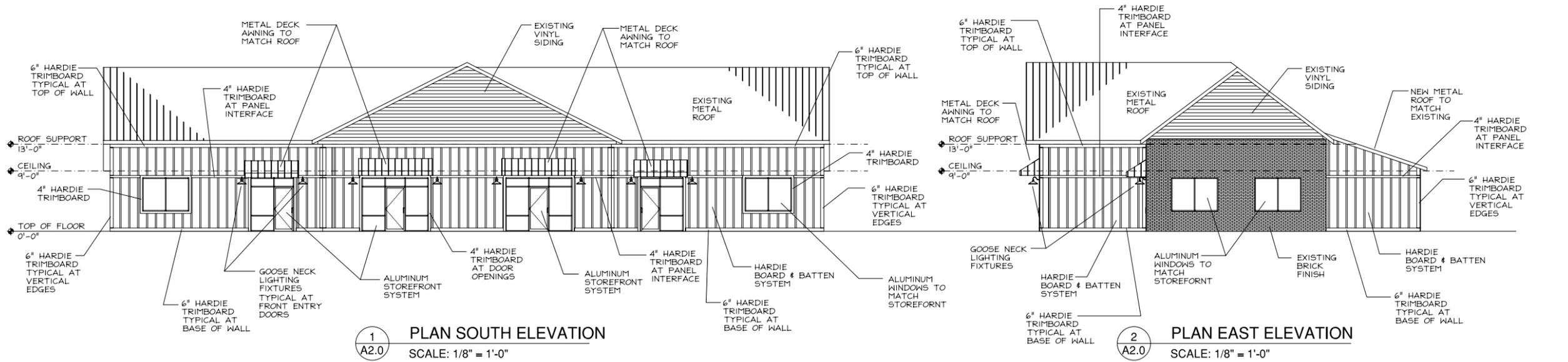
A1.0

PROFESSIONAL OFFICE
605 OLD TROLLEY ROAD
SUMMERVILLE, SC

CONCEPT REVIEW - NOT FOR CONSTRUCTION

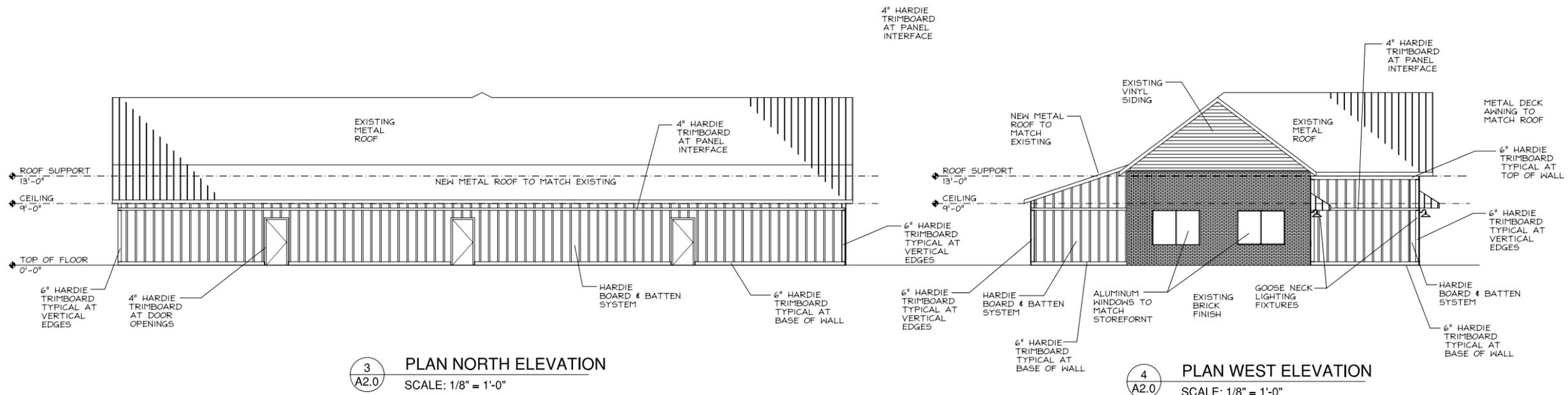
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NOTE
 HARDIE BOARD & BATTEN SYSTEM
 CONSISTS OF HARDIE VERTICAL SIDING
 PANELS AND 2 1/2" HARDIE TRIMBOARD
 APPLIED VERTICALLY



1 PLAN SOUTH ELEVATION
 A2.0 SCALE: 1/8" = 1'-0"

2 PLAN EAST ELEVATION
 A2.0 SCALE: 1/8" = 1'-0"



3 PLAN NORTH ELEVATION
 A2.0 SCALE: 1/8" = 1'-0"

4 PLAN WEST ELEVATION
 A2.0 SCALE: 1/8" = 1'-0"

PROFESSIONAL OFFICE
 605 OLD TROLLEY ROAD
 SUMMERVILLE, SC

No.	Revision/Issue	Date

Eugene H. Brislin Jr., PE
 606 Old Trolley Road
 Suite 202
 Summerville, SC 29485
 843-821-1678

Sheet Title
ELEVATIONS

Date	8 JAN 2020	Sheet
Scale	1/4"=1'-0"	A2.0

CONCEPT REVIEW - NOT FOR CONSTRUCTION

Eugene H. Brislin Jr., PE
Structural Engineer

January 8, 2020

RE: 605 Old Trolley Road Renovation

To Whom It May Concern:

Please see the attached Design Intent Document to provide a narrative to the submitted plans for the Summerville Commercial Design Review Board.

Sincerely,

A handwritten signature in blue ink that reads "Eugene H. Brislin Jr." The signature is written in a cursive, flowing style.

Eugene H. Brislin Jr., PE

The purpose of this document is to present the design intent in the renovation of the existing car wash located at 605 Old Trolley Road into a business use building and to respond to the comments presented in the STAFF REPORT, CDRB Meeting dated December 19, 2019 and the Special Commercial Design Review Board Minutes dated December 29, 2019.

Background

Mrs. Garcia has used 2 other design professionals in an effort to develop her concept for the building. She approached me through a contractor to help her obtain a building permit. I explained that for me to help her with her project it would have to fit into a well defined niche. I shared with her the *Building Official Manual* developed by the SC Board of Architectural Examiners and the Board of Registration for Professional Engineers and Land Surveyors (See Attachment 1). As noted in Section 300 of this document buildings that are less than 5000 square feet and not Assembly, Educational, Institutional or Hazardous Material occupancies do not require a design professional. This is also true for an up-fit situation. But if the existing structure has a safety issue, a design professional must be used. In this case, the existing structure has a significant structural deficiency that must be addressed. Since Mrs. Garcia would have to use my services to remedy this issue, I agreed to create a full set of documents for her to obtain a building permit.

The plans that she originally developed and submitted contained 5400 square feet of occupied space. The original car wash foot print 3585 square feet. I explained to Mrs. Garcia I would only work on the project if she reduced the occupied space to 5000 or less square feet. If she wanted it to remain at the 5400 square feet should would have to engage an architect. She chose to reduce the foot print less than 5000 square feet.

Moving forward, Mrs. Garcia explained her concept for the building based upon several example buildings in the Charleston area. The dominant style is represented by





Mr. Seabrook did not consider the structure when developing his design.

The existing structure is a safety hazard due to the lack of any lateral force resisting system. The brick veneer dividers used to create car wash stalls are the only source of lateral stiffness. Additional CMU walls were added later for additional equipment and office space that provide some stiffness, but in my professional opinion they were not design to, and only provide unintended strength. Therefore any renovation that provides habitable space must address the structural deficiencies.

Therefore, rather than try to use these existing divider walls to create interior space, these walls will be removed. This leaves the small steel tube columns in the occupied space that are used to support the roof system. Exterior walls that are added will be designed to provide lateral force resistance. The space will be divided into three units that will be built-out by the tenants who occupy the space. Bathrooms, HVAC and electrical service will be provided to each unit.

Developed Appearance

The original foot print of the car wash is to be maintained. The front access to the bays will be enclosed. The brick divider and equipment room CMU walls will be removed, leaving the columns as dividing elements. The rear of the foot print will be extended approximately 14 feet and new walls and a roof added to the additional space.

The goal of the exterior appearance was to meet the visual elements of the buildings that Mrs. Garcia liked, to have features and exterior finishes that fit in the context of the buildings in the immediate area and to provide a mix between residential appearance, commercial functionality and natural lighting (where possible) to the tenant spaces.

The brick veneer end walls were salvaged. It was felt that this exterior brick was needed to keep the in line with the adjacent structures (Family Dollar and Extra Space Storage) The new walls were finished with a board and batten siding. Glass store front doors were used and were in tune with the windows of the adjacent Family Dollar and Ye Old Fashioned Ice Cream.

In the current Summerville UDO, buildings located in UC-MX zones must contain a 65% transparency on the front elevation. This high of a level is indicative of “Main Street” type retail establishments. An example is seen in the UDO on page 62 and 70. In both of these figurers the structure is located at the street line. Due to this being a renovation that is not possible. Also due to the distance from the street / sidewalk the object as stated on page 63, 4.2.9.D

“To comply with this standard, the passerby should be able to discern finished occupiable space inside the building.”

is not possible. Also, this is an existing structure where walls are being added to create enclosed space. It is not new construction. Because of these reasons, Mrs. Garcia felt that adding additional windows would not achieve the purpose and hurt the appearance of the building.

The requirement of the UDO to not have blank walls facing street sides is noted. The addition of windows in these walls fits with the overall appearance of the building and provides significant natural lighting to two of the three units.

Site Considerations

Based on UDO Table 2.5 Mixed-Use District Standards, item 1 – Development, for a UC-MX zoning, no perimeter buffer is required unless the property is adjacent to an existing GR-2 or GR-5 zoned property. Therefore no perimeter buffer was originally presented.

Based on UDO Section 8.4.1 – Site Landscaping, Applicability, this section applies to Suburban Business (N-B, G-B) and Industrial (L-I, H-I) districts. Therefore the 5 foot planting area noted in 8.4.2.A and minimum required landscaping noted in 8.4.2.B are not required.

Based on UDO Section 8.5.1 parking area landscaping requirements apply for existing parking lots when there is an expansion of the impervious surfaces in parking lots with 5 or more spaces. No additional impervious surfaces are being added to this project for parking. Only the existing concrete area is being used and stripped to provide the required parking spaces.

Therefore, the requirements of UDO Section 8.5.2 and 8.5.3 do not apply. But, in an effort to provide a more appealing site, two large canopy trees have been added to meet the requirement of 8.5.3.

Response to STAFF Report

Based on the comments stated above, it is felt that the plans submitted meet the requirements of UDO for landscaping.

The reduction in the foot print of the building and a change to the location of the extruded curb in Martins Creek entrance has provided a 20'-0" access to the rear of the structure for fire protection.

The landscape island corner has been modified to provide a radius.

The layout of the parking lot was to provide adequate room for backing out of a parking space and exiting the lot. As is often the case in large parking lots (i.e. Harris Teeter, Target area) the 24'-0" aisle width is satisfactory for two way travel, but very poor to exiting a parking space. A positive affirmation of this is the entrance aisle at the Publix on Trolley Road. This aisle is much wider and allows for easy departures from a parking space. That was the intent of the layout. The introduction of an island also creates an issues with the site drainage since it would be located very close to an existing catch basin. Currently it is not shown, until more study can be done concerning site drainage.

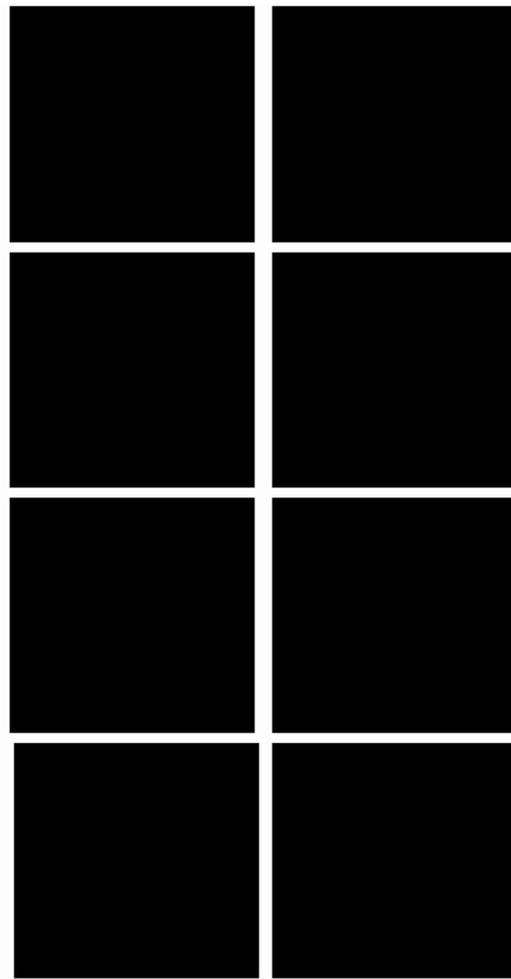
Response to Minutes

See the comments at the beginning of this document concerning design professional participation.

A comment was made concerning providing a residential look. We feel that the exterior finishes and the pitched roof provide that appearance. Requirements for the windows to be taller than wider are noted in the UDO, but for second story windows.

Due to the multiple entrances for each of the three spaces, porch entrances were not seen as a good fit.

The only reference to "brick water table" details in the UDO is noted in the Section 4.7 - Civic/Institutional Building Design Guidelines. That does not apply for this structure.



Board of
Architectural
Examiners

and

Board of
Registration for
Professional
Engineers and
Land Surveyors

present

Building Official Manual



South Carolina Department of Labor, Licensing and Regulation
Division of Professional and Occupational Licensing

100. INTRODUCTION

This manual has been developed jointly by the South Carolina State Board of Architectural Examiners and the South Carolina State Board of Registration for Professional Engineers and Surveyors to aid building officials and design professionals in better understanding and applying the laws and principles governing architecture and engineering in the State of South Carolina as they relate to buildings and structures.

Information provided in this manual does not attempt to address all the questions concerning the practices of architecture and engineering. While some items identified herein are taken from South Carolina statutes, other items are recommended practices or Board policies. Appendix A of this manual addresses questions frequently asked by building officials. Appendix B states definitions in each Board's statutes.

Before undertaking the design of a building or structure in any county or municipality, we recommend that the design professional contact the local building official as certain codes and standards may vary from jurisdiction to jurisdiction within the state. If you need information or assistance concerning requirements of the two state boards, please write or contact:

Board of Architectural Examiners

P.O. Box 11419
Columbia, SC 29211-1419
803-896-4408
(FAX) 803-896-4427
E-mail: Simpsonj@llr.sc.gov

and

**Board of Registration for
Professional Engineers and Surveyors**

P.O. Box 11597
Columbia, SC 29211-1597
803-896-4422
(FAX) 803-896-4427
E-mail: Engls@llr.sc.gov

**South Carolina Department of Labor, Licensing and Regulation
Division of Professional and Occupational Licensing**

Revised November 2008
Revised January 2011 (section 300)

200. DUTY OF THE BUILDING OFFICIAL

Section 40-3-320. Building Officials required to have sealed plans. (Architectural Registration Law) The building official or other authority charged with the responsibility of issuing building or other similar permits of any county, municipality, or other subdivision, before issuing the permit, must be in possession of a sealed set of plans and specifications for which the seal of a registered architect is required and to verify that the architect who sealed the architectural plans and specifications is an architect registered in South Carolina.

Section 40-22-270 (8). Duty of Building Official. (Engineering Registration Law) The Building Official, or other designated authority charged with the responsibility of issuing building or similar permits, shall refuse to issue a permit for any undertaking, the plans and specifications for which would require the seal of a Professional Engineer, unless the permit applicant has furnished satisfactory evidence the documents are exempt from the requirements of this Chapter. The Building Official, or designated authority charged with the responsibility of issuing building or similar permits, shall report to the Board the name and address of a person who has or is suspected to have violated provisions of this Chapter relating to the unlicensed practice of engineering.

Commentary: There are building projects for which plans and specifications prepared by an architect alone may suffice. There are building projects for which plans and specifications prepared by an engineer alone may suffice. And there are building projects where plans and specifications prepared jointly by both engineers and architects are needed.

Registration laws for the professions of engineering and architecture recognize there are elements of both professions that might be embodied within the practice of either profession. In an effort to help practitioners of the two professions, and also those who work with these practitioners, the two licensing boards have jointly approved a policy on the "incidental" practice of engineering and architecture. That policy is published in Section 300 of this manual.

300. BUILDINGS THAT REQUIRE ARCHITECTURAL AND ENGINEERING SEALS

GENERAL STATEMENT

Unless exempted by law, all buildings, structures and building systems constructed in the state of South Carolina must be designed by licensed architects, licensed engineers or a combination of licensed architects and engineers. Building types and sizes that are exempt from provisions of the architectural and engineering design licensing laws are described below.

On most building projects, the services of both architects and engineers would be required – plans and specifications prepared by these practitioners are required to be sealed by the respective design professionals in responsible charge.

But not all projects absolutely require the services of both design professions. To help address the complex matter of which professions (and professional seals) should be used on building projects, the two licensing boards have adopted the “incidental” practice of engineering by architects and the “incidental” practice of architecture by engineers. That policy is published in this section of the manual.

Please Note: All references in this manual to the Standard Building Code should be understood to be references to the International Building Code as adopted by the South Carolina Building Codes Council. The Statute of the Board of Architectural Examiners has not yet been revised accordingly.

SECTIONS OF ARCHITECTURAL AND ENGINEERING LAWS

Architectural Registration Law

SECTION 40-3-290. Exceptions from coverage of chapter.

(A) Nothing in this chapter prohibits a general contractor or a home builder from the preparation and use of details and shop drawings, assembly or erection drawings, or graphic descriptions used to detail or illustrate a portion of the work required to construct the project in accordance with the plans and specifications prepared or to be prepared under the requirements of this chapter.

(B) Nothing in this chapter prevents or affects the practice of any other legally recognized profession.

(C) If the drawings and specifications are signed by the authors with the true title of their occupations, this chapter does not apply to the preparations of plans and specifications for:

(1) a building which is to be used for farm purposes only;

(2) a building less than three stories high and containing fewer than five thousand square feet of total floor area except buildings of assembly, institutional, educational, and hazardous occupancies as defined by the Standard Building Code, regardless of area;

(3) a detached single-family or two-family dwelling, as defined in Group R3 of the Standard Building Code, regardless of size, with each unit having a grade level exit and sheds, storage buildings, and garages incidental to the dwelling;

(4) alterations to a building to which this chapter does not apply, if the alterations do not increase the areas and capacities beyond the limits of this chapter or affect the structural safety of the building.

(D) Nothing in this chapter prevents or affects the practice of engineering, as defined in Chapter 22 of Title 40, or architectural work incidental to the practice of engineering.

Engineering Registration Law

Section 40-22-280 (B) & (C)

Buildings exempt from the requirements of engineering registration laws are those stated in Section 40-22-280 (B) and (C). Those exempted buildings are as follows:

(B) If drawings and specifications are signed by the authors with the true title of their occupations, this chapter does not apply to the preparation of plans and specifications for:

(1) farm buildings not designed or used for human occupancy;

(2) buildings and structures less than three stories high and less than five thousand square feet in area, except that buildings of assembly, educational, hazardous, and institutional occupancies as defined by the International Code Series regardless of area are not exempt from the provisions of this chapter; and

(3) alterations to a building to which this chapter does not apply, if the alterations do not result in a change which would otherwise place the building under the application of this chapter.

(C) This subsection may not be construed to prejudice a law, ordinance, regulation, or other directive enacted by another political body or a requirement by a contracting authority which would otherwise require preparation of plans and specifications under the responsible charge of a professional engineer or professional surveyor.

INTERPRETATION

The Board of Architectural Examiners and the Board of Registration for Professional Engineers and Surveyors have approved the following interpretation of Section 40-3-290 of the Architectural Registration Law and Section 40-22-280 of the Engineering Registration Law. This interpretation is provided as a guide for building officials, permitting authorities, owners, contractors, and citizens in determining when architectural and/or engineering services are required and when such professional services are not required.

Interpretation: Sections 40-3-290 and 40-22-280 of the South Carolina statutes outline specific instances when a design professional is NOT required for the design of a building. Such situations include farm buildings, detached single-family dwellings, two-family dwellings (duplexes), and buildings less than 3 stories in height and containing less than 5000 square feet of total floor area. A design professional is required, however, if the building that is less than 5000 square feet is classified as one of assembly, institutional, educational, or hazardous occupancy by the Building Code. A design professional is required for these buildings regardless of their size.

For instances where there may be confusion regarding the language in other parts of the statutes, the Architectural and Engineering Boards provide the following guidance:

- All buildings of assembly, regardless of size, require the services of a design professional. Assembly uses include, but are not limited to, movie theaters, banquet halls, night clubs, restaurants, art galleries, churches, courtrooms, funeral parlors, libraries, museums, and stadiums.
- All institutional buildings, regardless of size, require the services of a design professional. Institutional buildings include, but are not limited to, residential board and care facilities, assisted living facilities, halfway houses, group homes, congregate care facilities, social rehabilitation facilities, alcohol and drug centers, hospitals, nursing homes, mental hospitals, jails, adult care facilities, and day care facilities for more than five children younger than 2 ½ years of age.
- All educational facilities, regardless of size, require the services of a design professional. Educational facilities include day care facilities for more than five children older than 2 ½ years of age, use of a building by six or more persons at any one time for educational purposes through the 12th grade, and religious educational rooms.
- All hazardous use facilities, regardless of size require the services of a design professional.

- Residential buildings that house more than two families require the services of a design professional. Residential buildings include boarding houses, hotels, apartment houses, townhouses, convents, dormitories, fraternity/sorority houses, and monasteries.

UPFITS AND ALTERATIONS

Upfits or alterations to a building that is less than 5000 square feet and less than 3 stories in height do not require the services of a design professional unless the alterations will increase the area of the building beyond 5000 square feet or affect the structural safety of the building. If either the building size or structural safety is affected by the alteration, the services of a design professional are required. If the use of a building is one of assembly, institutional, educational, or hazardous occupancy or if the use of a building changes to become one of assembly, institutional, educational or hazardous occupancy, the services of a design professional are required (regardless of size).

Designs for alterations inside of a building that exceeds 5000 square feet must also be done by a design professional. Example: A former warehouse (30,000 square feet) is now used for retail shops such as fast foods, gift shops, or personal services (tanning beds, manicure salons). Alterations to any one of these spaces require the services of a design professional even though the retail space is less than 5000 square feet. The overall life/safety issues of the total building must be considered as a whole. The Boards believe that piecemeal changes to individual business spaces, over time, may adversely affect the safety of the individuals who use the building. For this reason, a design professional should coordinate the changes to the smaller retail space within the overall layout of the entire building. The same principle applies to strip shopping centers and malls where one of the retail spaces is being renovated for a new tenant.

JOINT POLICY ON INCIDENTAL PRACTICE

The following policy statement has been approved by both the South Carolina State Board of Architectural Examiners and the South Carolina Board of Registration for Professional Engineers and Surveyors. The policy statement reflects the interpretation by both boards of incidental practice provisions, which are construed to exist in the licensing laws for both engineering and architecture.

“No licensed engineer shall undertake a project which is primarily architectural and no registered architect shall undertake a project which is primarily engineering; however, no provision of the State Laws referred to above shall be so construed as to prevent any registered architect from doing such engineering work, for which he is qualified, as may be incidental and necessary to the completion of any architectural work lawfully undertaken by such architect; nor so construed as to prevent any licensed engineer from doing such architectural work, for which he is qualified, as may be incidental and necessary to the completion of any engineering work lawfully undertaken by such engineer, as defined in the Code of Laws of South Carolina listed above.

The two Boards must be guided and controlled by the definitions contained in their respective laws but may use discretion in interpreting them.

If engineering or architectural work is performed by persons who are not full-time employees of the licensed engineer or licensed architect employed by the client for the project, those persons shall be registered in the profession concerned and the licensed person’s name shall appear on all documents, plans, etc., prepared by them, when issued for that particular project.”

Any building official who suspects misuse by design professionals of the incidental practice provisions may contact enforcement offices at the two licensing boards for assistance.

Architectural related complaints may be filed on the complaint form found at <http://www.llr.state.sc.us/pol/architects/index.asp?file=disciplininfo.htm>.

Engineering related complaints may be filed on the complaint form found at <http://www.llr.state.sc.us/pol/engineers/index.asp?file=disciplininfo.htm>

400. DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE

On those projects involving multiple design professionals, a “design professional in responsible charge” shall be designated and charged with the responsibility for managing and coordinating the various activities involved in preparing and implementing the construction documents – of which the drawings and specifications are a part.

Normally, the design professional in responsible charge would be one of the design professionals active in the preparation of the construction documents or a separately designated design professional assigned to oversee the construction administration process.

Currently, the S.C. Contractors’ Licensing Board regulates individuals who provide construction management services as construction managers. These individuals must be licensed in South Carolina as a general or mechanical contractor, an architect or an engineer. Section 40-11-320 of the Contractors Licensing Board statutes states, “Construction managers may not perform design work themselves unless properly licensed as an architect or professional engineer.” For more information, please see www.llr.state.sc.us/pol/Contractors. For the full text of the statutes, see <http://www.scstatehouse.net/code/t40c011.htm>.

While construction managers may oversee construction of a project, there are laws that restrict the offer and delivery of architectural and engineering services to only those design professionals and professional firms licensed to provide such services.

The role of the design professional in responsible charge would typically include, but not be limited to, the following activities:

- 1) Serving as point of contact for the design team during the design to coordinate all team participants, including owners, contractors, architects, engineers, building officials and government authorities.
- 2) Verifying that all design elements and submittals to government officials are compatible and provide a logical and comprehensive document.
- 3) Reviewing elements of the design for completeness.
- 4) Serving as a point of contact during the code review and building permit application process.
- 5) Reviewing and coordinating submittal documents prepared by others, including phased and deferred submittal items, for compatibility with the design of the building.
- 6) Acting as point of contact for the design team, code officials and the owner during the construction administration.

500. SEALING OR STAMPING WORK OUTSIDE OF EXPERTISE IS NOT PERMITTED

Architects and engineers as licensed design professionals are granted a privilege by the state to offer and provide design services within their areas of expertise. All design work so performed is to be sealed, signed, and dated as required by the respective registration laws.

Architects and engineers are not authorized to perform design services outside their area of expertise, nor are they authorized to seal work performed by others under the design professional's supervision, but which is not within that design professional's area of expertise.

Architects and engineers are not permitted by law to seal or stamp any work that has not been authored or prepared under their direct supervision.

Commentary: The registration boards recognize that from time to time building projects are undertaken that involve the use of prototypical drawings. Provisions have been made by the boards for the use of prototypical drawings allowing sealing by architectural and engineering registrants, subject to strict conditions.

The sealing of prototypical plans is discussed more thoroughly in Section 600.

600. SEALING AND SIGNING OF PLANS BY REGISTERED ARCHITECTS AND ENGINEERS

In 2004, the South Carolina General Assembly passed the Uniform Electronic Transactions Act www.scstatehouse.net/code/t26c006.doc) that allows electronic signatures (with some exceptions) to have the same force of law as "personal signatures." This law supersedes all other laws in South Carolina requiring a personal signature, but it does not address seals. The use of electronic signatures must be approved by both the sending and receiving entities, but an electronic signature satisfies a law requiring a signature and must not be "denied legal effect or enforceability solely because it is in electronic form." Please click on the link above for more information and the full text of the Act. The Boards are in the process of reviewing current laws for necessary revisions.

All references to signatures in the excerpts below should be understood to include the use of electronic signatures if parties agree. There is no requirement to use electronic signatures.

Plans and other documents prepared by or under the responsible charge of architects and engineers shall be sealed and signed as follows:

Section 40-3-280. Required Seal. (Architectural Registration Law)

- (A) Every architect and firm practicing in this State shall have a seal, the impression of which shall contain the name, the place of business, and the words "Registered Architect, State of South Carolina" with which they shall stamp all drawings, prints, and specifications for use in their profession.
- (B) The seal of the individual architect in responsible charge, as well as the seal of the firm, must appear as an original on each print of the drawings and the index sheet, or sheets, or each set of specifications offered to secure a building permit and one record set for use on the construction site. The required seal identification may be a rubber stamp impression placed on original drawings and specification copy. The architect in responsible charge shall affix his signature over his seal.

Section 40-22-270 Seal of Engineer and Organization. (Engineering Registration Law) Each licensee and each firm practicing under a Certificate of Authorization shall obtain a seal of the design authorized by the Board.

- (1) Individual seals must be under the personal custody and control of the licensee and bear the licensee's name, registration license number, and the legend "Professional Engineer" or "Professional Land Surveyor" except for licenses issued before July 1, 2001, which may have the legend "Registered Professional Engineer" or "Registered Land Surveyor". The seal also shall bear evidence of the license category for professional engineers and the tier designation for professional land surveyors.
- (2) Seals for firms practicing under a certificate of authorization must bear the firm's name, authorization number, and location.
- (3) Plans, specifications, plats, and reports prepared by a licensee or prepared under the licensee's direct supervision must be stamped with seals when filed with public authorities during the life of the licensee's certificate.
- (4) Plans and specifications prepared by a licensee or prepared under the licensee's direct supervision must be stamped with seals when issued for use as job site record documents at construction projects within this State.
- (5) It is unlawful to seal documents with a seal after the certificate of the licensee or the certificate of authorization in the case of firms named on the seal has expired or has been revoked or suspended unless the certificate has been renewed, reissued, or reinstated.

(6) Where individual seals are affixed to plans, specifications, plats, and reports, the licensee shall affix his signature and date under or across the face and beyond the circumference of the seal. The signature and date must not be applied in a manner that obliterates or renders illegible the licensee's license number or name.

(7) The clerk of court or the register of deeds for any county shall refuse to accept for filing or recording a map, plat, survey, or other document within the definition of land surveying, dated after July 1, 1977, which does not have affixed to it the personal signature and prescribed impression seal of a professional land surveyor. No charge may be made by a professional land surveyor for the application of his impression seal.

(8) The building official, or other designated authority charged with the responsibility of issuing building or similar permits, shall refuse to issue a permit for any undertaking, the plans and specifications for which would require the seal of a professional engineer, unless the permit applicant has furnished satisfactory evidence that the documents were prepared by an engineer licensed as required by this chapter or that the documents are exempt from the requirements of this chapter. The building official, or designated authority charged with the responsibility of issuing building or similar permits, shall report to the board the name and address of a person who has or is suspected to have violated a provision of this chapter or a regulation promulgated pursuant to this chapter relating to the unlicensed practice of engineering.

Prototypical Drawings and Specifications:

The **State Board of Architectural Examiners** has adopted the following policy regarding drawings and specifications for prototypical buildings:

A) **Definition:** Prototypical plans are model plans of buildings designed for clients (such as fast food chains, postal services, etc.) that are intended to be built in several locations with substantially few changes, except those required to adapt the plans to each particular site.

B) **Policy:**

The Architect must:

- 1) Have written permission of the original architect to adapt the plans;
- 2) Completely review the plans for code compliance and coordination, see that the engineering drawings are properly sealed, and document all reviews and changes made to the plans;
- 3) Remove or void title blocks or seals of other architects on all drawings;
- 4) Take responsibility for plans that he seals.

The **Board of Registration for Professional Engineers and Land Surveyors** has adopted the following policy regarding prototypical buildings:

A. Definition of Prototypical Documents:

For purposes of this policy, prototypical documents are defined as site adapt drawings prepared by others or Federal Agency documents submitted via South Carolina Professional Engineers to state permitting authorities.

B. Site Adapt Drawings Prepared by Others:

- 1) Only drawings prepared and sealed by a Registered Professional Engineer may be site adapted;
- 2) The site adapt Engineer must be duly licensed to practice in the State of South Carolina.
- 3) Written permission must be granted by the Engineer who has sealed the original drawings or by the legal owner(s) of the documents;
- 4) All documents must be reviewed and any necessary revisions made to bring the documents into compliance with applicable codes and regulations and to meet specific job requirements;
- 5) After the review and incorporation of necessary changes, the site adapt Engineer shall remove or void the title block and seals of other engineers on the document, apply his title block and seal, and add the following, or a statement of similar meaning, signed by the site adapt Engineer:

“These documents have been prepared for site adaptation with the approval of the original designer (or the legal owner) of these documents.”

- a) The site adapt Engineer shall maintain design control over the use of the site adapt documents. (The site adapt Engineer accepts professional responsibility when he seals the site adapt documents, just as if they were his original designs.)

4) Federal Agency Documents Submitted via South Carolina Professional Engineers to State Permitting Authorities:

- a) The original documents shall have been prepared under the direct supervisory control of a professional engineer;
- b) The Registered Professional Engineer shall thoroughly check all calculations, specification and drawings produced by the agency;
- c) The Registered Professional Engineer shall make on-site observations and/or such revisions as deemed sufficient to safeguard the life, health, property and welfare of the public;
- d) The Registered Professional Engineer shall have final authority over the document contents;
- e) The Registered Professional Engineer should have a written agreement with the agency that documents will be issued by the agency without alterations;
- f) The Registered Professional Engineer shall seal the documents. (In sealing the documents, the Registered Professional Engineer assumes professional responsibility for the documents so sealed.)

700. MINIMUM RECOMMENDED STANDARDS FOR BUILDING PLANS

Plans and specifications submitted to the building official should be of sufficient nature to clearly describe the project with appropriate emphasis on the following:

- 1) Structural integrity
- 2) Life safety
- 3) Barrier-free accessibility
- 4) Building codes compliance
- 5) Definition of work scope

The type and number of drawings will depend greatly upon the size, nature and complexity of the project and the method of project delivery. The following is a recommended, but not a mandatory, standard for most building projects. Additions and renovations, and some other projects types, may not require all of the following components for plan submittal and review for permit.

Cover Sheet:

- 1) Project identification
- 2) Project address and location map
- 3) Listing of design professionals
- 4) Name of the design professional in responsible charge (that is, the professional who is responsible for project coordination). All communications should be directed through this individual.
- 5) Design Criteria list:
 - a) Occupancy group
 - b) Type construction
 - c) Location of property
 - d) Seismic zone
 - e) Square footage/Allowable area
 - f) Fire sprinkler requirements (if any)
 - g) Height and number of stories
 - h) Occupant load
 - i) Land use zone
 - j) Current adopted building code

Site Plan:

Indicate proposed new structure and any existing buildings or structures, property lines with dimensions, streets, easements and set-backs. Show water, sewer, electrical points of connection, proposed service routes and existing utilities on the site. Show required parking, drainage and grading information (with reference to finish floor and adjacent streets). Indicate drainage inflow and outflow locations and specify areas required to be maintained for drainage purposes. Show north arrow.

Foundation Plan:

Indicate foundations and footings. Indicate size, locations, thickness, materials and strengths and reinforcing. Show imbedded anchoring such as anchor bolts, hold-downs, and column base plates. Provide geotechnical criteria and assumptions used for foundation design.

Floor Plan:

Indicate all floors including basements. Show rooms, with their use, overall dimensions and locations of structural elements and openings. Show doors and windows. Provide door and window schedules. Fire assemblies, area and occupancy separations, and draft stops should be shown.

Framing Plans:

Indicate primary structural members, their size, methods of attachment, location and materials for floors and roofs. Provide basic design criteria and material specifications.

Exterior Elevations:

Indicate all views. Indicate vertical dimensions and heights. Show openings and identify all materials.

Building Sections and Wall Sections:

Indicate materials of construction, non-rated and fire rated assemblies and fire rated penetrations. Indicate dimensions of all heights.

HVAC System:

Indicate the heating, ventilating, and air conditioning systems. Include units, sizes, mounting details and air, water and refrigerant systems components and sizes. Provide equipment schedules. Provide basic design criteria.

Plumbing System:

Indicate fixtures, piping, slopes, materials and sizes. Show points of connections to septic tanks, sewer systems, water lines and other applicable utilities.

Electrical system:

Indicate electrical fixtures, wiring, conduit sizes and circuiting; grounding, panel schedules, single line diagrams, and fixture schedules. Show point of connection to utility. Provide basic design criteria.

Fire Protection (If Applicable):

Documentation for facilities with fire sprinkler systems shall include a fire sprinkler system specification sheet and supporting drawings as required by Section 40-10-250 of the Fire Protection Sprinkler Systems Act.

Specifications:

Either on the drawing or in booklet form, further define construction components, covering materials, finishes and all pertinent equipment.

Addenda and Changes:

It should be a responsibility of the prime professional to notify the Building Official of changes throughout the project that alter the scope, impact the building code or impact local zoning requirements, and to provide any appropriate documentation requested by the Building Official.

Revisions:

For clarity, all revisions should be appropriately identified.

APPENDIX A. Frequently Asked Questions and Answers

1. Can drawings and specifications sealed by an architect/engineer registered in another state be used to secure a building permit in South Carolina?

No. Out-of-state architects/engineers must first obtain registration in the State of South Carolina.

2. Can a South Carolina registered architect/engineer seal drawings prepared by an architect/engineer registered in another state?

No, with the exception defined in Section 700 for prototypical building drawings and specifications.

3. Can an owner/builder/contractor make changes to drawings sealed by engineers/architects?

No. Only the design professional who sealed the drawings or, in certain cases, an owner-designated 'design professional in responsible charge' may make changes to sealed drawings and specifications.

4. Can a South Carolina design professional make changes to drawings prepared by another design professional?

Yes. Changes can be made in a documented revision after first obtaining written permission from the originating design professional and the owner.

5. Can a South Carolina registered engineer prepare and seal architectural plans?

No. Unless such architectural work is merely incidental and necessary to the engineer's work and is within his area of expertise and practice experience.

6. Can a South Carolina registered architect prepare and seal engineering plans?

No. Unless such engineering work is merely incidental and necessary to the architect's work and is within his/her area of expertise and practice experience.

7. Can an engineer's calculations be used as a substitute for plans for construction work?

It depends on the circumstances.

a) Yes when the document provides a clear description of work acceptable to the building official for the work intended.

b) No when the document presents only engineering analysis and does not provide a satisfactory description of work for construction purposes.

c) No when amended submittals conflict with the original approved description of work.

8. What are examples of component or supplemental designs that are required to be sealed by a South Carolina design professional when submitted to the Building Official for approval?

Examples include:

- Prefabricated metal buildings
- Prefabricated wood or metal roof trusses
- Prestressed concrete structures
- An alternate to original submittal
- Component or system substitution, which substantially changes scope of work or code application
- Precast concrete building components
- Fire protection systems.

9. Is there a requirement for the submittal of shop drawings to a building official?

No. Shop drawings are not a part of the drawing review/approval process. Exception: See fire protection sprinkler shop drawings information below.

10. Is there a requirement for the submittal of fire sprinkler shop drawings to be sealed by a licensed engineer?

No. But fire protection sprinkler systems for building types, which require the seal of a design professional, must include, as part of the required submittals, a fire sprinkler system specification sheet completed as specified by S.C. law and sealed by a professional engineer. Fire sprinkler shop drawings may be prepared and sealed by a professional engineer or by a properly certified sprinkler design technician. If prepared by a design technician,

and the shop drawings are for a building type as described above, the drawings are to be reviewed and approved by a professional engineer.

11. Can a single architect/engineer seal all drawings (architectural, structural, mechanical and electrical)?
No, with the following exception:

Buildings less than 5,000 square feet, less than three stories, not classified as assembly, institutional, educational, or hazardous occupancy by the applicable building code, and utilizing simple construction systems, do not require seals by both architects and engineers unless, in the judgment of the building official, the design poses a potential risk to the public health, safety, or welfare (example unusual or complex: structural support; exit access and exit systems; mechanical energy recovery, etc).

Building officials should identify complex "at risk" systems and require that they be designed and sealed by appropriately registered design professionals.

12. Is a design professional required to make building design changes based on the building official's interpretation of the code?

Yes. If a design professional declines to make changes based on the building official's interpretation of the code, the code official should request a meeting with the design professional and obtain the design professional's code interpretation in writing.

After meeting, but failing to reach an agreement, refer the design professional to the appeals process available in that jurisdiction.

13. Can a registered landscape architect prepare site grading and site drainage plans?

Yes. This work is within the scope of their practice.

14. Can a registered land surveyor prepare site grading and site drainage plans?

There are two categories of registration for land surveyors – TIER A and TIER B.

TIER A land surveyors are authorized to prepare plot plans which may show topographical and related measurement data. But TIER A land surveyors are not authorized by law to prepare site grading and drainage plans.

TIER B land surveyors are licensed to provide all those services authorized for the TIER A land surveyor and are further eligible to provide sedimentation, erosion control and storm water management plans for subdivisions.

15. Can design professionals certify drawings prepared by a non-registrant as being adequate for obtaining a building permit?

No.

16. Are licensed professional engineers required for design of building utilities such as electrical service, steam systems, refrigeration systems, etc. where no changes or additions to the building structure are necessary?

Yes. The intent of the law is that licensed professionals be involved in design work pertaining to the lawful practice of architecture, engineering, landscape architecture and land surveying. Use of an electrical or mechanical engineer is not precluded simply because a general contractor is not involved in building. See definition of professional engineering.

17. Can a non-registrant prepare plans and specifications for interior space planning and/or remodeling of buildings?

For interior space planning when only cosmetic changes are being made, a non-registrant may prepare plans and specifications. For remodeling of buildings where structural changes are to be made, or walls are being erected or eliminated, a registered design professional is required for buildings more than 5,000 square feet or buildings of assembly, institutional, educational, or hazardous occupancies. Also, if the renovated space is

housed within a building that is more than 5,000 square feet, a registered design professional is required. See Section 300 of the manual.

18. Are separate engineering/architectural seals required for projects that include a pre-engineered steel building?

Yes. Pre-engineered steel structures and their components require the seal of a South Carolina licensed professional engineer. Seals for the other engineering disciplines may also be required for site design, soils analysis, plumbing, HVAC, and electrical. Architectural seals may be required for building circulation, exit access and exit arrangement, accommodations for the physically handicapped, and general construction detailing.

Seals are mandatory for all non-farm use buildings exceeding 5,000 square feet and for all buildings used for (IBC defined) assembly, institutional, educational, or hazardous occupancies, regardless of size.

19. Can anyone, other than the design professional in responsible charge, certify that construction conforms to the requirements of the sealed construction documents?

No. Registrants and non-registrants may be employed to periodically review work in progress and report back to the design professional in responsible charge. However, the evaluation, revision or certification of building code-related construction to authenticate compliance must be performed only by the design professional in responsible charge.

20. What action should a building official take when he/she suspects that a registrant or non-registrant is violating the registration law?

Report the event to the appropriate architectural or engineering registration board.

21. What should an architect/engineer do when he/she suspects that a building official is exceeding his/her authority?

Report the event to the South Carolina Building Codes Council.

22. Can a building official require an exempt structure to be designed by an architect or engineer?

Yes. Building officials can require designs by design professionals when they believe that action is necessary to protect the public safety.

23. Is the life safety design of a building affected by the position and/or construction of half-height or full-height, non-bearing, non-rated partitions?

Yes. The position and construction of partition components affects the path of exit travel, the length of travel, transparency (or lack of transparency), flame spread, smoke contributed and other design components essential to comply with code-mandated life safety design.

24. Regarding a Security of Seal - Can a second party or employee authorized by the design professional sign the seal of the design professional?

No. Every signature over a seal must be placed there by the design professional. See note in Section 700 regarding the legality of electronic signatures.

25. Are professional corporations required to use corporate seals on drawings in addition to individual design professional's seal?

Yes.

26. Is the design professional required to seal and sign each sheet of original drawings issued for permitting?

Yes. See note in Section 700 regarding the legality of electronic signatures.

27. Is the design professional required to seal and sign each sheet of original drawings issued for bidding?

No.

28. Must the design professional seal and sign the title page or index page of each set of specifications used for permitting?

Yes. See note in Section 700 regarding the legality of electronic signatures.

29. Must the design professional seal and sign the title page or index page of each set of specifications used for bidding?

No.

30. Are change orders, revisions, addenda and bulletin drawings required to be sealed by the design professional in responsible charge?

Yes, if changes alter drawings or specifications sealed by a design professional.

31. Are design professionals required to seal presentation drawings used to communicate conceptual information but which are not a part of a set of construction drawings?

No. These drawing are not required to be sealed but should include the firm's name.

32. Are drawings required to be sealed if they bear the name of registered design professionals and were prepared for building construction of any size or occupancy and were submitted to building officials for permitting?

Yes.

33. Can design professionals use signature reproductions such as rubber stamps or computer generated facsimiles?

No. All signatures must be original. See note in Section 700 regarding the legality of electronic signatures.

34. Can a design professional seal a document that was not personally prepared by the design professional or prepared under his/her direct responsible control?

No.

35. Can a design professional modify and seal a deceased design professional's sealed drawings if he/she has the written permission of the owner of the documents?

Yes, but only if the current design professional clearly marks modifications and adds a description of the revisions performed by him/her.

36. Can a design professional seal drawings begun or contracted for by a person not properly licensed?

No, unless the design professional completely revises and re-authors the drawings to produce a coordinated, comprehensive construction document, which is code compliant, making the document his/her own work product.

Interior Design-Related Questions

Are interior designers licensed by the State of South Carolina?

No.

What services can an interior designer provide?

Interior designers and all other non-registrants can design:

- Fixtures
- Cabinetwork
- Furniture
- Interior finishes and decoration

Interior designers and other non-registrants must not design alterations or additions to new or existing:

- structural, mechanical or electrical systems
- exit access or exit systems
- interior finishes in assembly, institutional or hazardous occupancies

- construction which alters the path of exit travel

Building Officials should be alert to these issues:

- Architectural drawings sealed by an engineer
- Engineering drawings sealed by an architect
- Drawings sealed by an architect or engineer who is an employee of a non-licensed firm or company
- Incomplete documents sealed and signed by a design professional
- Drawings that have not been sealed, signed and dated by a design professional
- Site adapt or proto-typical design drawings that do not bear the seal of a South Carolina design professional
- Drawings for upfitting a shell structure that do not bear the seal of a South Carolina design professional.
- Unsealed drawings for religious buildings
- Seals which appear to be cut and pasted
- Difficulty in reaching the design professional or situations in which the contact person is someone other than the principal design professional.
- Drawings, details, letter reports, etc. that do not appear to apply to the project
- Drawings that have numerous or serious code violations
- Revisions without seals, dates.

What should you do?

- Question the design professional as to circumstances and qualifications
- Require corrections
- Reject
- Contact licensing board

Appendix B. Definitions

Title 40 of the 2002 Code of Laws of South Carolina (as amended effective September 2002) defines architecture and engineering as follows:

Section 40-3-20. Definitions. (Architectural Registration Law)

"Architect" means an individual who, by reason of the individual's general knowledge of the principles of architecture acquired by professional education and practical experience, is qualified to engage in the practice of architecture as attested by the individual's registration as an architect.

"Board" means the Board of Architectural Examiners.

"Firm" means a business entity functioning as a partnership, limited liability partnership, professional association, professional corporation, business corporation, limited liability company, or other firm association which practices or offers to practice architecture.

"Full authority" means that amount of authority granted to a regularly employed individual in unrestricted, unchecked, and unqualified command of the architectural practice of a firm.

"Individual" means a single human being.

"Practice of Architecture" means a service or creative work requiring architectural education, training and experience and the application of the principles of architecture and related technical disciplines to the professional services or creative work as consulting, evaluating, planning, designing, specifying, coordinating of consultants, administration of contracts, and reviewing of construction for the purpose of assuring compliance with the specifications and design, in connection with a building or site development.

"Professional degree" means the successful completion of a National Architectural Accrediting Board accredited degree in architecture.

"Responsible charge" means direct control and personal supervision of the practice of architecture.

"Emeritus architect" means an architect who has been registered for 10 consecutive years or longer and who is 65 years of age or older and who has retired from active practice.

"Retired from active practice" means not engaging or offering to engage in the practice of architecture as defined in this section.

Section 40-22-10. Definitions. (Engineering Registration Law)

"ABET" means the Accreditation Board for Engineering and Technology.

"EAC" means the Engineering Accreditation Commission of ABET.

"TAC" means the Technology Accreditation Commission of ABET.

"Approved engineering curriculum" means an engineering program of four or more years determined by the board to be substantially equivalent to that of an EAC/ABET accredited curriculum.

"Associate professional engineer" means a Category B license holder who is qualified to practice within the profession of engineering in the manner defined in this chapter and as attested by his recognition and registration as an associate professional engineer in this State.

"Board" means the South Carolina State Board of Registration for Professional Engineers and Land Surveyors created pursuant to this chapter.

"Branch office" means a place of business separate from the principal place of business where engineering services or land surveying services are provided. A specific project or construction site office is not a branch office. Nothing contained in this chapter prevents a professional engineer or professional land surveyor from undertaking an engineering or a land surveying project anywhere in the State.

"Current certificate of registration" means a license to practice which has not expired or has not been revoked and which has not been suspended or otherwise restricted by the board.

"Department" means the Department of Labor, Licensing and Regulation.

"Design coordination" includes the review and coordination of those technical submissions prepared by others, including as appropriate and without limitation, consulting engineers, architects, landscape architects, land surveyors, and other professionals working under the direction of the engineer.

"Direct responsibility", "direct supervisory control", "direct supervision", and "responsible charge" all mean the direction of engineering work by an engineer or land surveying work by a land surveyor to the extent that successful completion of the work is dependent on the personal supervision, direct control, and final decisions by the qualified registrant to the extent that the qualified registrant assumes professional responsibility for the work.

"Engineer" means a professional engineer as defined in this section.

"Engineering surveys" include all minor survey activities required to support the sound conception, planning, design, construction, maintenance, operation and investigation of engineered projects but exclude the surveying of real property for the establishment of land boundaries, rights-of-way, and easements and the independent surveys or resurveys of general land masses.

"Engineer-in-training" means a person who has qualified for and passed the Fundamentals of Engineering examination as provided in this chapter and is entitled to receive a certificate as an engineer-in-training.

"Firm" means a business entity functioning as a sole proprietorship, partnership, limited liability partnership, professional association, professional corporation, business corporation, limited liability company, joint venture, or other legally constituted organization, which practices or offers to practice engineering or land surveying, or both.

"Fraud or deceit" means intentional deception to secure gain, through attempts deliberately to conceal, mislead, or misrepresent the truth in a manner that others might take some action in reliance or an act which provides incorrect, false or misleading information on which others might rely.

"GIS" means geographic information systems.

"Good character" refers to a person of good moral character and one who has not been convicted of a violent crime, as defined in Section 16-1-60, or a crime of moral turpitude.

"Gross negligence" means an act or course of action, or inaction, which denotes a lack of reasonable care and a conscious disregard or indifference to the rights, safety or welfare of others and which does or could result in financial loss, injury or damage to life or property.

"Incompetence" means the practice of engineering or land surveying by a licensee determined to be either incapable of exercising ordinary care and diligence or lacking the ability and skill necessary to properly perform the duties undertaken.

"Land surveyor-in-training" means a person who has qualified for and passed the Fundamentals of Land Surveying examination as provided in this chapter and is entitled to receive a certificate as a land surveyor-in-training.

"Licensed" means authorized by this board, pursuant to the statutory powers delegated by the State to this board, to engage in the practice of engineering, or land surveying, or engineering and land surveying, as evidenced by the board's certificate issued to the registered license holder.

"Misconduct" means the violation of a provision of this chapter or of a regulation promulgated by the board pursuant to this chapter.

"Practice of engineering" means any service or creative work, the adequate performance of which requires engineering education, training and experience in the application of special knowledge of the mathematical, physical and engineering sciences to such services or creative work as consultation, investigation, expert technical testimony, evaluation, design and design coordination of engineering works and systems, design for development and use of land and water, performing engineering surveys and studies, and the review of construction for the purpose of monitoring compliance with drawings and specifications, any of which embraces such services or work, either public or private, in connection with any utilities, structures, buildings, machines, equipment, processes, work systems projects, and industrial or consumer products or equipment of control systems, communications, mechanical, electrical, hydraulic, pneumatic, or thermal nature, insofar as they involve safeguarding life, health, or property, and including such other professional services as may be necessary to the planning, progress, and completion of any engineering services. The mere execution, as a contractor, of work designed by a professional engineer or supervision of the construction of such work as a foreman or superintendent is not considered the practice of engineering.

A person must be construed to practice or offer to practice engineering, within the meaning and intent of this chapter who:

- (a) practices any branch of the profession of engineering; or
- (b) by verbal claim, sign, advertisement, letterhead, card, or in any other way represents himself to be a professional engineer or through the use of some other title implies that he is a professional engineer or that he is licensed under this chapter; or
- (c) holds himself/herself out as able to perform or does perform any engineering service or work or any other professional service designated by the practitioner or which is recognized as engineering.

"Practice of TIER A land surveying" means providing professional services including, but not limited to, consultation investigation, testimony evaluation, expert technical testimony, planning, mapping, assembling and interpreting reliable scientific measurements and information relative to the location, size, shape or physical features of the earth, the space above the earth, or part of the earth, and utilization and development of these facts and interpretation into an orderly survey map, site plan, report, description or project. The practice of TIER A land surveying consists of three separate disciplines: land boundary surveying, photogrammetry and geographic information systems/land information systems (GIS/LIS). A land surveyor may be licensed in one or more of the disciplines and practice is restricted to only the discipline or disciplines for which the land surveyor is licensed. The practice of TIER A land surveying does not include the use of the GIS or LIS to create maps pursuant to Section 40-22-290, analyze data, or create reports.

The scope of the individual disciplines are identified as follows:

(a) Land Boundary Surveyor:

- (1) locates, relocates, establishes, re-establishes, lays out or retraces any property line or boundary of any tract of land or any road, right-of-way, easement, alignment or elevation of any fixed works embraced within the practice of land surveying, or makes any survey for the subdivision of land;
- (2) determines, by the use of principles of land surveying, the position for any survey monument or reference point; or sets, resets or replaces such monument or reference; determines the topographic configuration or contour of the earth's surface with terrestrial measurements; conducts hydrographic surveys;
- (3) conducts geodetic surveying, which includes surveying for determination of geographic position in an international three-dimensional coordinate system, where the curvature of the earth must be taken into account when determining directions and distances; geodetic surveying includes the use of terrestrial measurements of angles and distances, as well as measured ranges to artificial satellites.

(b) A photogrammetric surveyor determines the configuration or contour of the earth's surface or the position of fixed objects thereon by applying the principles of mathematics on remotely sensed data, such as photogrammetry.

(c) A geographic information systems/land information systems mapper creates, prepares or modifies electronic or computerized data including land information systems and geographic information systems relative to the performance of the activities described in subitems (a) and (b) above.

"Practice of TIER B land surveying" includes all rights and privileges of the TIER A land boundary surveying discipline defined in Section 40-22-20(23)(a); and in addition to these rights and privileges, TIER B land surveying includes, for subdivisions, preparing and furnishing subdivision plans for sedimentation and erosion control and storm drainage systems, if the systems do not require the structural design of system components and are restricted to the use, where relevant, of any standards prescribed by local, state, or federal authorities. Regulations defining the scope of the additional powers granted to TIER B land surveyors must be promulgated by the board.

"Private practice firm" means a firm as defined herein through which the practice of engineering or land surveying would require a certificate of authorization as described in this chapter.

"Private practitioner" means a person who individually holds himself/ herself out to the general public as able to perform, or who individually does perform, the independent practice of engineering or land surveying.

"Professional engineer" means a Category A license holder who, by reason of his special knowledge of the mathematical and physical sciences and the principles and methods of engineering analysis and design, acquired by professional education and practical experience, is qualified to practice engineering as defined in this section, all as attested by his legal license and registration as a professional engineer in this State.

"Professional land surveyor" means a person who is qualified to practice any discipline of TIER A or TIER B land surveying in this State, as defined in this section and as attested by his legal license and registration as a TIER A or TIER B professional land surveyor in this State.

"Professions of architecture, landscape architecture, and geology" mean those specified professions as defined by the laws of this State and applicable regulations.

"Registered" means the engineer or land surveyor is licensed and registered in the State.

"Resident professional engineer" or "resident professional land surveyor", with respect to principal office and branch office requirements, means a licensed practitioner who spends a majority of each normal workday in the principal or branch office.

Commentary: In 1993, the S.C. General Assembly revised the engineering registration laws to establish two categories of licensure – the unrestricted license (Category A, Professional Engineer), and the restricted license (Category B, Associate Professional Engineer). The private practice of engineering is limited to Category A, Professional Engineers. Plans and other documents prepared by individuals and firms engaged in the private practice of engineering must be sealed only by Category A, Professional Engineers.

STAFF REPORT
CDRB Meeting
January 16, 2020 at 4:00 p.m.

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: January 9, 2020

GENERAL INFORMATION

Applicant: Dorchester County

Property Owner: Dorchester County

Requested Action: The applicant is requesting Conceptual Review of the proposed placement of 3 modular office trailers on the property for up to 23 months

Requested Approval: Conceptual Review

Existing Zoning: UC-MX

Adjacent Zoning: **North:** PL
South: PL
East: PL
West: UC-MX

Location: 823 W. 5th North Street

Existing Land Use: Vacant Land

Last Meeting: First Meeting

Ordinance Reference: Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

Based upon preliminary staff review, the following are staff's site related comments. The parking area does not need to be paved. If the drive aisle is going to be paved, it can be paved to the Wassamassaw Road entrance.



Gravel
Parking
Area

Asphalt Drive



60' x 36'
ADA Ramp

60' x 36'
ADA Ramp

60' x 24'
ADA Ramp

Asphalt
sidewalk
Ramp

Asphalt
sidewalk
Ramp

MASSAMASSAW RD

W 5TH NORTH ST





Williams Scotsman, Inc.
 171 Farmington Road
 Summerville, SC 29483-5317

Your Williams Scotsman Representative
 Russell Miller
Phone: (843)873-5555 Ext. 43115
Fax: 843-873-6633
Email: rhmiller@willscot.com
Toll Free: 800-782-1500

Contract Number:1188802
Revision: 1
Date: December 09, 2019

Lease Agreement Summary - Q#1188802

Lessee:	Contact:	Ship To Address:
DORCHESTER COUNTY GOVERNMENT	Roger Dangerfield	821 W 5th North Street
201 JOHNSON STREET	201 JOHNSON STREET	SUMMERVILLE, SC
SAINT GEORGE, South Carolina 29477	SAINT GEORGE, SC 29477	29483 US
	Phone: (843) 696-1871	
	Fax:	
	Email: rdangerfield@dorchestercountysc.gov	

Product Descriptions

QTY	PRODUCT
2	RP6036
1	SM6024

Pricing Summary - All Options (excluding taxes)

MONTHLY CHARGES:	\$8,308.30
INITIAL FEES:	\$35,111.95
FINAL CHARGES:	\$16,085.33
TOTAL CHARGES WITH ALL OPTIONS:	\$250,596.48



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Contract Number: 1188802
Revision: 1
Date: December 09, 2019

Lease Agreement

Lessee: 6485352 DORCHESTER COUNTY GOVERNMENT 201 JOHNSON STREET SAINT GEORGE, South Carolina, 29477	Contact: Roger Dangerfield 201 JOHNSON STREET SAINT GEORGE, SC, 29477 Phone: (843) 696-1871 Fax:	Ship To Address: 821 W 5th North Street SUMMERVILLE, SC, 29483
		Delivery Date(on or about): 2/4/2020

E-mail: rdangerfield@dorchestercountysc.gov

Rental Pricing Per Month	Quantity	Price	Extended
60x36 Redi Plex (56x36 Box) Unit Number:	1	\$2,100.00	\$2,100.00
Prem OSHA Step & Canopy	1	\$75.00	\$75.00
ADA/IBC Ramp - 30' & less	1	\$287.10	\$287.10
Premium Office Package	6	\$84.00	\$504.00
Premium Conference Package	1	\$126.00	\$126.00
Minimum Lease Term: 24 Months	Total Monthly Building Charges:		\$2,100.00
	Subtotal of Other Monthly Charges:		\$992.10
	Total Rental Charges Per Month:		\$3,092.10

Delivery & Installation	Quantity	Price	Extended
Foundation / Tiedown Plans	1	\$500.00	\$500.00
Ramp - Delivery & Installation	1	\$800.00	\$800.00
Special Equip required for installation	1	\$625.00	\$625.00
Block and Level	1	\$9,002.06	\$9,002.06
Delivery Freight	3	\$350.00	\$1,050.00
Vinyl skirting	184	\$6.95	\$1,278.80
	Total Delivery & Installation Charges:		\$13,255.86

Final Return Charges*	Quantity	Price	Extended
Skirting Removal - Vinyl LF	184	\$4.00	\$736.00
Ramp - Knockdown & Return	1	\$800.00	\$800.00
Teardown	1	\$3,453.33	\$3,453.33
Return Freight	3	\$350.00	\$1,050.00
	Due On Final Invoice*:		\$6,039.33
Total Charges Including (24) Month Rental, Delivery, Installation & Return**:			\$93,505.59

Summary of Charges		
Model: RP6036	QUANTITY: 2	Total Charges for (2) Building(s): \$187,011.18

Additional Services: For your convenience, we also recommend the following items (not included in this Agreement)

BY INITIALING BELOW, Lessee: HEREBY ACKNOWLEDGES AND CONFIRMS THAT IT HAS SELECTED THE INITIALED RECOMMENDED ITEMS TO BE ADDED TO THIS CONTRACT AND AGREES TO PAY THE ADDITIONAL SPECIFIED AMOUNT(S) IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS CONTRACT.

Initial	Recommended Items	Billing Frequency	Qty	Price	Extended
_____	Property Damage Waiver (11/12)	Monthly	3	\$85.00	\$255.00
_____	General Liability - Allen Insurance	Monthly	1	\$31.00	\$31.00
_____	Special Equip required for removal	Final	1	\$625.00	\$625.00



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Lease Agreement

Lessee: 6485352 DORCHESTER COUNTY GOVERNMENT 201 JOHNSON STREET SAINT GEORGE, South Carolina, 29477	Contact: Roger Dangerfield 201 JOHNSON STREET SAINT GEORGE, SC, 29477 Phone: (843) 696-1871 Fax:	Ship To Address: 821 W 5th North Street SUMMERVILLE, SC, 29483
		Delivery Date(on or about): 2/4/2020
E-mail: rdangerfield@dorchestercountysc.gov		

Rental Pricing Per Month	Quantity	Price	Extended
60x24 Modular (56x24 Box) Unit Number:	1	\$1,300.00	\$1,300.00
Prem OSHA Step & Canopy	1	\$75.00	\$75.00
ADA/IBC Ramp - 30' & less	1	\$287.10	\$287.10
Premium Office Package	4	\$84.00	\$336.00
Premium Conference Package	1	\$126.00	\$126.00
Minimum Lease Term: 24 Months	Total Monthly Building Charges:		\$1,300.00
	Subtotal of Other Monthly Charges:		\$824.10
	Total Rental Charges Per Month:		\$2,124.10

Delivery & Installation	Quantity	Price	Extended
Foundation / Tiedown Plans	1	\$500.00	\$500.00
Ramp - Delivery & Installation	1	\$800.00	\$800.00
Special Equip required for installation	1	\$625.00	\$625.00
Block and Level	1	\$4,863.23	\$4,863.23
Delivery Freight	2	\$350.00	\$700.00
Vinyl skirting	160	\$6.95	\$1,112.00
	Total Delivery & Installation Charges:		\$8,600.23

Final Return Charges*	Quantity	Price	Extended
Skirting Removal - Vinyl LF	160	\$4.00	\$640.00
Ramp - Knockdown & Return	1	\$800.00	\$800.00
Teardown	1	\$1,866.67	\$1,866.67
Return Freight	2	\$350.00	\$700.00
	Due On Final Invoice*:		\$4,006.67
Total Charges Including (24) Month Rental, Delivery, Installation & Return**:			\$63,585.30

Summary of Charges		
Model: SM6024	QUANTITY: 1	Total Charges for (1) Building(s): \$63,585.30

Additional Services: For your convenience, we also recommend the following items (not included in this Agreement)

BY INITIALING BELOW, Lessee: HEREBY ACKNOWLEDGES AND CONFIRMS THAT IT HAS SELECTED THE INITIALED RECOMMENDED ITEMS TO BE ADDED TO THIS CONTRACT AND AGREES TO PAY THE ADDITIONAL SPECIFIED AMOUNT(S) IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS CONTRACT.

Initial	Recommended Items	Billing Frequency	Qty	Price	Extended
_____	Property Damage Waiver (11/12)	Monthly	2	\$85.00	\$170.00
_____	General Liability - Allen Insurance	Monthly	1	\$22.00	\$22.00
_____	Special Equip required for removal	Final	1	\$625.00	\$625.00



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INSURANCE REQUIREMENTS ADDENDUM

QTY	PRODUCT	EQUIPMENT VALUE/BUILDING	DEDUCTIBLE PER UNIT
2	RP6036	\$89688.00	\$4000.00
1	SM6024	\$71417.00	\$4000.00

Lessee:DORCHESTER COUNTY GOVERNMENT

Pursuant to Section 13 of the Williams Scotsman Lease Agreement and its Terms and Conditions ("Agreement"), a Lessee is obligated to provide insurance to Williams Scotsman, Inc. ("Lessor") with the following insurance coverage:

- Commercial General Liability Insurance:** policy of combined bodily injury and property damage insurance insuring Lessee and Lessor against any liability arising out of the use, maintenance, or possession of the Equipment. Such insurance shall be in an amount not less than \$1,000,000 per occurrence, naming the Lessor as Additional Insured and Loss Payee.
- Commercial Property Insurance:** covering all losses or damage, in an amount equal to 100% of the Equipment Value set forth in the Lease providing protection against perils included within the classification and special extended perils (all "risk" insurance), naming the Lessor as Additional Insured and Loss Payee.

Commercial General Liability Insurance

Lessee is providing Commercial General Liability Insurance in accordance with the requirements set forth Section 13 of the Lease and will provide a certificate of insurance in the manner and within the time frame set forth in the Agreement. If Lessee fails to deliver the required certificate of insurance, Lessee understands and agrees that the Lessor has the right to impose a missing insurance certificate fee.

Commercial Property Insurance

Lessee: is providing Commercial Property Insurance in accordance with the requirements set forth Section 13 of the Lease and will provide a certificate of insurance in the manner and within the time frame set forth in the Agreement. If **Lessee:** fails to deliver the required certificate of insurance, **Lessee:** understands and agrees that the Lessor has the right to impose a missing insurance certificate fee.

By signing below, the **Lessee:** agrees to the terms and conditions stated herein. All other Terms and Conditions of the Agreement shall remain the same and in full force and effect. Each party is hereby authorized to accept and rely upon a facsimile or electronic signature of the other party on this Addendum. Any such signature shall be treated as an original signature for all purposes.

Otherwise, if elected on preceding pages:

Commercial General Liability Insurance

Lessee: elects to participate in the Commercial General Liability Insurance Program, whereby **Lessee:** will receive insurance coverage through American Southern Insurance Company ("Insurer") and administered by Allen Insurance Group ("Agent"). The **Lessee:** acknowledges and agrees that the policy issued by the Insurer is a third party liability policy that covers those amounts that Lessee is legally obligated to pay due to bodily insurance and property damage arising **from the proper use and occupancy** of Equipment leased from Williams Scotsman up to the policy limits. Coverage is subject to underwriting and specific terms and conditions set forth in the policy. An outline of cover is available upon request. By signing below, **Lessee:** understands and agrees that the Lessor is not providing the insurance coverage and serves only as a billing agent for the Insurer and its Agent; and, accordingly, it assumes no liability therefore.

Signature of Lessee: _____ Print Name: _____ Date: _____

Damage Waiver Program

Lessee: elects to participate in the Lessor's Damage Waiver Program. **Lessee:** understands and agrees that under this program, the Lessor waives, for a fee, **Lessee:**'s obligation to carry Commercial Property Insurance and **Lessee:**'s liability to Lessor for repair or replacement of the modular units leased from Williams Scotsman resulting from loss or damage as specified in Section 12 of the Lease. **Lessee:** remains liable to Williams Scotsman for the amount of the damage deductible per unit of equipment noted above. Please refer to the Agreement for specific details on coverage, exclusions and restrictions on coverage. The Property Damage Waiver is not and shall not constitute a contract for insurance.

Signature of Lessee: _____ Print Name: _____ Date: _____



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Clarifications

***Final Return Charges are estimated and will be charged at Lessor's market rate at time of return for any Lease Term greater than twelve (12) months. **All prices exclude applicable taxes. All Lessees and Leases are subject to credit review.** In addition to the stated prices, customer shall pay any local, state or provincial, federal and/or personal property tax or fees related to the equipment identified above ("Equipment"), its value or its use. Lessee acknowledges that upon delivery of the Equipment, this Agreement may be updated with the actual serial number(s), delivery date(s), lock serial number(s), etc, if necessary and Lessee will be supplied a copy of the updated information. Prices exclude taxes, licenses, permit fees, utility connection charges, site preparation and permitting which is the sole responsibility of Lessee, unless otherwise expressly agreed by Lessor in writing. Lessee is responsible for locating and marking underground utilities prior to delivery and compliance with all applicable code requirements unless otherwise expressly agreed by the Lessor in writing. Price assumes a level site with clear access. Lessee must notify Lessor prior to delivery or return of any potentially hazardous conditions or other site conditions that may otherwise affect delivery, installation, dismantling or return of any Equipment. Failure to notify Lessor of such conditions will result in additional charges, as applicable. Physical Damage & Commercial Liability insurance coverage is required beginning on the date of delivery. Lessor is not responsible for changes required by code or building inspectors. **Pricing is valid for thirty (30) days.**

Please note the following important billing terms:

- In addition to the first month rental and initial charges, last month rent for building, other monthly rentals/service (excluding last month for General Liability Insurance and Property Damage Waivers), will be billed on the initial invoice. Any amounts prepaid to Williams Scotsman will be credited on the final invoice.
- Invoices are due on receipt, with a twenty (20) day grace period. Interest will be applied to all past due amounts.
- Invoices are due on receipt, with a twenty (20) day grace period. Late fees will be applied to all past due amounts.
- Williams Scotsman preferred method of payment is ACH. Payments made by check are subject to a Paper Check Fee, charged on the next invoice following payment by check.
- Williams Scotsman preferred method of invoicing is via electronic transmission. Customers are encouraged to provide an email address or use BillTrust. Invoices sent standard mail are subject to a paper invoice fee, charged on the following invoice.

Lessor hereby agrees to lease to Lessee and Lessee hereby agrees to lease from Lessor Modular Equipment and Value Added Products (as such items are defined in Lessor's General Terms & Conditions) selected by Lessee as set forth in this Agreement. All such items leased by the Lessee for purposes of this Lease shall be referred to collectively as the "Equipment". By its signature below, Lessee hereby acknowledges that it has read and agrees to be bound by the Lessor's General Terms & Conditions (09-01-19) located on Lessor's internet site (<https://www.willscot.com/About/terms-conditions>) in their entirety, which are incorporated herein by reference and agrees to lease the Equipment from Lessor subject to the terms therein. Although Lessor will provide Lessee with a copy of the General Terms & Conditions upon written request, Lessee should print copies of this Agreement and General Terms & Conditions for recordkeeping purposes. Each party is authorized to accept and rely upon a facsimile signature, digital, or electronic signatures of the other party on this Agreement. Any such signature will be treated as an original signature for all purposes and shall be fully binding. The undersigned represent that they have the express authority of the respective party they represent to enter into and execute this Agreement and bind the respective party thereby.

Invoicing Options (select one)

Paperless Invoicing Option
 Williams Scotsman prefers electronic invoicing, an efficient, convenient and environmentally friendly process. To avoid fees, provide us with the proper email address for your invoices.

A/P Email: _____
 A/P Email on File: _____

Standard Mail Option
 Customer prefers to receive paper invoice via mail. Fees may apply. Invoices will be mailed to:

201 JOHNSON STREET
 SAINT GEORGE South Carolina 29477

Enter a new billing address: _____

Signatures

Lessee::	DORCHESTER COUNTY GOVERNMENT	Lessor:	Williams Scotsman, Inc.
Signature:		Signature:	
Print Name:		Print Name:	
Title:		Title:	
Date:		Date:	
PO#			

PLEASE RETURN SIGNED AGREEMENT TO: CSCLeases@willscot.com



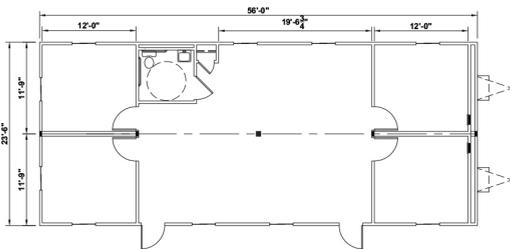
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Floorplan

60' x 24' Section Modular



Dimensions

- 60' Long (including hitch)
- 56' Box size
- 24' Wide
- 8' Ceiling height
- Other double-wide sizes are available

Exterior Finish

- Aluminum siding
- I-Beam frame
- Standard drip rail gutters

Interior Finish

- Paneled walls
- Vinyl tile floor
- Gypsum ceiling

Electric

- Fluorescent ceiling lights
- Single phase electric and breaker panel

Heating/Cooling

- Central HVAC

Windows/Doors

- Horizontal slider windows
- (2) Vision panel doors with standard locks or (2) steel doors with dead bolt lock

Other

- Private office(s)
- Optional restroom

* Photos are representational; actual products vary. Additional floor plans and specifications may vary from those shown and are subject to in-stock availability

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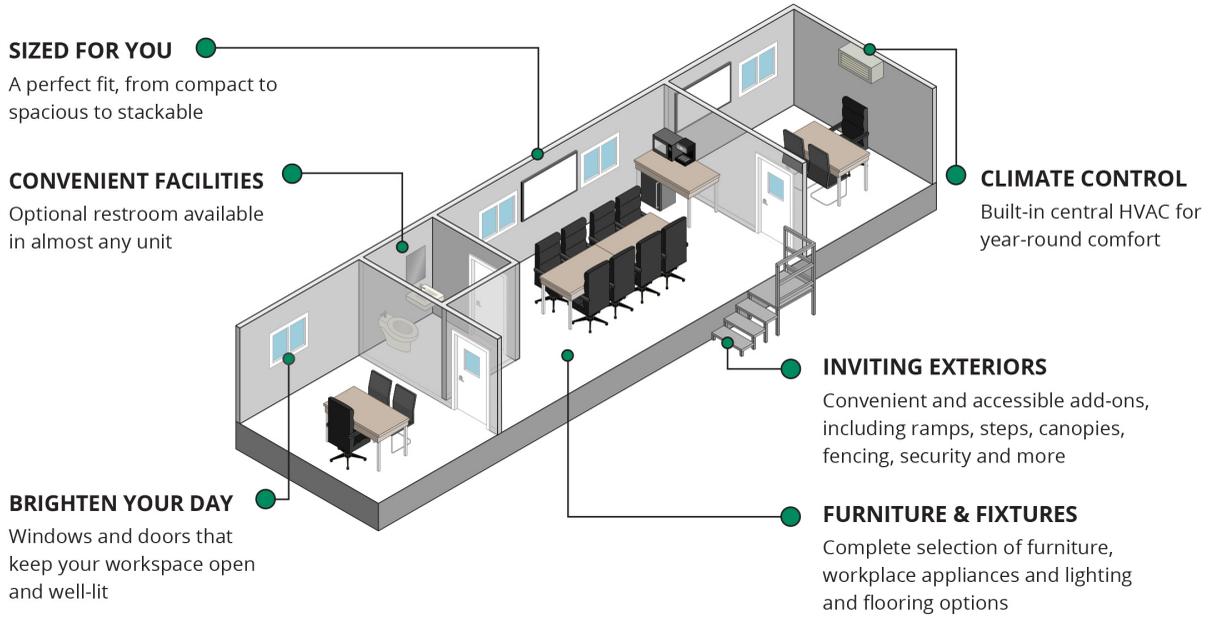
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WILLIAMS SCOTSMAN: THE FULLY STREAMLINED SPACE SOLUTION

When it's time to be productive on a project, you need temporary space that's as ready as you are. Our modular solutions are complete to the last detail, so you can forget about building logistics and focus on the job at hand.

One call to Williams Scotsman and you're ready to work.

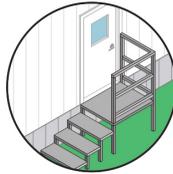


READY-TO-WORK OPTIONS

Our in-house selection of amenities not only outfits your space for comfort, security and productivity – it also eliminates extra work for you.



FURNITURE



EXTERIORS



APPLIANCES



COVERAGE



TECH SOLUTIONS

WILLSCOT

READY TO WORK

The fully streamlined space solution.

A MODEL OF VERSATILITY

No matter your specific needs, our fleet of flexible solutions provides immediate functionality so productivity is all you see.

SIZED FOR YOU

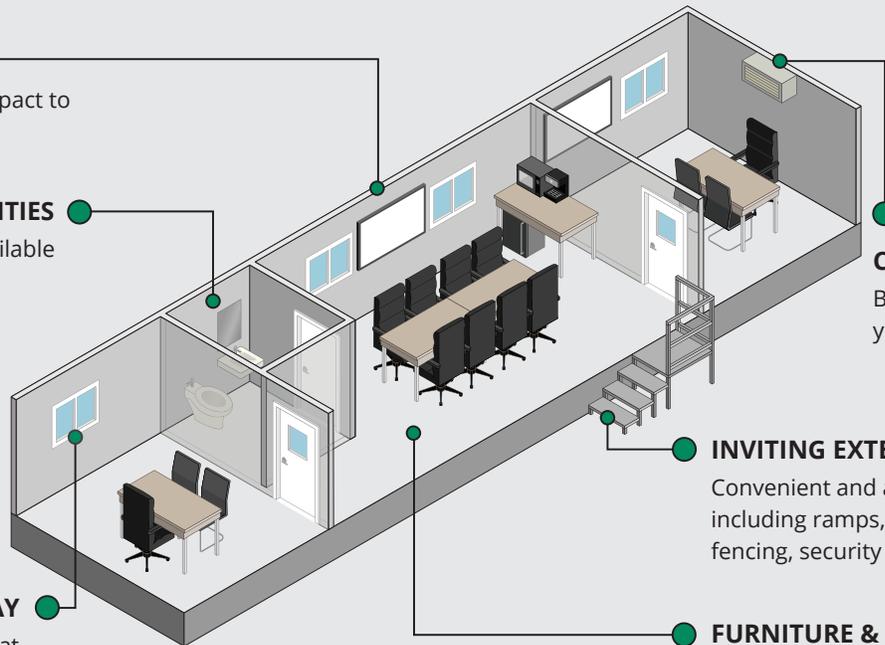
A perfect fit, from compact to spacious to stackable

CONVENIENT FACILITIES

Optional restroom available in almost any unit

BRIGHTEN YOUR DAY

Windows and doors that keep your workspace open and well-lit



CLIMATE CONTROL

Built-in central HVAC for year-round comfort

INVITING EXTERIORS

Convenient and accessible add-ons, including ramps, steps, canopies, fencing, security and more

FURNITURE & FIXTURES

Complete selection of furniture, workplace appliances and lighting and flooring options

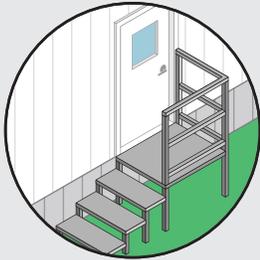
Contact your local sales representative at 800-782-1500 or visit us at willscot.com

WILLSCOT

WHEN THE SOLUTION IS PERFECT, PRODUCTIVITY IS ALL YOU SEE.

We believe that when the building is perfect, you barely even notice it. Our spaces just work. So you can too.

1



DESIGNED FOR OUR UNITS

The Essentials are designed by the experts at WillScot to work with our units and provide a comfortable and productive space.

2



INCREASED PRODUCTIVITY

All the Essentials can be secured with one phone call. You don't need to hassle with multiple vendors, contracts, POs, coordination and other startup headaches.

3



LOW OUT-OF-POCKET COST

Low out-of-pocket cost on one bill alongside the unit, entrance and coverage.

4

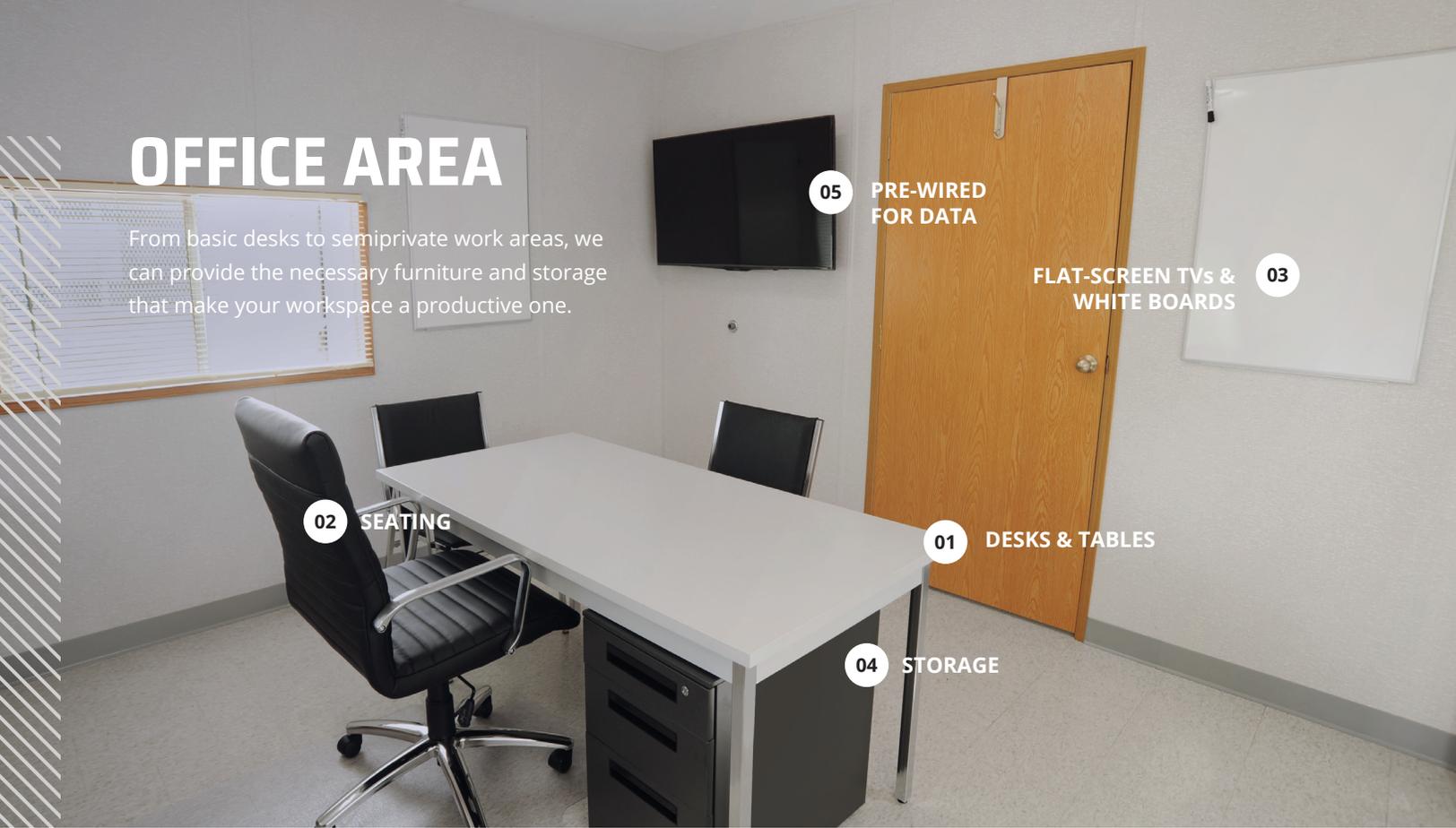


IF IT BREAKS, WE'LL REPLACE IT

If you damage a leased Essential by accident, we've got you covered. We'll ensure that it is replaced so your productivity is never affected.

OFFICE AREA

From basic desks to semiprivate work areas, we can provide the necessary furniture and storage that make your workspace a productive one.



01



DESKS & TABLES

- Folding table
- Desk (5ft.)
- L-Desk
- Privacy & modesty shields

02



SEATING

- Folding chair
- Manager's chair
- Stackable chair
- Executive chair

03



FLAT-SCREEN TVs & WHITE BOARDS

- Big-screen monitor
- White board-medium
- White board-large

04



STORAGE

- Pedestal filing cabinet
- Bookshelf
- Plan rack

05



PRE-WIRED FOR DATA

- Necessary for all modern work environments
- Saves time and hassle of separate installation service



WILLSCOT

Contact your local sales representative at 800-782-1500 or visit us at willscot.com

COMMON AREA

Our furniture and solutions facilitate collaborative working and training while addressing common space needs.

02 APPLIANCES

05 PRE-WIRED FOR DATA

03 FLAT-SCREEN TVs & WHITE BOARDS

04 SEATING

01 TABLES

01



TABLES

- Folding table
- Utility table (5 ft.)
- Table (5 ft.)
- Planning table

02



APPLIANCES

- Refrigerator
- Mini fridge
- Microwave
- Coffeepot (12 cup)
- Keurig®

03



FLAT-SCREEN TVs & WHITE BOARDS

- Big-screen monitor
- White board-medium
- White board-large

04



SEATING

- Folding chair
- Office chair
- Executive chair

05



PRE-WIRED FOR DATA

- Necessary for all modern work environments
- Saves time and hassle of separate installation service



WILLSCOT

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EXTERIOR AREA

Steps and ramps provide durable and easy access to your temporary space. Canopies offer protection against the elements as well as adding to the exterior aesthetics.

01 SECURITY BARS

04 CANOPIES

02 SECURITY SCREENS

03 STEPS & RAMPS

01



SECURITY BARS

- Reinforce your door for added peace of mind
- All-metal construction
- Obvious visual deterrent

02



SECURITY SCREENS

- Prevent unauthorized access through windows
- All-metal construction
- Protect against accidental breakage



03



STEPS & RAMPS

- OSHA- or ADA-compliant versions for any entrance need
- Optional canopy available
- Treaded to provide secure footing in all weather conditions

04



CANOPIES

- Protect your doorway from the elements
- Completely covers the entrance platform
- Snow load: 100 PSF



COVERAGE

Get protected with these offerings you need but may not think of. With property damage waiver or 3rd party liability insurance offerings your space is ready to work from day one.



THIRD-PARTY LIABILITY INSURANCE

- Meets the coverage requirement outlined in our lease agreement
- Zero deductible
- Acts as primary coverage and is complementary to customer's existing coverage



DAMAGE WAIVERS

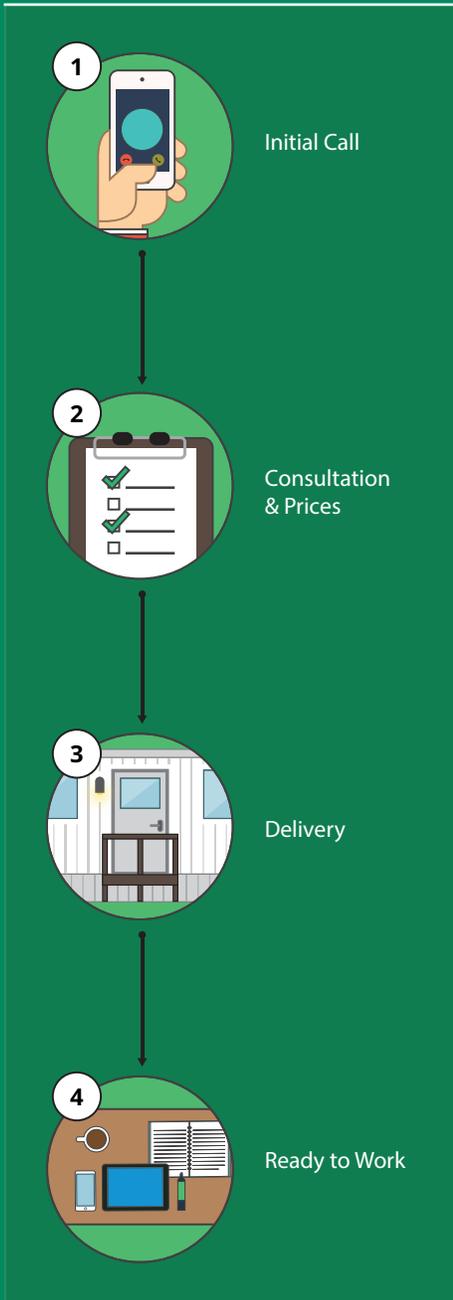
- Meets the need to protect the building required in our lease agreement
- Eliminates project risk associated with delays in delivery due to lack of coverage
- Low out-of-pocket cost that is billed alongside the unit, furniture, steps, etc.



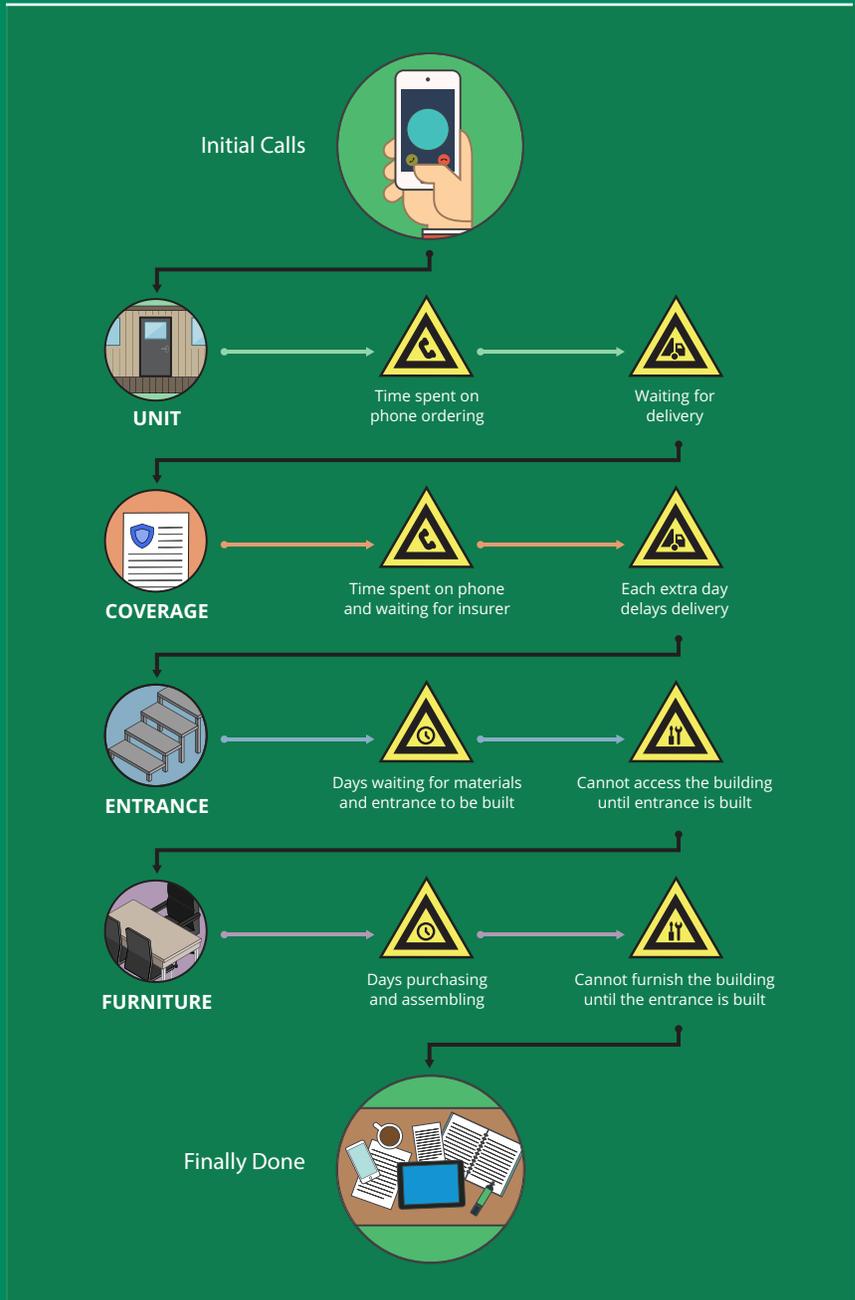
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STAFF REPORT
CDRB Meeting
January 16, 2020 at 4:00 p.m.

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: January 9, 2020

GENERAL INFORMATION

Applicant: Hoyt + Berenyi
Property Owner: Beebe Family LP
Requested Action: The applicant is requesting Conceptual Review of the proposed construction of a Caliber Collision body shop
Requested Approval: Conceptual Review
Existing Zoning: UC-MX
Adjacent Zoning: **North:** MF-R
South: Out in Dorchester County
East: Out in Dorchester County
West: UC-MX
Location: 4234 Ladson Road
Existing Land Use: Vacant Land
Last Meeting: First Meeting

Ordinance Reference: Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

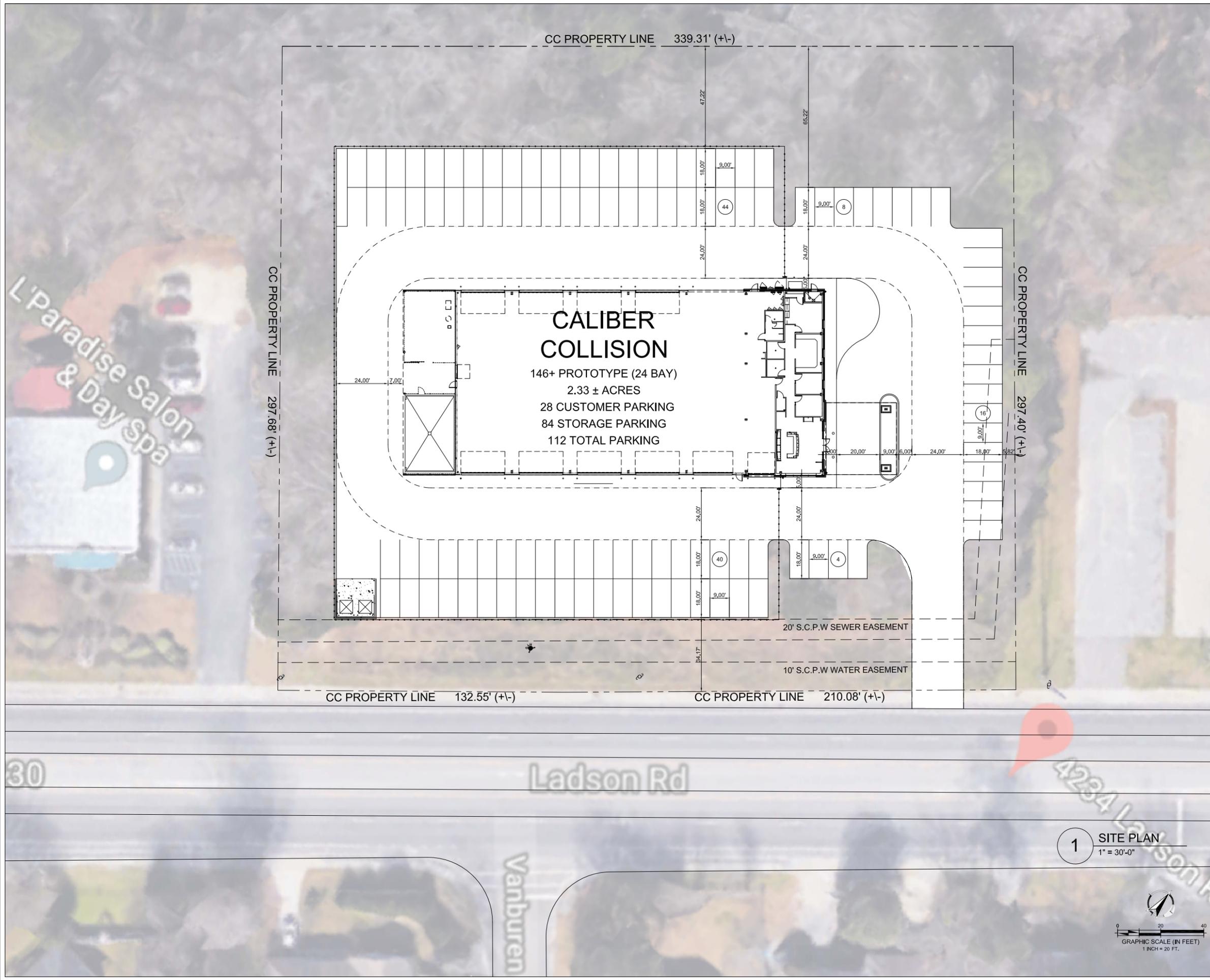
Recommendation:

Based upon preliminary staff review, the following are staff's site related comments. Vehicle Services are a Conditional Use in UC-MX. The conditions are as follows: (Section 3.4.8.D)

1. Buffer: Parking and/or service areas shall be separated from adjoining residential properties by a planting screen, fence, or wall at least 6 feet in height.
2. Noise: No objectionable sound, vibration, heat, glare or electrical disturbance shall be created which creates a nuisance beyond the premises.
3. Outdoor Activities Prohibited: All operations and storage of parts shall be within a fully enclosed building.
4. Screening: any vehicles stored on the site during nonbusiness hours shall be located within a fully enclosed building or shall be stored behind the front building line and shall be completely screened (100%) opacity from the street and adjoining properties using natural buffers, fencing, buildings, or a combination thereof. Chain link fencing shall not be permitted as a screening material if the fence will be visible from any street or parking area.

The plan as presented does not meet the screening requirement for the storage of vehicles. There is no stormwater facilities being shown on the plan. No lighting plan was submitted. No Landscape Plan was submitted. A Tree Survey will be required, and a Tree Removal Permit for all protected trees is required. Parking requirement is 1 per 1,000 sf for the shop floor and 2 per 1,000 sf for the office. Total parking required is 30 parking spaces. Maximum permitted parking is not to exceed 200%. Any parking constructed above 200% is required to be constructed of pervious materials approved by Town Staff. A parking justification letter will be required to be approved by Town Staff.

Building: The use of stacked stone as a wall finish material is specifically prohibited (Section 4.4.2.E.1). All roof top mechanicals will need to be screened 100% from view.



SITE DATA	
OFFICE SQ. FT.	= 1,775 SQ. FT. ±
SHOP FLOOR SQ. FT.	= 12,825 SQ. FT. ±
TOTAL BUILDING SQ. FT.	= 14,600 SQ. FT. ±
ACREAGE TOTAL	= 2.333
PARCEL CONTROL NUMBER: N/A	
FLOOD ZONE 'X' (OUTSIDE 500 YEAR PLAIN)	
SETBACKS:	
FRONT: TBD	REAR: TBD SIDES: TBD
PROPOSED HEIGHT	= 16'-0"
MAX. HEIGHT	= 26'-2"
ZONING	TBD
USE	TBD
WATER	TBD
SEWER	TBD
PARKING CALCULATIONS	
OFFICE @ 1:XXX REQ'D	= TBD
SHOP @ 1:XXX REQ'D	= TBD
CITY TOTAL REQUIRED	= TBD
TOTAL PARKING SHOWN	= 112
BICYCLE CALCULATIONS	
OFFICE @ 5% OF 10	= TBD
SHOP @ 5% OF 47	= TBD
CITY TOTAL REQUIRED	= TBD
TOTAL BICYCLE SHOWN	= 0

1 SITE PLAN
1" = 30'-0"



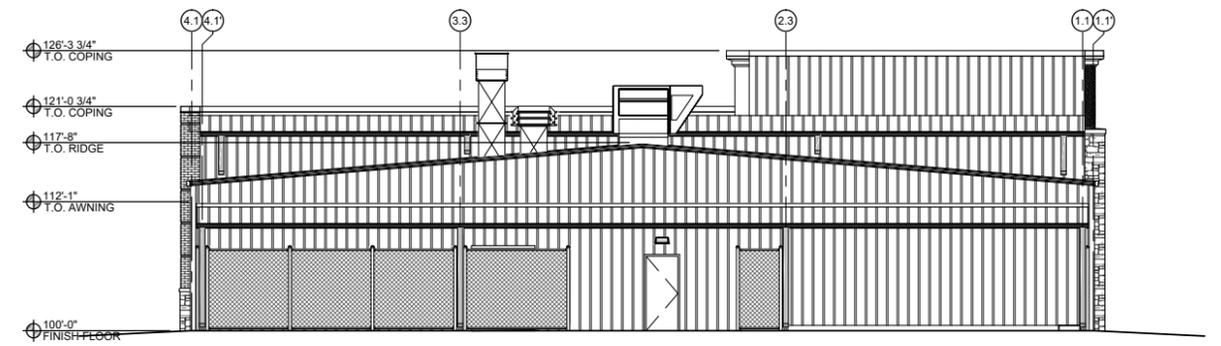
Brian RUMSEY
 BRIAN RUMSEY
 879 JUNCTION DR.
 ALLEN, TEXAS 75013
 PH: 972.398.6644

CALIBER COLLISION

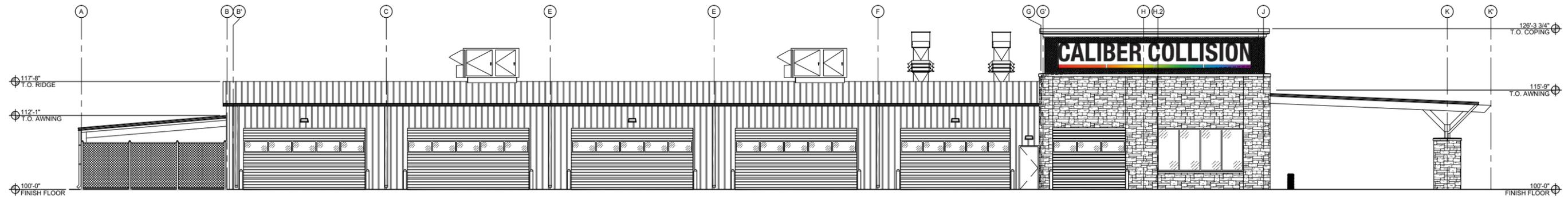
CONCEPTUAL SITE PLAN 02

4234 LADSON RD.
 SUMMERVILLE, SC

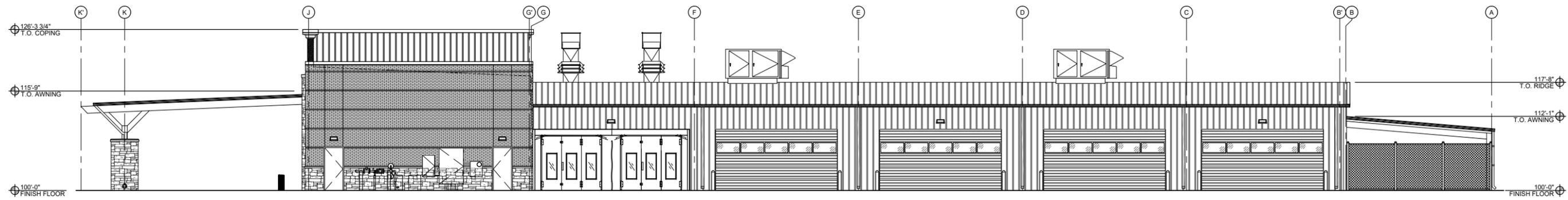
DRAWN: SGM PROJECT #: SCHEM DATE: 19.09.20



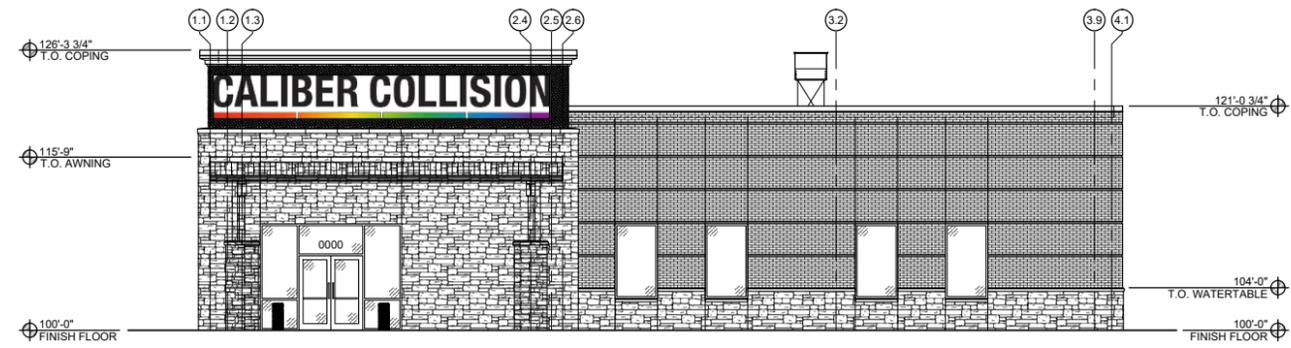
04 REAR ELEVATION
SCALE: 1/8" = 1'-0" LEFT LOBBY



03 SIDE ELEVATION
SCALE: 1/8" = 1'-0" LEFT LOBBY



02 SIDE ELEVATION
SCALE: 1/8" = 1'-0" LEFT LOBBY



01 FRONT ELEVATION
SCALE: 1/8" = 1'-0" LEFT LOBBY

Brian RUMSEY
BRIAN RUMSEY ARCHITECT, NCARB
879 JUNCTION DRIVE
ALLEN, TEXAS 75013
PH: 972.398.6644
BFLORY@crossarchitects.com

CALIBER COLLISION

SUMMERVILLE, SC
BUILDING ELEVATIONS

LOT: BLOCK:
SUMMERVILLE, SC

DRAWN	DATE	PROJECT NO.	SCALE	SHEET NO.
BS	12/27/2019	XXXXX	1/8" = 1'-0"	1



CALIBER COLLISION

CALIBER COLLISION



Property Frontage - Southeast Corner



Adjacent Development North Side



Adjacent Development West Side at Property Line



Property Frontage - Southwest Corner



Adjacent Development West Side Street View



Property Frontage - Street View



Adjacent Development East Side Street View



Existing Development Opposite Side of Ladson Road



Adjacent Development East Side at Property Line